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TOWN CLERK  
BELMONT, MA

2019 OCT 24 AM 9:09

NOTICE OF PUBLIC HEARING BY THE  
PLANNING BOARD

ON AN APPLICATION FOR ONE SPECIAL PERMIT

Notice is hereby given that the Belmont Planning Board will hold a public hearing on **TUESDAY, NOVEMBER 5, 2019, at 7:00 PM** in the **Board of Selectmen's Meeting Room, Town Hall, 455 Concord Ave.**, to consider the application of **Tracey O'Connor** for **ONE SPECIAL PERMIT** under Section 1.5.4 C of the Zoning By-Laws to **ALTER A NONCONFORMING STRUCTURE IN ORDER TO CONSTRUCT A TWO-STORY ADDITION AND INCREASE THE SIZE OF THE SINGLE-FAMILY HOME BY MORE THAN 30%** at **45 Waterhouse Road** located in the Single Residence C Zoning District.

Planning Board



Town of Belmont  
Planning Board

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BELMONT, MA

2019 OCT 24 AM 9:09

## APPLICATION FOR A SPECIAL PERMIT

Date: 9/23/19

Planning Board  
Homer Municipal Building  
19 Moore Street  
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Law of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 45 Waterhouse Street Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for first floor renovation, second floor addition, and 1-car garage

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner Tracey O'Connor

Print Name Tracey O'Connor

Address 45 Waterhouse Road  
Belmont, MA 02478

Daytime Telephone Number (603) 348-7312



OFFICE OF COMMUNITY DEVELOPMENT  
TOWN OF BELMONT  
19 Moore Street  
Homer Municipal Building  
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division  
(617) 993-2664  
Engineering Division  
(617) 993-2665  
Planning Division  
(617) 993-2666

August 28, 2019

Tracey O'Connor  
45 Waterhouse Road  
Belmont, MA 02478

RE: Denial to Construct Second Story

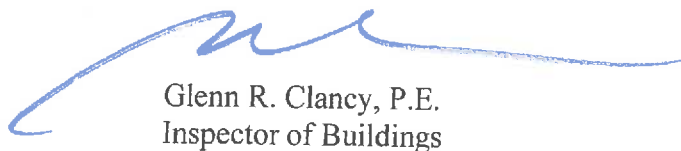
Dear Tracey O'Connor:

The Office of Community Development is in receipt of your building permit application for the construction of a second floor on top of your existing single story home in a Single Residence C (SR-C) Zoning District.

Your application has been denied because it does not comply with the Zoning By-Law. More specifically, your property does not conform to the lot area and lot frontage requirements for the SR-C District (lot area: 9,000 square feet required, 7,005 square feet existing and proposed; lot frontage: 75' required, 71.5' existing and proposed) and is therefore considered nonconforming.

You may alter your plans to conform to the Zoning By-Law and resubmit for a building permit or you may request a Special Permit from the Planning Board to increase the size of your home by more than 30% of the gross floor area (331% increase proposed). If you choose to pursue a Special Permit, please call the Office of Community Development at (617)-993-2666 to schedule an appointment with the Planning Staff to begin the Special Permit process.

Sincerely,



Glenn R. Clancy, P.E.  
Inspector of Buildings

**Belmont Planning Board**

**Special Permit Narrative Statement**

**45 Waterhouse Road**

Tracey and Corey O'Connor of 45 Waterhouse Road seek a special permit in order to construct a conforming addition on their existing conforming 856 sf single family home located on a non-conforming lot. The proposed 1,926 gross sf addition exceeds 30% GFA.

Tracey has lived in this home for the past six years. The house originally belonged to her grandparents, Phyllis and John O'Connor, who purchased the house in the 1960's. In April 2017, Tracey and Corey purchased the house from her father who inherited it after her grandmother passed away. Their dream is to make this house into a place where they can live and raise their family.

The current house is a 1950's two bedroom, one bathroom ranch with a total living area of 856 sqft. There are many outdated and dysfunctional features in the house and it is in need of repairs and upgrades. The main drivers for the project are to create enough space to raise a family and modernize a 1950's home to current code and living conditions.

The proposed expansion would include renovating the first floor and building a side addition to incorporate an attached one car garage and mud room as well as a second story addition to incorporate four bedrooms and two bathrooms (the current first floor bedrooms would become a new kitchen and dining area). The proposed addition would add 1,306 sf (TLA) of living space with an additional 286 sf of unfinished attic and 334 sf of garage (total of 1,926 gross SF).

Both the existing structure and the proposed expansion are completely conforming. The overall effect will be in harmony with the architecture and scale of the neighborhood (see attached neighborhood pictures).

The proposed design reflects feedback from a design review meeting with Spencer Gober who recommended incorporating some additional landscaping which we have done. The O'Connor family has also shared these plans with and received enthusiastic support from many neighbors including abutters.

The proposed design is in harmony with the neighborhood vernacular, and the size of the proposed home is consistent with many in the neighborhood. The proposed design is in keeping with the intent of Town Meeting and the Planning Board Special permit criteria (Section 1.5.4.B) and is not substantially detrimental to the neighborhood. In fact, we believe that the proposed addition represents a significant improvement to the property and therefore the neighborhood as a whole.

Thank you for your consideration on this matter.

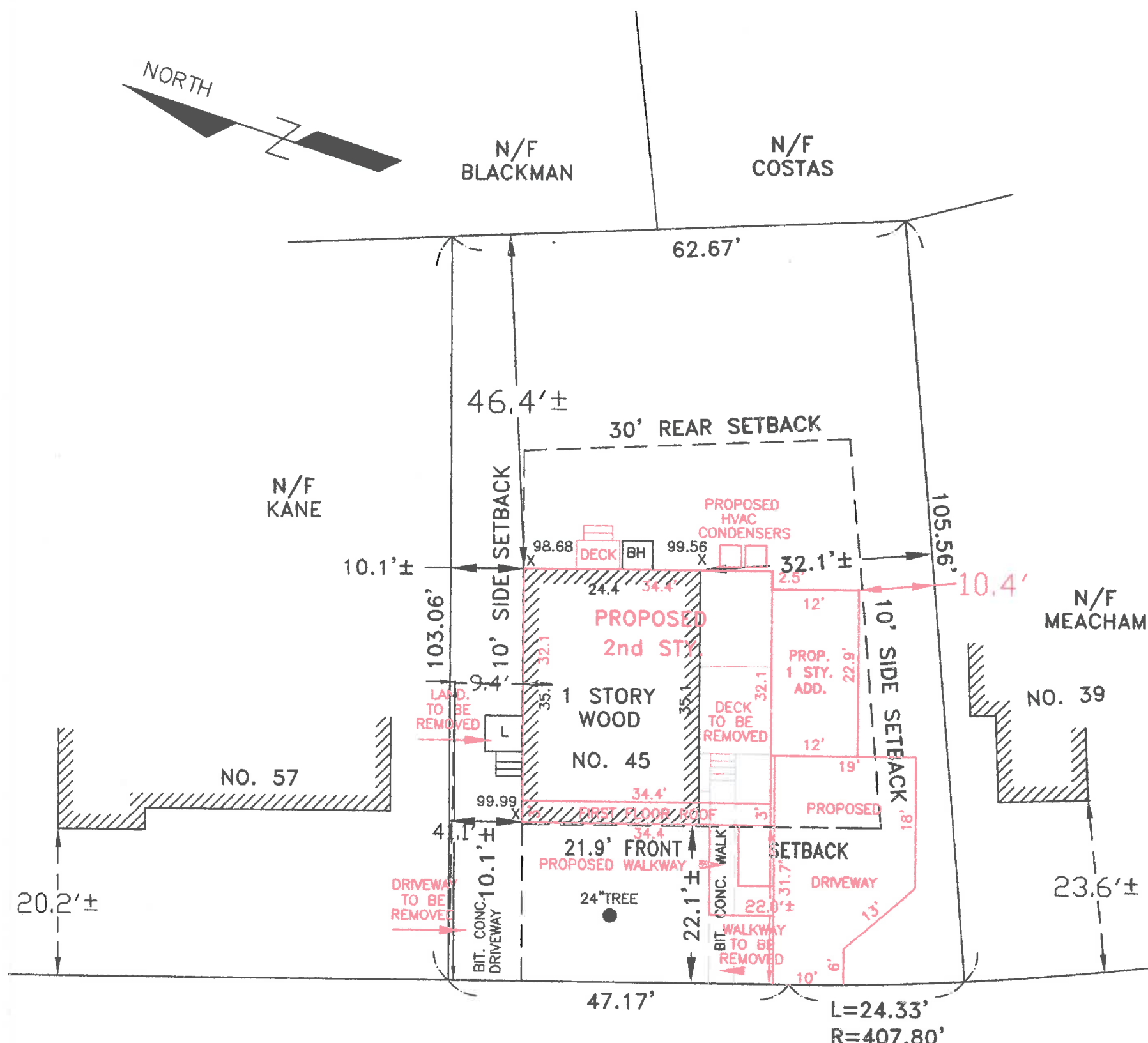




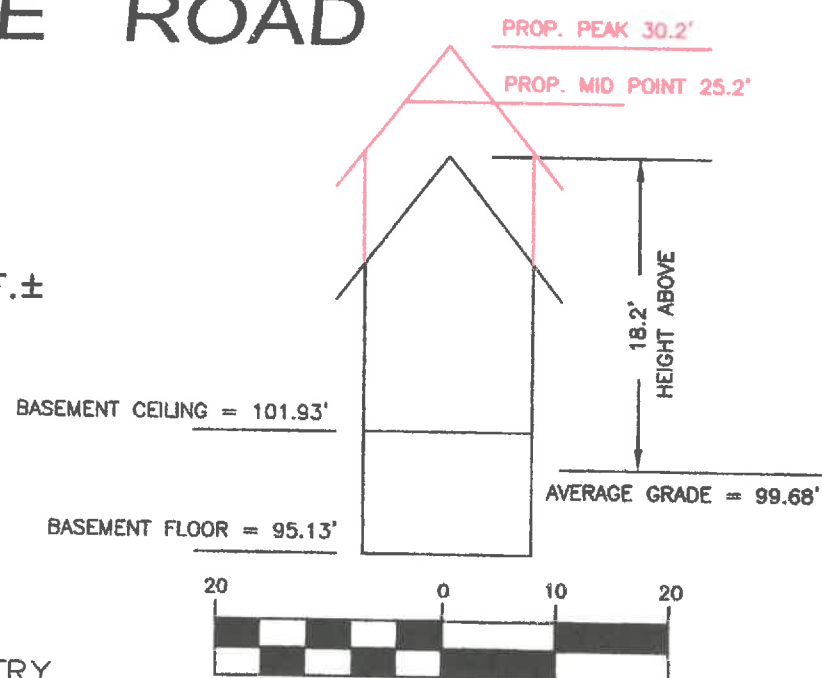








LOT AREA = 7,005 S.F.±  
 EXISTING BUILDING = 887 S.F.±  
 EXISTING PAVEMENT + WALK = 470 S.F.±  
 NET ADDITION TO PAVEMENT + WALK = 143 S.F.±  
 PROPOSED ADDITION = 596 S.F.±  
 EXISTING LOT COVERAGE = 12.7%  
 PROPOSED LOT COVERAGE = 21.2%  
 EXISTING OPEN SPACE = 80.6%  
 PROPOSED OPEN SPACE = 70.1%



#### NOTES

1. SEE DEED RECORDED IN MIDDLESEX COUNTY REGISTRY OF DEEDS IN DEED BOOK 69204, PAGE 70.
2. SEE PLAN RECORDED IN MIDDLESEX COUNTY REGISTRY OF DEEDS IN DEED BOOK 7568, END.
3. SUBJECT PARCEL IS LOCATED IN ZONE SRC
4. SUBJECT PARCEL IS LOCATED IN FLOOD ZONE X AS SHOWN ON PANEL 25017C0418E WITH AN EFFECTIVE DATE OF JUNE 4, 2010.
5. ONE PUBLIC SHADE TREE IS LOCATED WITHIN THE LIMITS OF THE PROPERTY FRONTAGE OF THE SUBJECT PROPERTY.
6. ABUTTING HOUSE SETBACKS:  $20.2' + 23.6' = 43.8'$   
 $43.8' / 2 = 21.9'$ . FRONT SETBACK = 21.9'.

CERTIFIED PLOT PLAN  
 IN  
 BELMONT, MA

SCALE: 1" = 20' SEPTEMBER 16, 2019

DLJ GEOMATICS  
 PROFESSIONAL LAND SURVEYING  
 276 NORTH STREET  
 WEYMOUTH, MA 02191  
 (781) 812-0457

45 WATERHOUSE RD BELMONT.dwg

*Douglas L. Johnston*  
 DOUGLAS L. JOHNSTON  
 NO. 47678  
 9/16/19  
 PROFESSIONAL LAND SURVEYOR DATE

**Zoning Compliance Check List**  
**(Registered Land Surveyor)**

Property Address: 45 Waterhouse Road Zone: SRC

Surveyor Signature and Stamp:   Date: 7-16-17

	REQUIRED	EXISTING	PROPOSED
Lot Area	9,000 S.F.	7,005 S.F.	7,005 S.F.
Lot Frontage	75'	71.5'	71.5'
Floor Area Ratio	N/A	N/A	N/A
Lot Coverage	25%	12.7%	21.2%
Open Space	50%	80.6%	70.1%
Front Setback	21.9'	22.1'	22.0'
Side Setback	10'	10.1'	10.1'
Side Setback	10'	32.1'	10.4'
Rear Setback	30'	46.4'	46.4'
Building Height	30'	18.2''	Midpoint 25.2' Ridge 30.2'
Stories	2-1/2	1-1/2	2-1/2
1/2 Story Calculation See basement calc. sheets.			

<b>NOTES:</b>



**DLJ GEOMATICS**  
276 NORTH STREET  
WEYMOUTH, MA 02191

[LANDSURV@COMCAST.NET](mailto:LANDSURV@COMCAST.NET)  
[WWW.DLJGED.COM](http://WWW.DLJGED.COM)

JULY 26, 2019

45 WATERHOUSE ROAD  
BELMONT, MA

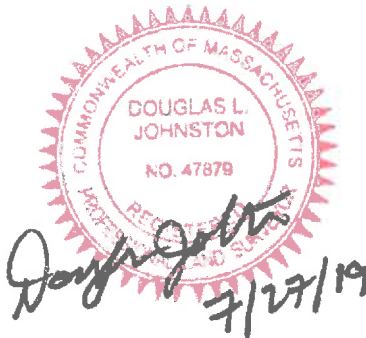
**BASEMENT CALCULATIONS:**

THE FOUNDATION WALLS ARE 6.80' HIGH. THERE ARE FOUR SEGMENTS.

SEGMENT:	LENGTH:	AREA:	AREA BELOW GRADE:
A	24.4'	165.92 S.F.	124.68 S.F.
B	35.1'	238.68 S.F.	171.99 S.F.
C	24.4'	165.92 S.F.	97.36 S.F.
D	35.1'	238.68 S.F.	147.77 S.F.
TOTAL:		809.20 S.F.	541.80 S.F.

$541.8/809.2=.6696$

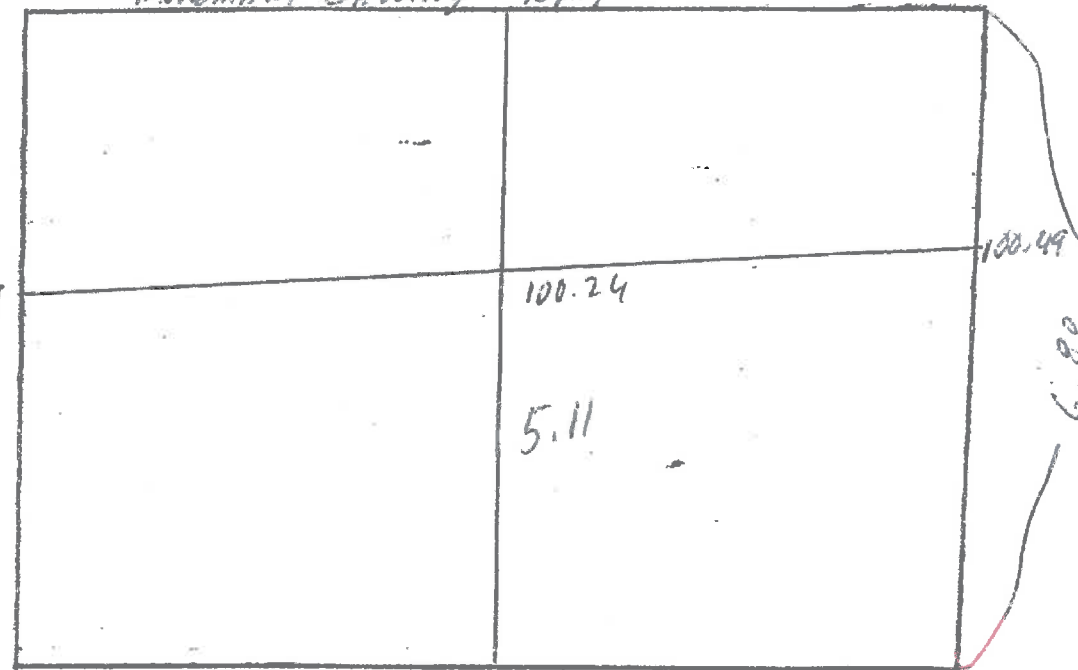
66.96% OF THE FOUNDATION WALL IS BELOW GRADE.



45 WATERHOUSE ROAD  
BELMONT

SEG "A"

BASEMENT CEILING = 101.93'



$$\begin{array}{r} 24.4 \\ \times 6.8 \\ \hline 165.92 \end{array}$$

TOTAL  
FACE  
OF  
WALL

$$\begin{array}{r} 24.4 \\ \times 5.11 \\ \hline 124.68 \end{array}$$

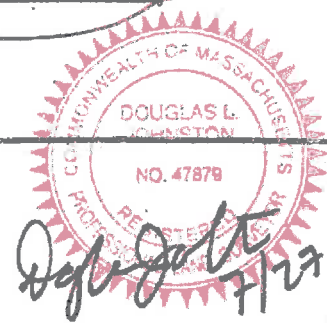
BELOW  
GRADE

$$\frac{124.68}{165.92} = .7514$$

75.14% BELOW  
GRADE

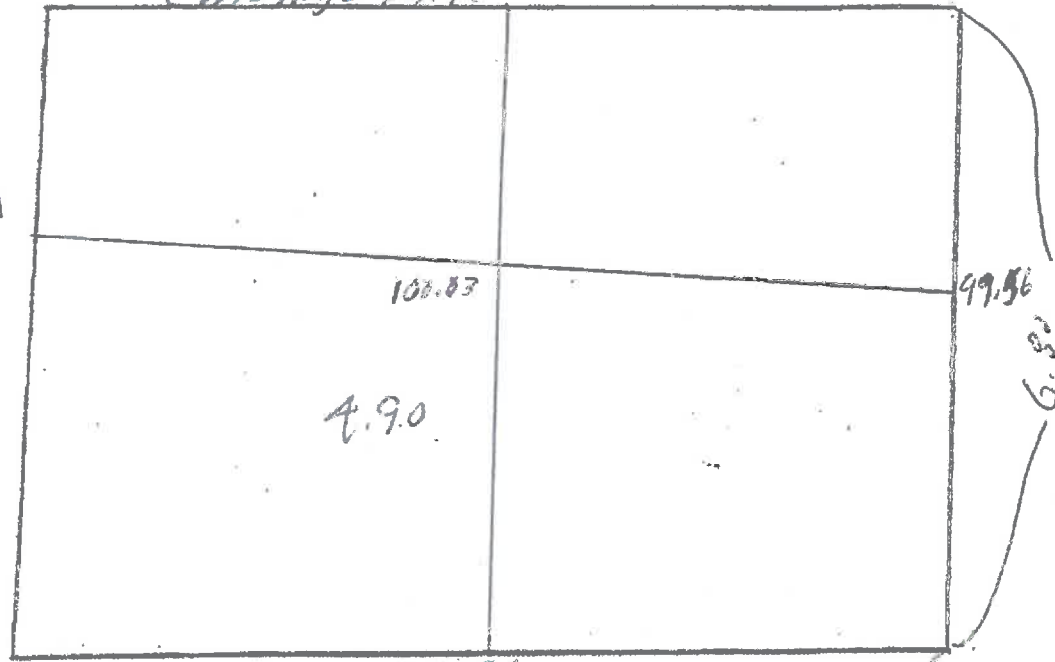
FLOOR = 95.13

24.4



SEG "B"

CEILING = 101.93'



$$\begin{array}{r} 35.1 \\ \times 6.8 \\ \hline 238.68 \end{array}$$

TOTAL  
FACE  
OF  
WALL

$$\begin{array}{r} 35.1 \\ \times 4.9 \\ \hline 171.99 \end{array}$$

BELOW  
GRADE

$$\frac{171.99}{238.68} = .7206$$

72.06%  
BELOW GRADE

FLOOR = 95.13'

35.1'

45 WATERHOLE ROAD  
BELMONT

SEC "C"

BASEMENT CEILING = 101.93

$$\begin{array}{r} 24.4 \\ \times 6.8 \\ \hline 165.92 \end{array}$$

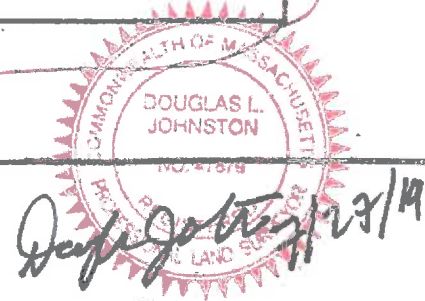
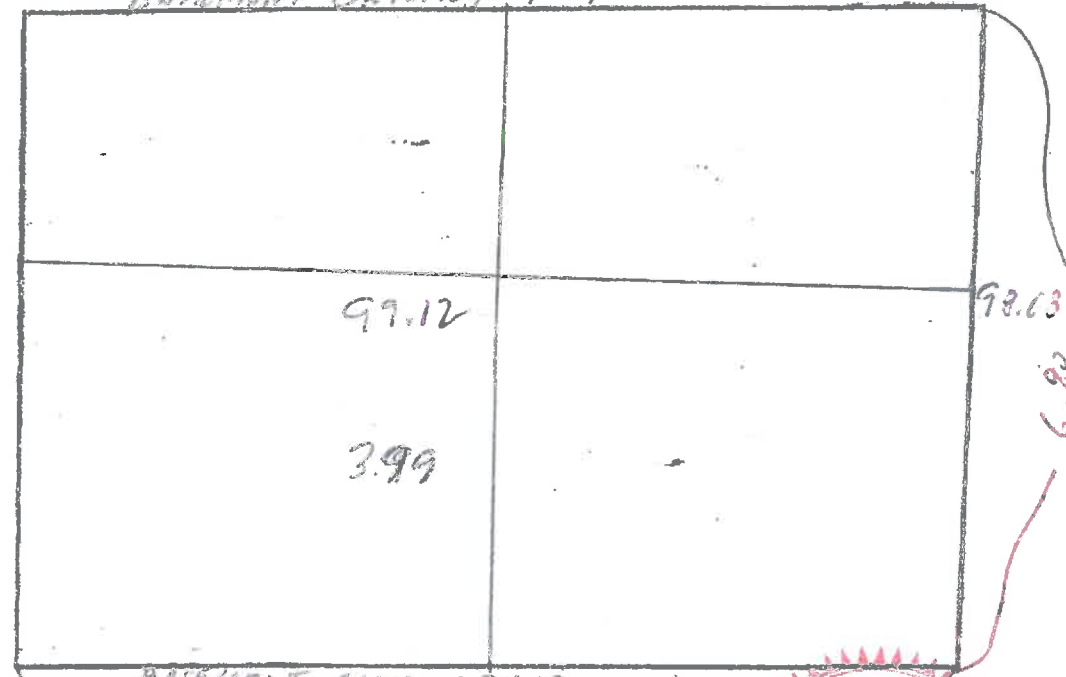
TOTAL  
FACE  
OF  
WALL

$$\begin{array}{r} 24.4 \\ \times 3.99 \\ \hline 97.36 \end{array}$$

BELOW  
GRADE

$$\frac{97.36}{165.92} = .5863$$

58.63% BELOW  
GRADE



SEC "D"

CEILING = 101.93

$$\begin{array}{r} 35.1 \\ \times 6.8 \\ \hline 238.68 \end{array}$$

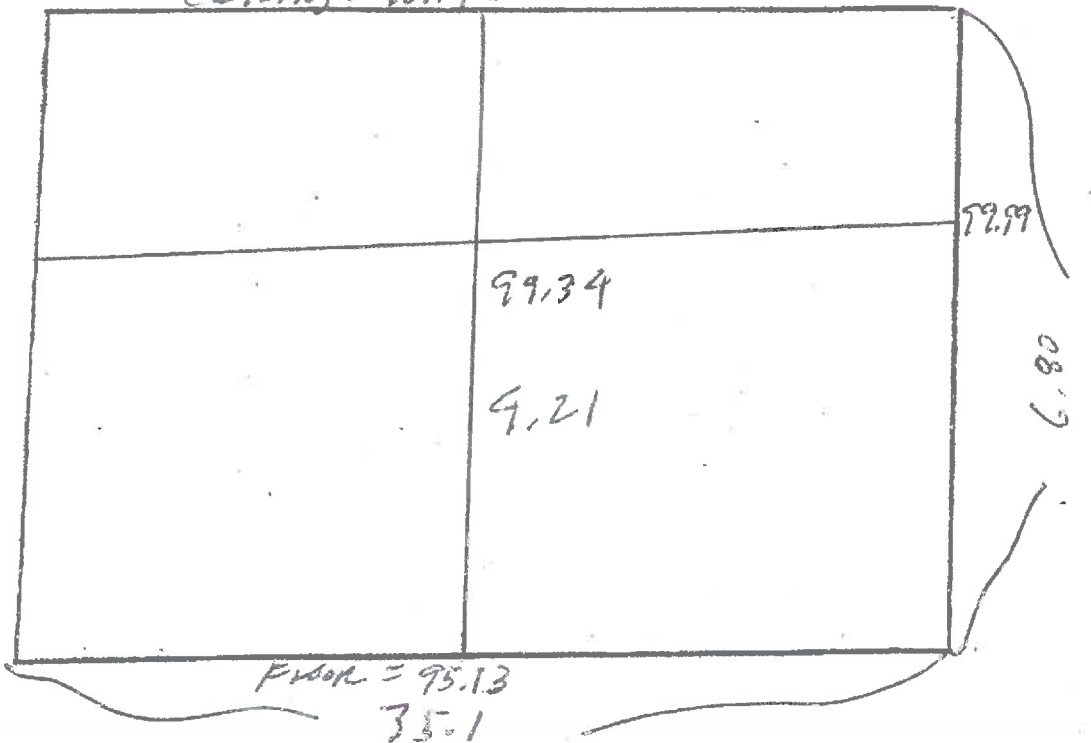
TOTAL  
FACE  
OF  
WALL

$$\begin{array}{r} 35.1 \\ \times 4.21 \\ \hline 147.77 \end{array}$$

BELOW  
GRADE

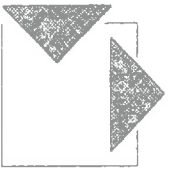
$$\frac{147.77}{238.68} = .6191$$

61.91%  
BELOW  
GRADE





MILLER  
DESIGN LLC

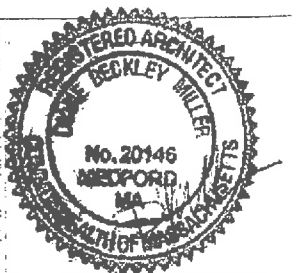


80 CLARK STREET  
BELMONT, MA 02478

Architect:  
Miller Design LLC  
80 Clark Street  
Belmont MA 02478  
617-993-3157

Date: Issued for:

5/27/19 SCHEMATIC DESIGN  
6/10/19 DESIGN DEVELOPMENT  
7/22/19 REVIEW SET



O'CONNOR RESIDENCE  
45 WATERHOUSE ROAD  
BELMONT MA 02478

## LANDSCAPE PLAN

Sheet  
Number:

L1

5' HIGH WOOD STOCKADE FENCE ACROSS BACK PROPERTY LINE

EXISTING FLOWERING SHRUB TO REMAIN

EXISTING ROSE BUSH TO REMAIN

6 EXISTING FOUNDATION PLANTS TO BE REPLACED

EXISTING 24" DIAM OAK TREE TO REMAIN

EXISTING RHODODENDRON TO BE REPLACED

APPROXIMATE LOCATION FOR NEW HVAC CONDENSERS

NEW FOUNDATION PLANT TO SCREEN HVAC EQUIPMENT

DASHED LINE REPRESENTS EXTENT OF EXISTING STRUCTURE

8 EXISTING FOUNDATION PLANTS TO BE REMOVED

6 NEW FOUNDATION PLANTS

### KEY

	GRASS
	MULCH
	HARDWOOD DECK
	PAVERS
	ASPHALT
	CONCRETE
	RETAINING WALL

### PLANT SCHEDULE

QTY	PLANT
4	EXISTING FRUIT TREE
1	EXISTING MAPLE TREE
5	EXISTING EVERGREEN SHRUB
1	EXISTING EVERGREEN HEDGE - +/- 6-8'H X +/- 110'L
1	NEW FRUIT TREE
1	NEW MAPLE TREE (OAE)
3	NEW ORNAMENTAL TREE
15	NEW EVERGREEN SHRUB

1 PLAN  
SCALE: 1/8" = 1'



PLANNING BOARD REVIEW SET  
JULY 22, 2019

- ENERGY AUDIT:
- REFERENCE CH 11 - ENERGY EFFICIENCY 2015 INTERNATIONAL RESIDENTIAL CODE W/ MASS AMENDMENTS.
- PRESCRIPTIVE OPTION FOR RESIDENTIAL ADDITION (401.3):
1. RENOVATION TO COMPLY WITH ENERGY STAR QUALIFIED HOMES THERMAL BYPASS INSPECTION CHECKLIST. INSULATION VALUES AS FOLLOWS: R49 ROOF R-VALUE, R20 WALL R-VALUE, R15/19 BASEMENT / CRAWL SPACE WALL R-VALUE.
  2. RENOVATION TO COMPLY WITH ENERGY STAR PROGRAM REQUIREMENTS FOR RESIDENTIAL WINDOWS, DOORS, AND SKYLIGHTS - VERSION 5.0. ALL NEW WINDOW GLAZING TO BE .30 U FACTOR AND SKYLIGHTS TO BE .55 U-FACTOR.
  3. HEATING / COOLING DUCTS TO BE SEALED AND TESTED TO MEET REQUIREMENTS OF 401.3.

PROJECT INFORMATION:

BELMONT ZONING SR-C:

REQUIRED:

MAX 25% LOT COVERAGE  
MIN 50% OPEN SPACE

FRONT YARD SETBACK: AVERAGE  
REAR YARD SETBACK: 30'-0"  
SIDE YARD SETBACK: 10'-0"

MAX HEIGHT: 2 1/2 STORIES,  
30' TO MIDPOINT AND 34' TO RIDGE

- DRAWING LIST
- A1 COVER SHEET
  - A2 EXISTING CELLAR FLOOR PLAN
  - A3 EXISTING FIRST FLOOR PLAN
  - A4 EXISTING ATTIC PLAN
  - A5 EXISTING ELEVATIONS
  - A6 NEW CELLAR FLOOR PLAN
  - A7 NEW FIRST FLOOR PLAN
  - A8 NEW SECOND FLOOR PLAN
  - A9 NEW ATTIC PLAN
  - A10 NEW ROOF PLAN
  - A11 NEW ELEVATIONS

BELMONT GROSS FLOOR AREA CALCS:

EXISTING GROSS FLOOR AREA:

- 0 SF CELLAR
- 856 SF FIRST FLOOR
- 0 SF ATTIC (6' OR GREATER)
- 856 SF TOTAL

30% OF 856 SF = 256.8 SF MAX ADDITION BY RIGHT

NEW ADDITION GROSS FLOOR AREA:

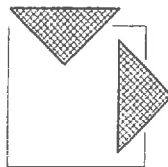
- 0 SF CELLAR
- 529 SF FIRST FLOOR
- 1100 SF SECOND FLOOR
- 286 SF ATTIC (6' OR GREATER)
- 1915 SF TOTAL

1915 SF > 256.8 SF THEREFORE REQUIRES SPECIAL PERMIT

- LIGHTING LEGEND
- RECESSED LED CAN LIGHT - AS SELECTED BY OWNER
  - CEILING MOUNTED PENDANT - AS SELECTED BY OWNER
  - CEILING MOUNTED DOME LIGHT - AS SELECTED BY OWNER
  - WALL MOUNTED SCONCES AS SELECTED BY OWNER
  - CEILING FAN WITH INTEGRAL LIGHT - AS SELECTED BY OWNER
  - S.D. SMOKE DETECTOR - NOTE ALL NEW AND EXISTING SMOKE DETECTORS TO BE HARD-WIRED PER CODE
  - S/CO HARD-WIRED SMOKE / CARBON MONOXIDE DETECTOR
  - DATA CONNECTION
  - TELEPHONE / DATA CONNECTION
  - ELECTRIC OUTLET (SPECIFIC LOCATIONS ONLY - ALL OUTLETS AS REQUIRED BY CODE ARE NOT SHOWN ON PLANS)

- SYMBOL LEGEND
- WALL TO BE DEMOLISHED
  - EXISTING WALL TO REMAIN
  - NEW WALL
  - INTERIOR ELEVATION
  - SECTION
  - DOOR TAG
  - WINDOW TAG

MILLER  
DESIGN LLC

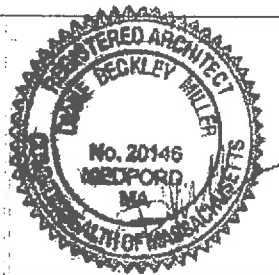


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6/10/19	DESIGN DEVELOPMENT
7/22/19	REVIEW SET

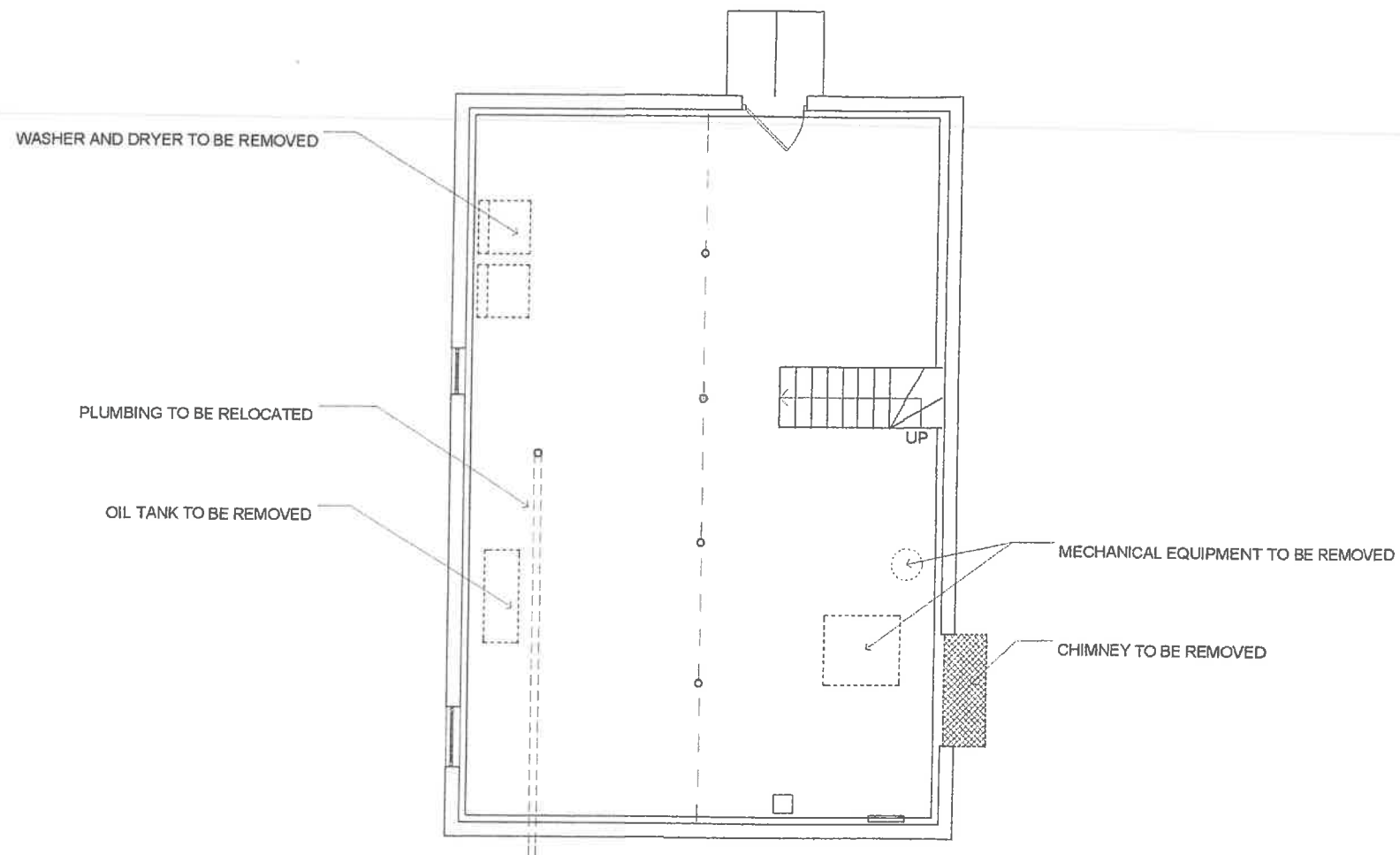


O'CONNOR RESIDENCE  
45 WATERHOUSE ROAD  
BELMONT MA 02478

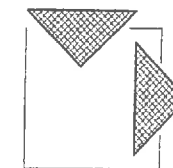
COVER SHEET

Sheet  
Number:

A1



MILLER  
DESIGN LLC



80 CLARK STREET  
BELMONT, MA 02478

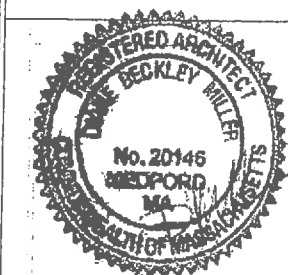
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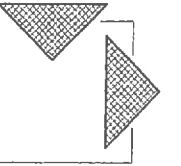
EXISTING CELLAR  
FLOOR PLAN

Sheet  
Number:

A2



MILLER  
DESIGN LLC



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BELMONT, MA 02478

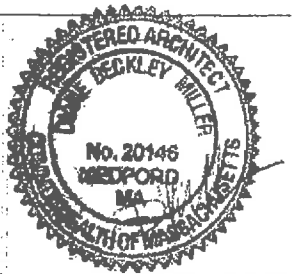
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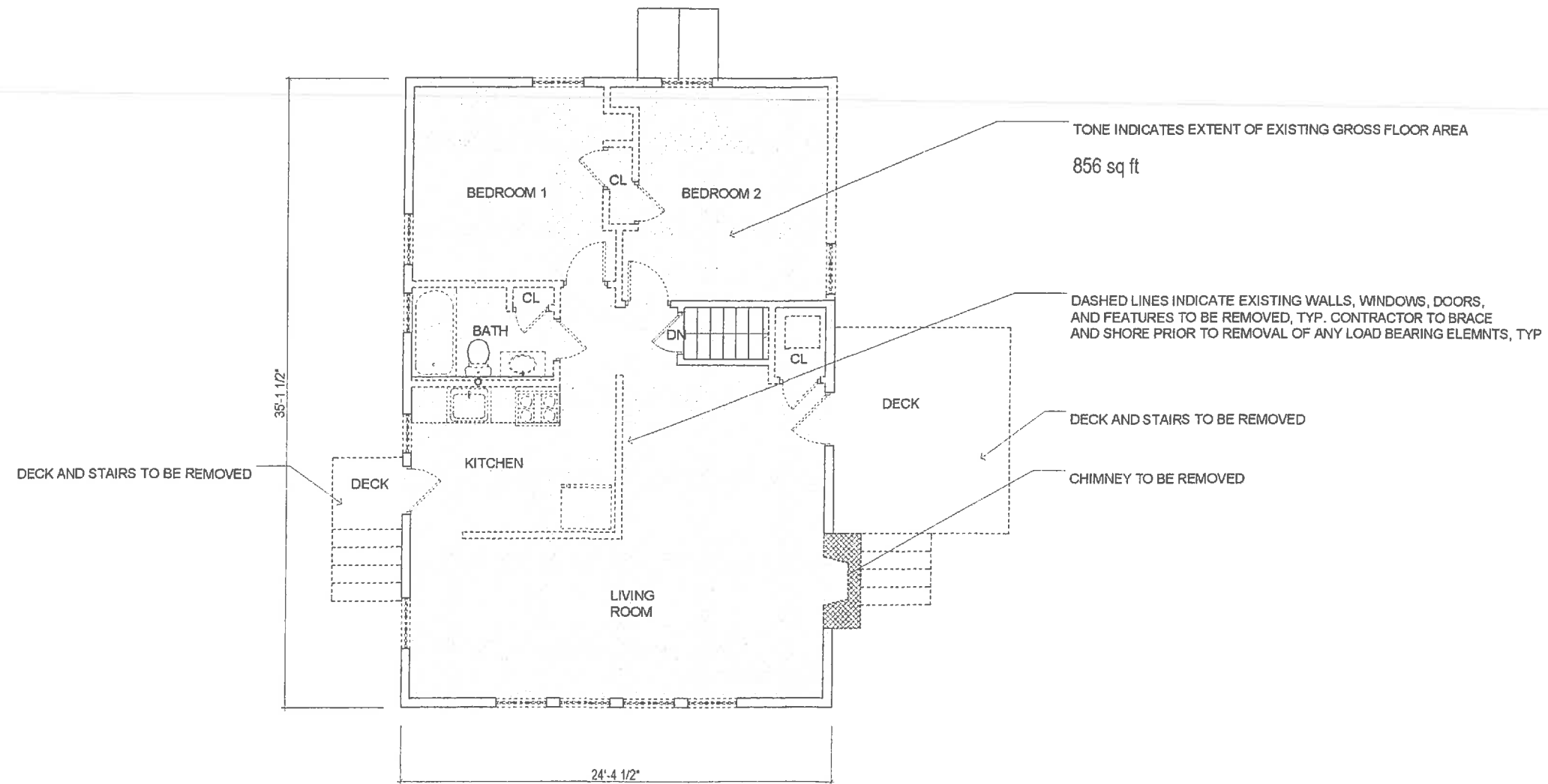


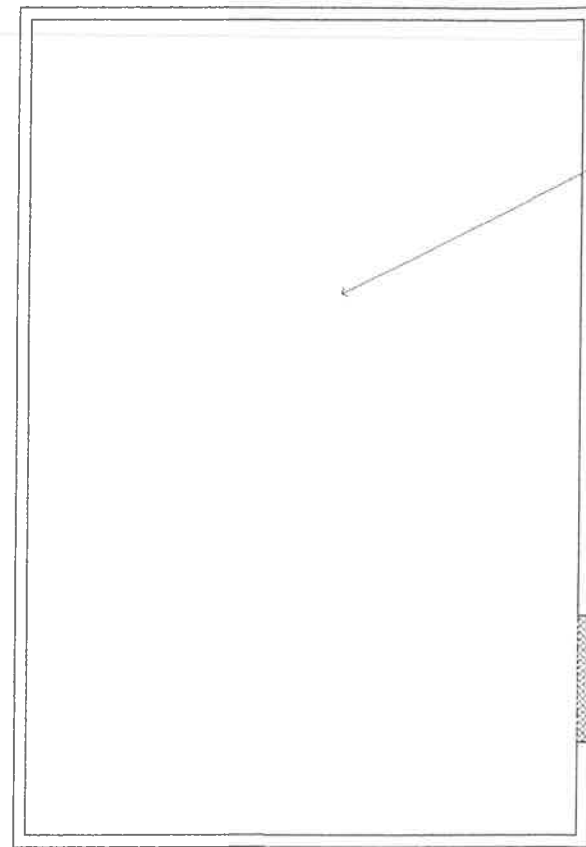
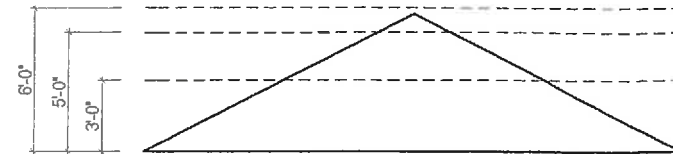
O'CONNOR RESIDENCE  
45 WATERHOUSE ROAD  
BELMONT MA 02478

EXISTING FIRST  
FLOOR PLAN

Sheet  
Number:

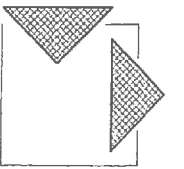
A3





NO PORTION OF EXISTING ATTIC HAS CEILING OF 6'-0" OR GREATER

MILLER  
DESIGN LLC



80 CLARK STREET  
BELMONT, MA 02478

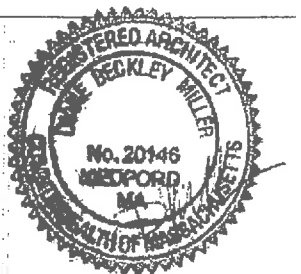
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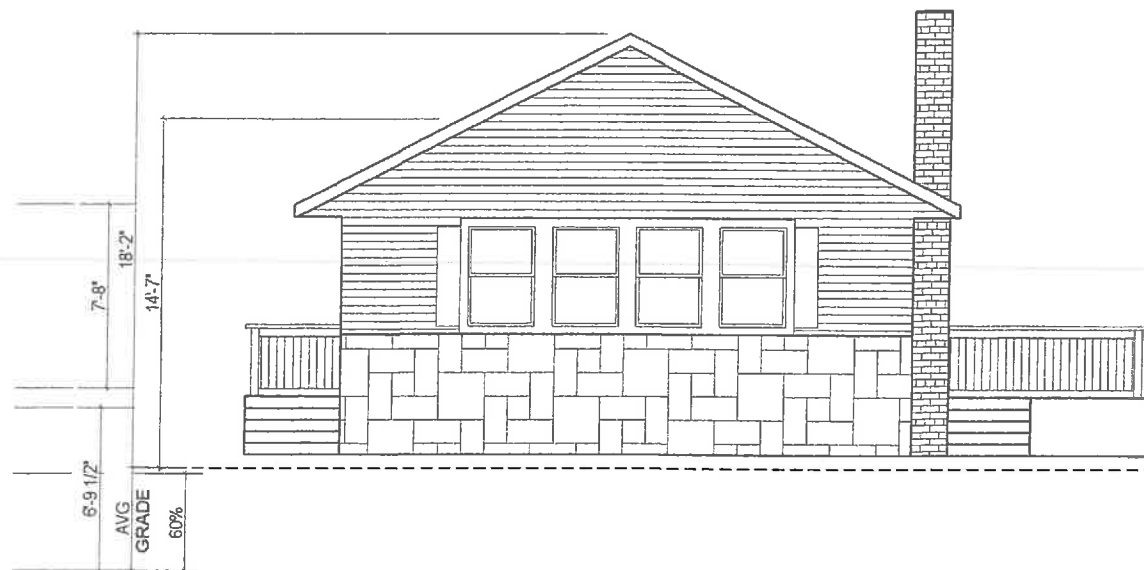


O'CONNOR RESIDENCE  
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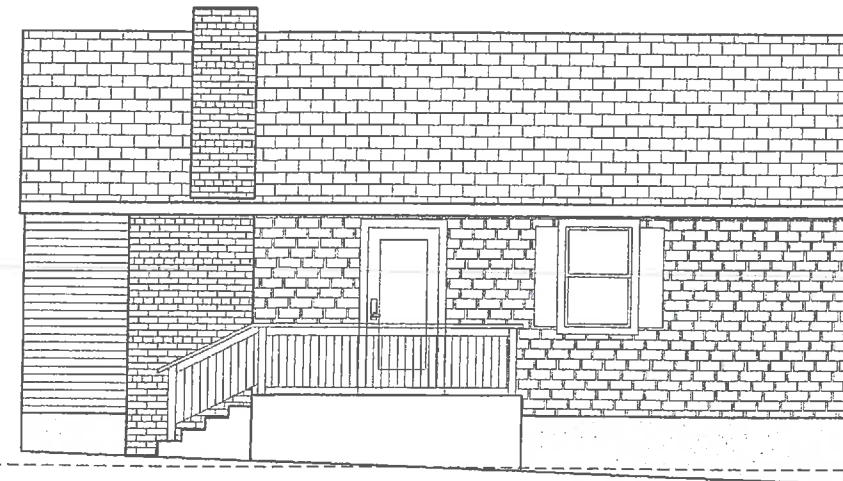
EXISTING ATTIC  
FLOOR PLAN

Sheet  
Number:

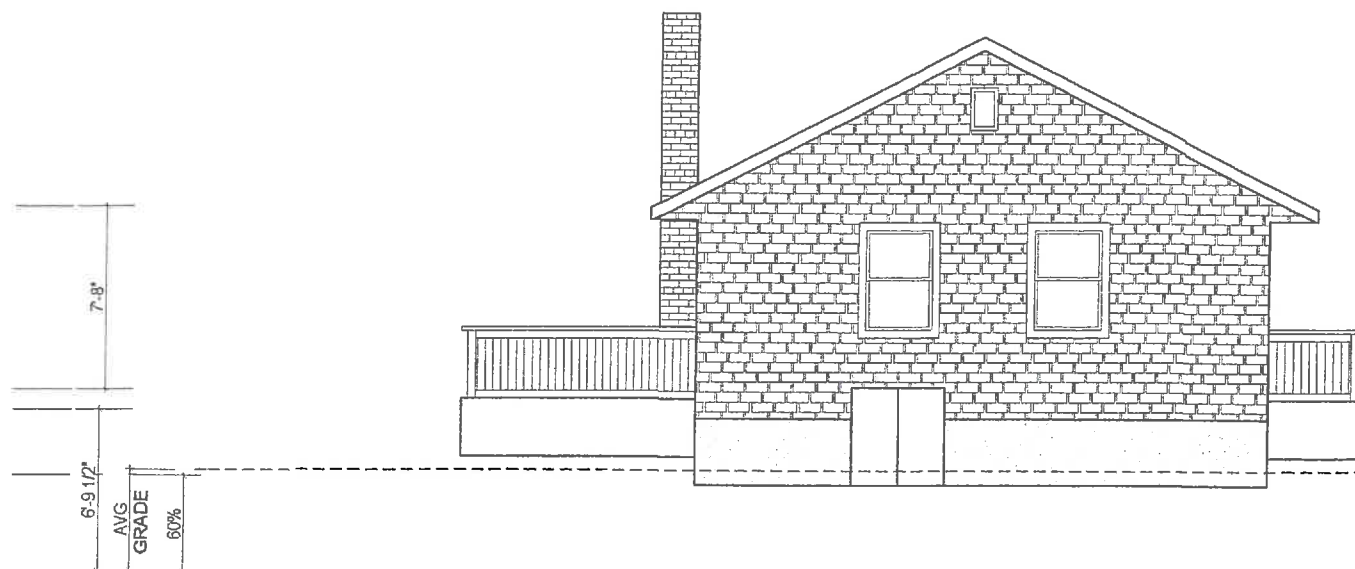
A4



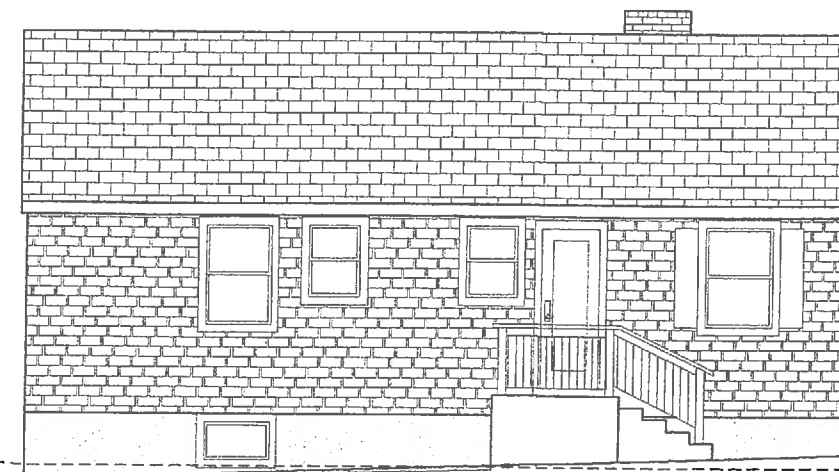
1 FRONT ELEVATION  
1/8" = 1'-0"



2 SIDE ELEVATION  
1/8" = 1'-0"

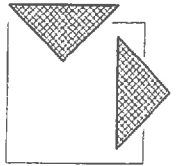


3 REAR ELEVATION  
1/8" = 1'-0"



4 SIDE ELEVATION  
1/8" = 1'-0"

MILLER  
DESIGN LLC

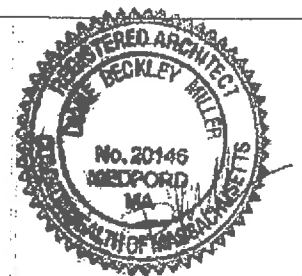


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7/22/19	REVIEW SET



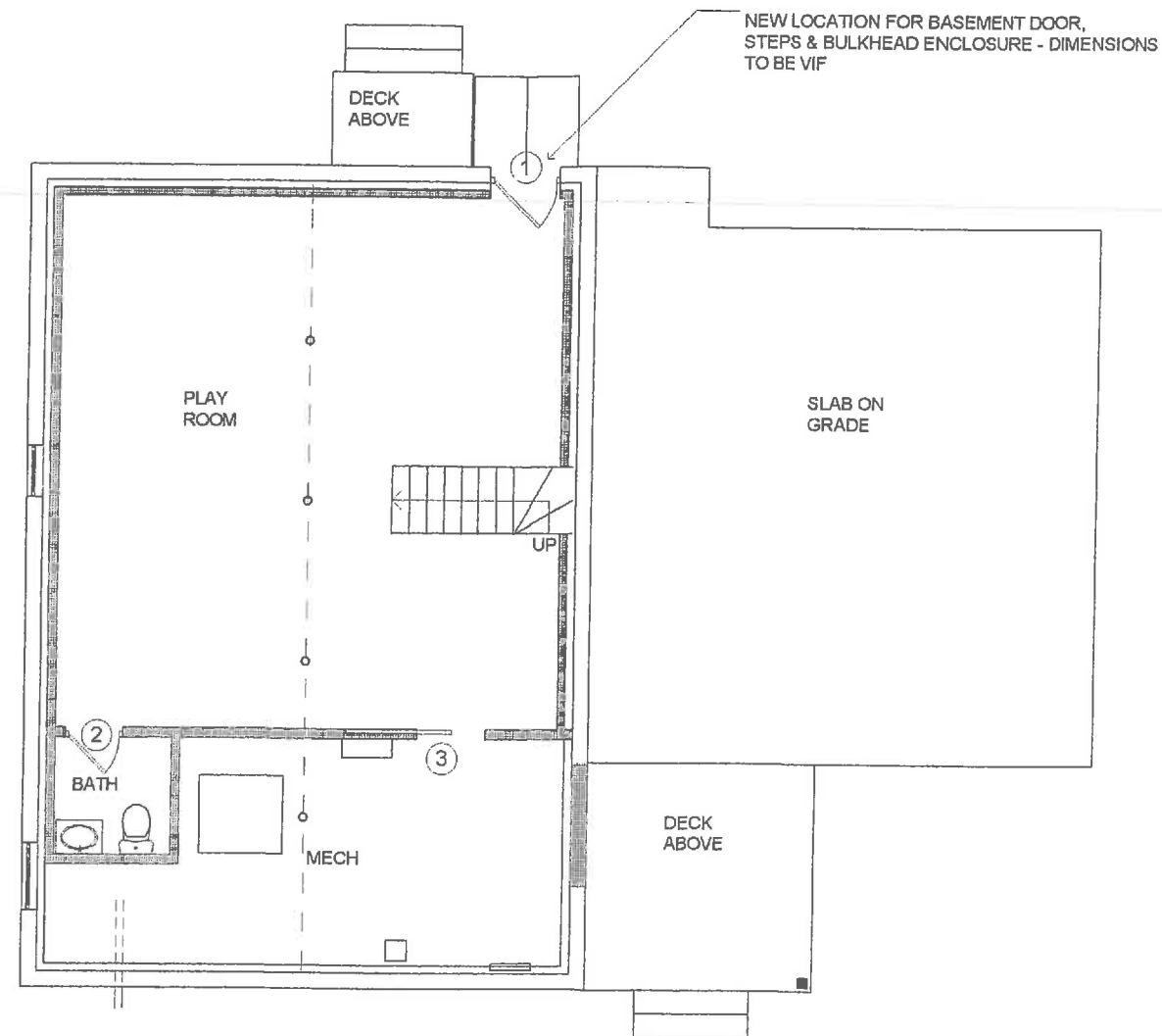
O'CONNOR RESIDENCE  
45 WATERHOUSE ROAD  
BELMONT MA 02478

EXISTING  
ELEVATIONS

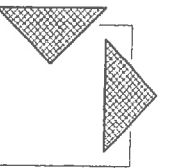
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A5





MILLER  
DESIGN LLC

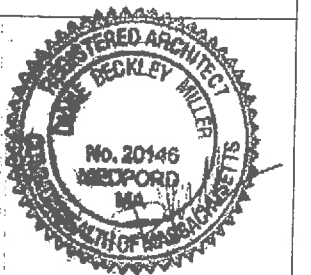


80 CLARK STREET  
BELMONT, MA 02478

Architect:  
Miller Design LLC  
80 Clark Street  
Belmont MA 02478  
617-993-3157

Date:      Issued for:

5/27/19	SCHEMATIC DESIGN
6/10/19	DESIGN DEVELOPMENT
7/22/19	REVIEW SET

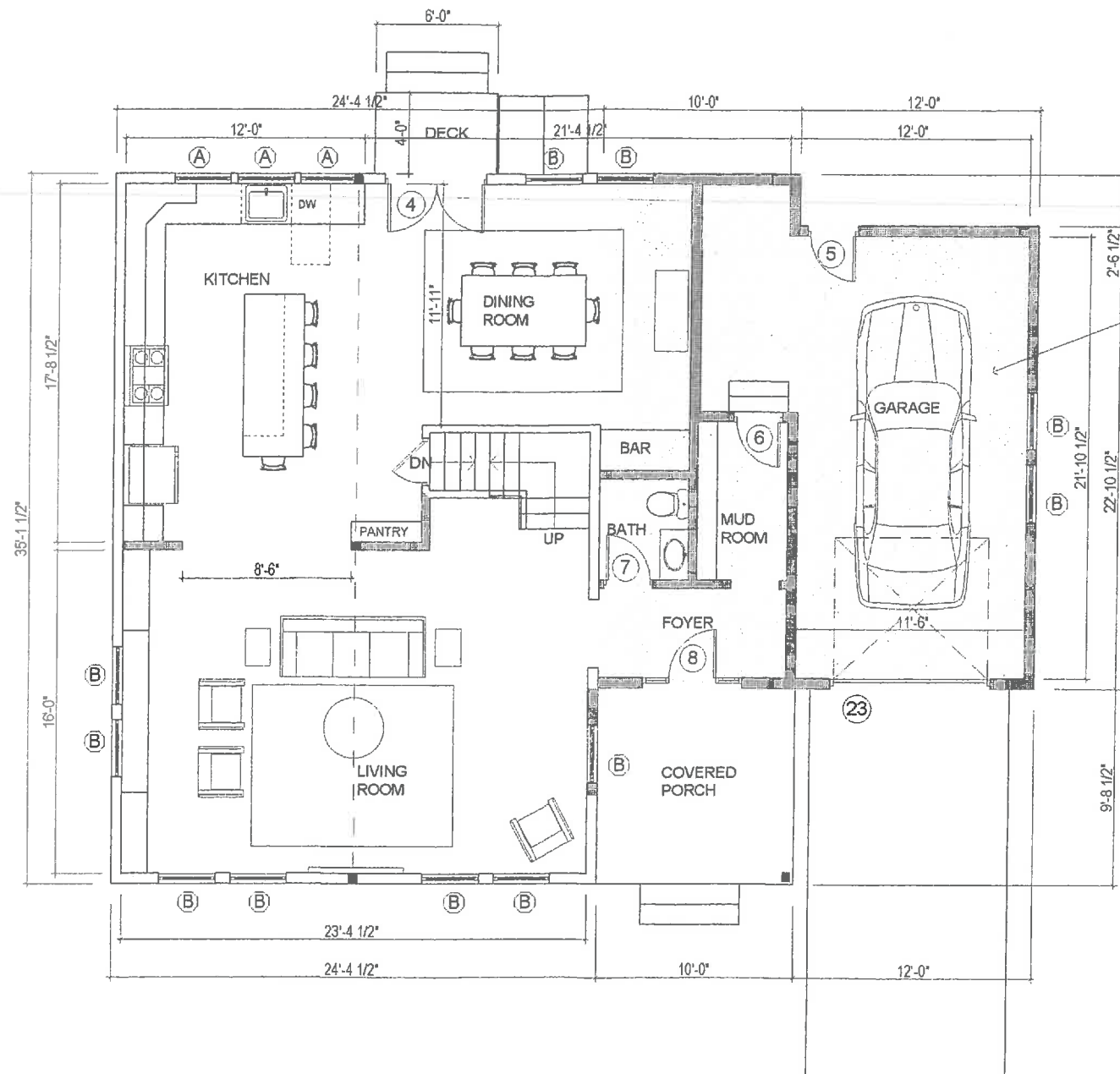


O'CONNOR RESIDENCE  
45 WATERHOUSE ROAD  
BELMONT MA 02478

NEW CELLAR  
FLOOR PLAN

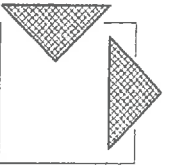
Sheet  
Number:

A6



529 sq ft

MILLER  
DESIGN LLC

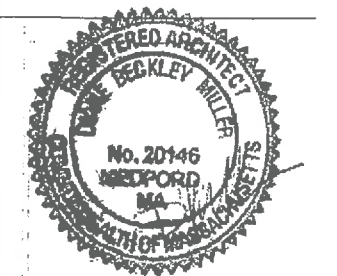


80 CLARK STREET  
BELMONT, MA 02478

Architect:  
Miller Design LLC  
80 Clark Street  
Belmont MA 02478  
617-993-3157

Date: Issued for:

5/27/19	SCHEMATIC DESIGN
6/10/19	DESIGN DEVELOPMENT
7/22/19	REVIEW SET



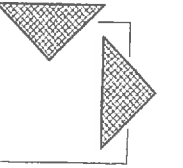
O'CONNOR RESIDENCE  
45 WATERHOUSE ROAD  
BELMONT MA 02478

NEW FIRST  
FLOOR PLAN

Sheet  
Number:

A7

MILLER  
DESIGN LLC



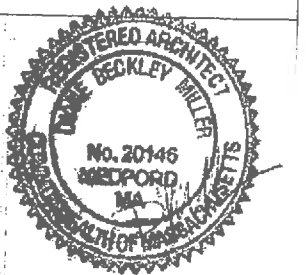
80 CLARK STREET  
BELMONT, MA 02478

Architect:  
Miller Design LLC  
80 Clark Street  
Belmont MA 02478  
617-993-3157

Date: Issued for:

5/27/19 SCHEMATIC DESIGN

7/22/19 REVIEW SET

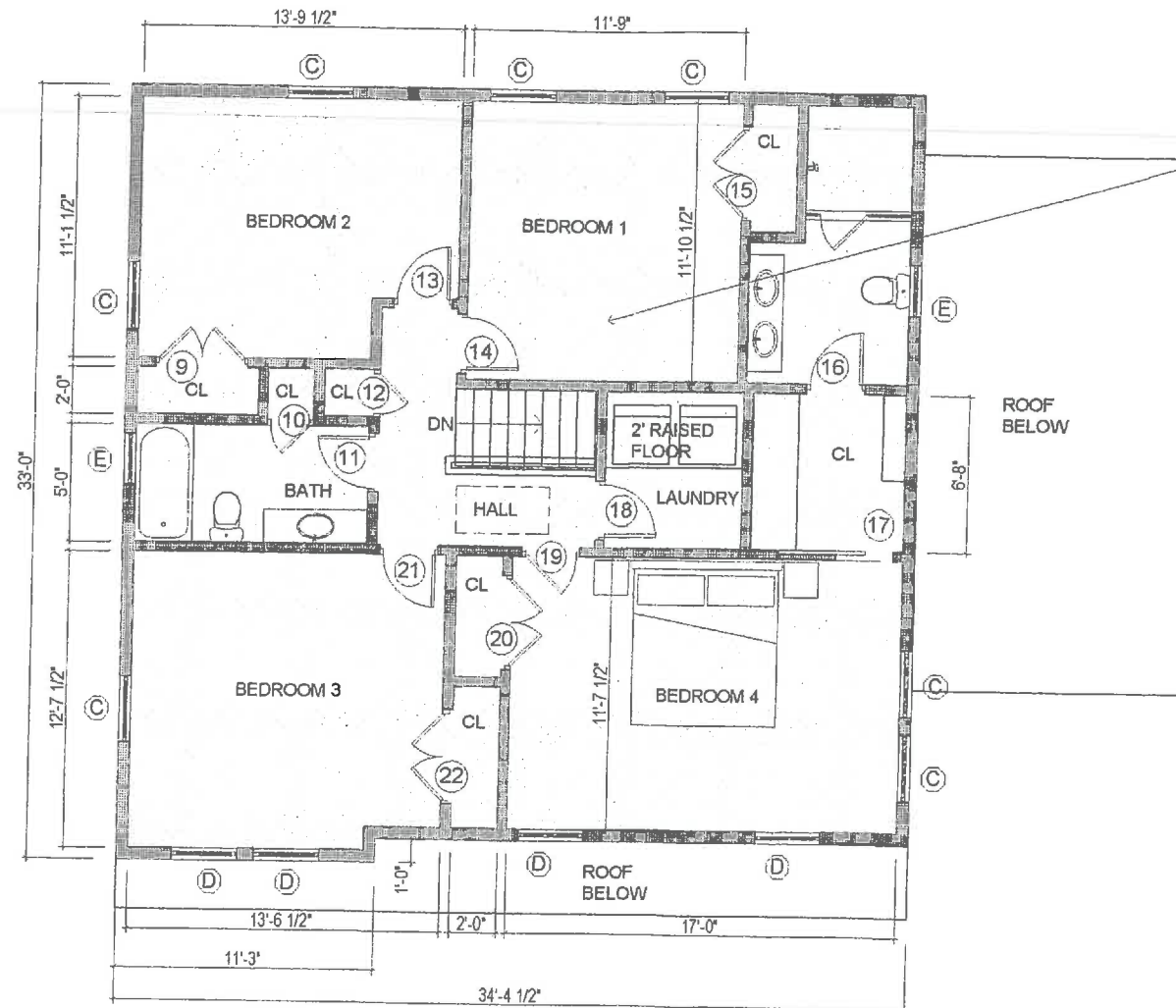


O'CONNOR RESIDENCE  
45 WATERHOUSE ROAD  
BELMONT MA 02478

NEW SECOND  
FLOOR PLAN

Sheet  
Number:

A8



TONE INDICATES EXTENT OF  
NEW GROSS FLOOR AREA

1,111 sq ft



HALF STORY AREA CALCULATIONS:

SECOND FLOOR AREA = 1111 SF

ALLOWABLE: MAX 666.7 SF W/ CEILING HEIGHT OF 5' OR GREATER (BASED ON 60% OF 1111 SF SECOND FLOOR).

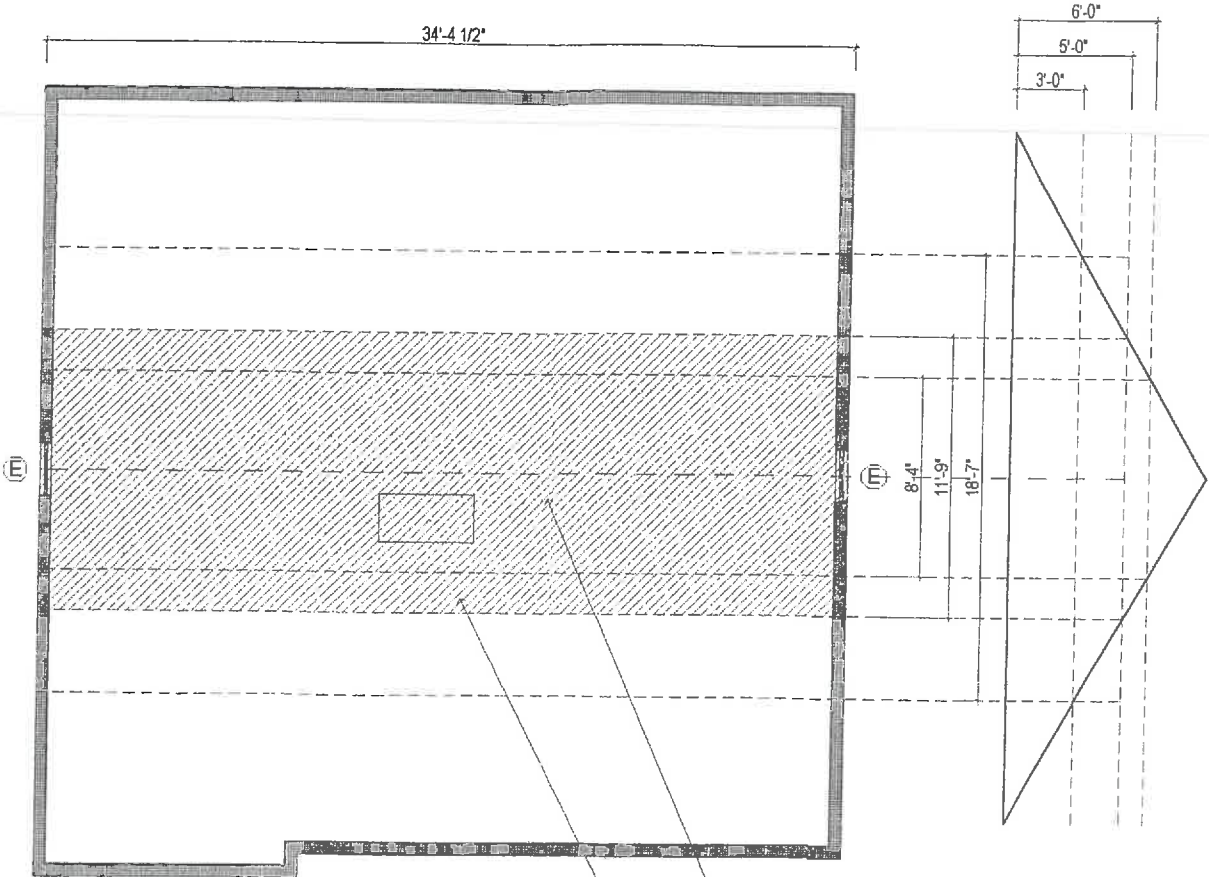
ACTUAL: 404 SF EXISTING  
(AREA W/ CEILING HEIGHT OF 5' OR GREATER IS DESIGNATED BY HATCH)

HALF STORY PERIMETER CALCULATIONS:

SECOND FLOOR PERIMETER = 134'-9"

ALLOWABLE: MAX 67'-4 1/2" W/ RAFTER BOTTOMS AT 3' OR GREATER (BASED ON 50% OF 134'-9" PERIMETER).

ACTUAL: 18'-7" + 18'-7" = 37'-2"



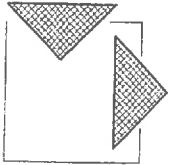
TONE INDICATES EXTENT OF GROSS FLOOR AREA OF ATTIC WITH CEILING OF 6'-0" HIGH OR GREATER (FOR GROSS FLOOR AREA INCREASE - SEE COVERSHEET):

286 sq ft

HATCH INDICATES EXTENT OF GROSS FLOOR AREA OF ATTIC WITH CEILING OF 5'-0" HIGH OR GREATER (FOR HALF STORY CALC - SEE THIS SHEET):

404 sq ft

MILLER  
DESIGN LLC

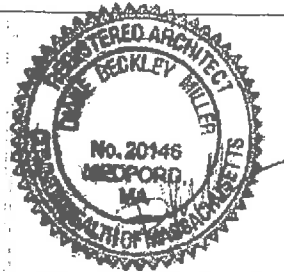


80 CLARK STREET  
BELMONT, MA 02478

Architect:  
Miller Design LLC  
80 Clark Street  
Belmont MA 02478  
617-993-3157

Date: Issued for:

5/27/19	SCHEMATIC DESIGN
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7/22/19	REVIEW SET



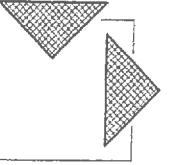
O'CONNOR RESIDENCE  
45 WATERHOUSE ROAD  
BELMONT MA 02478

NEW ATTIC  
FLOOR PLAN

Sheet  
Number:

A9

MILLER  
DESIGN LLC



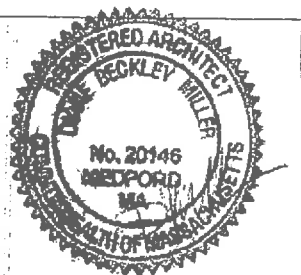
80 CLARK STREET  
BELMONT, MA 02478

Architect:  
Miller Design LLC  
80 Clark Street  
Belmont MA 02478  
617-993-3157

Date: Issued for:

5/27/19 SCHEMATIC DESIGN

7/22/19 REVIEW SET

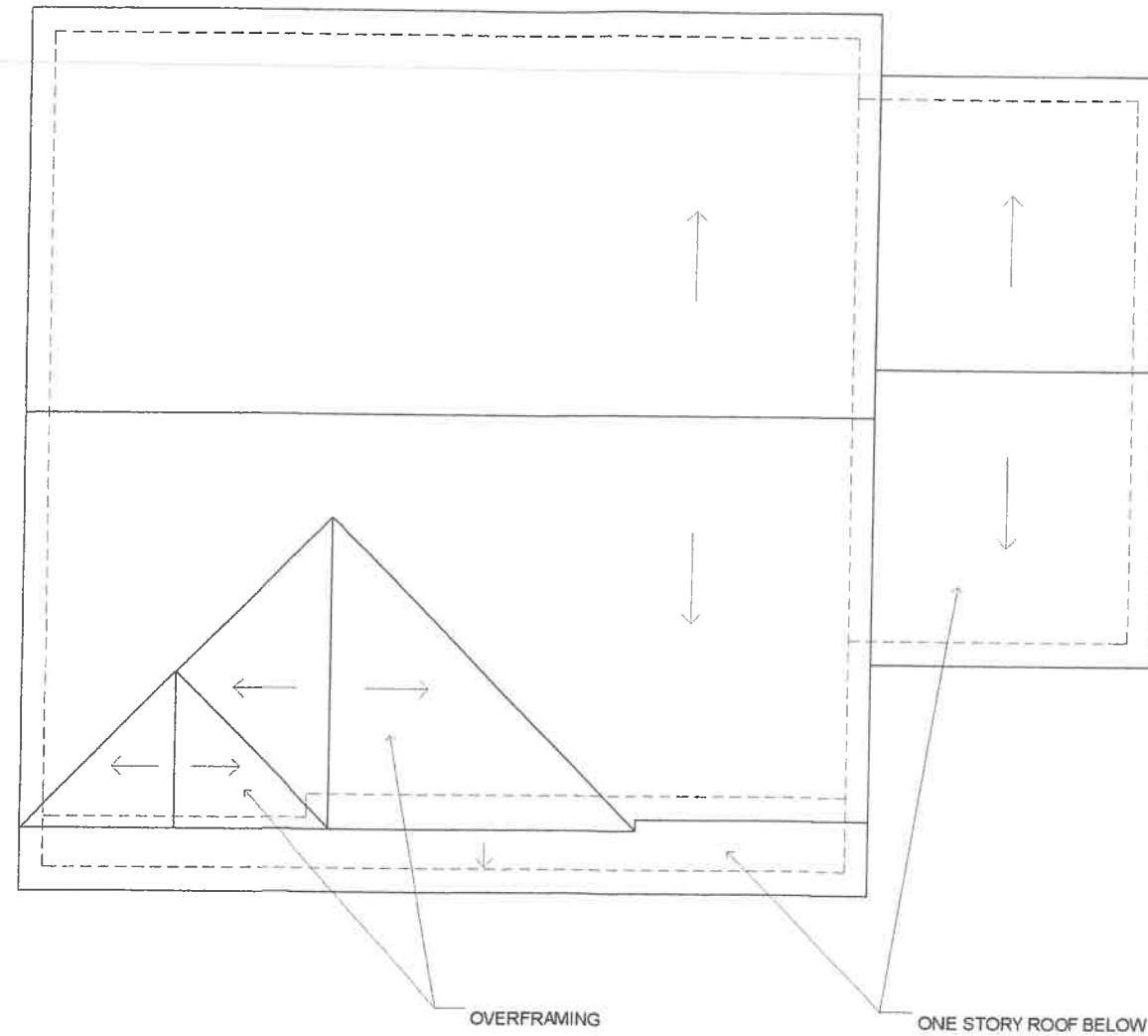


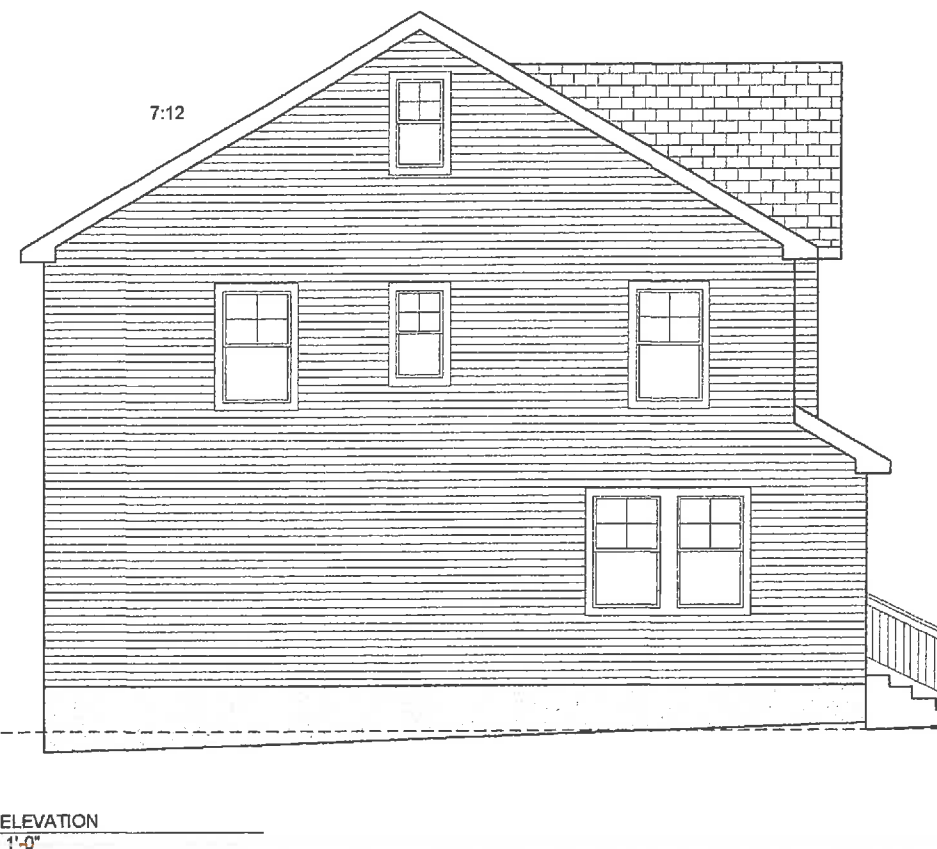
O'CONNOR RESIDENCE  
45 WATERHOUSE ROAD  
BELMONT MA 02478

ROOF PLAN

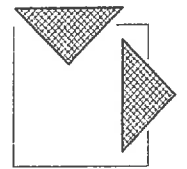
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A10





MILLER  
DESIGN LLC

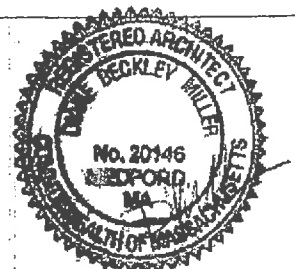


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BELMONT, MA 02478

Architect:  
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80 Clark Street  
Belmont MA 02478  
617-993-3157

Date: Issued for:

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7/22/19	REVIEW SET



O'CONNOR RESIDENCE  
45 WATERHOUSE ROAD  
BELMONT MA 02478

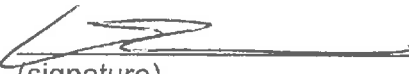
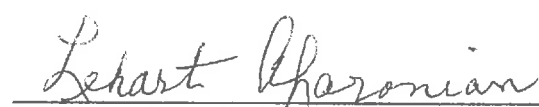
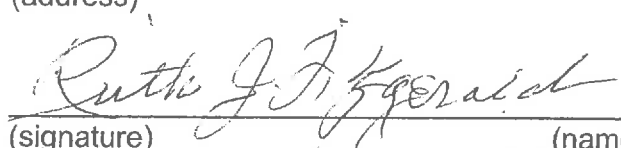

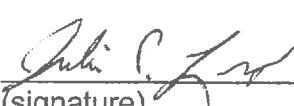

NEW  
ELEVATIONS

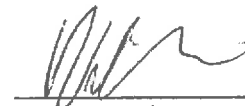
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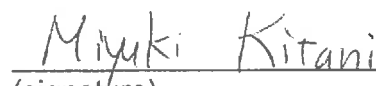
A11

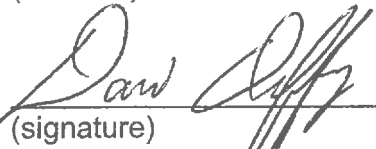



We, the neighbors of Tracey and Corey O'Connor of 45 Waterhouse Road in Belmont, have reviewed their plans to expand their home at the above mentioned address. Furthermore, we support their petition for ZBA relief to allow them to proceed with this project.

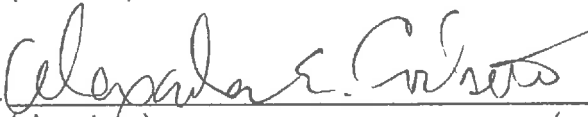
1.  Christine Leighton  
(signature) (name)  
3 Westlund Rd Belmont MA 02478  
(address)
2.  LEHART AHARONIAN  
(signature) (name)  
4 Westlund Rd.  
(address)
3.   
(signature) (name)  
39 Waterhouse Rd.  
(address)
4.  Kiok Lee  
(signature) (name)  
57 Waterhouse Rd.  
(address)
5.  Julie Lemay  
(signature) (name)  
37 Statler Rd.  
(address)
6.  Xin Wang  
(signature) (name)  
66 Newcastle Rd.  
(address)

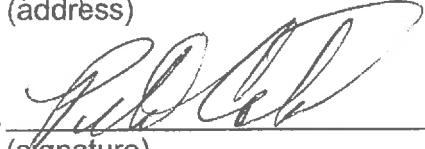
7.  Will Tyson  
(signature) (name)  
60 Newcastle Road  
(address)

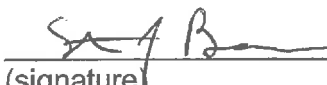
8.  Miyuki Kitani  
(signature) (name)  
31 Statler Rd  
(address)

9.  DAVID Duffy  
(signature) (name)  
47 STATLER RD  
(address)

10.  John Wymett  
(signature) (name)  
32 W. H Rd  
(address)

11.  Alexander E. Costas  
(signature) (name)  
114 ALEXANDER AVE  
(address)

12.  Peter Costas  
(signature) (name)  
54 Newcastle Rd  
(address)

13.  Steve & Anne Bauer  
(signature) (name)  
54 Waterhouse Rd  
(address)

September 29, 2019

Dear Planning Board Members,

I am a neighbor of Tracey and Corey O'Connor and I would like to express my support of their second story addition and interior renovation at 45 Waterhouse Road. After reviewing the building plans Tracey and Corey shared with me, I have no objections to their project. In fact, I believe that the proposed addition represents a significant improvement to the property and therefore the neighborhood as a whole. We are happy to have Tracey and Corey as neighbors and excited to see their family grow in the future.

Sincerely,

A handwritten signature in blue ink that reads "Julie C. Lemay". The script is cursive and fluid, with the first letters of each word being capitalized and prominent.

Julie C Lemay

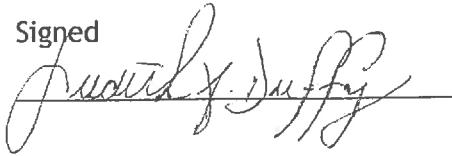
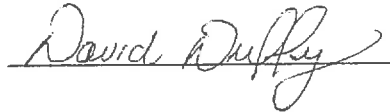
37 Statler Road

Belmont, MA 02478

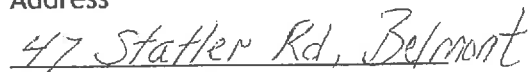
Dear Planning Board Members,

I, Judy Duffy and my husband David Duffy are the neighbors of Tracey and Corey O'Connor, we would like to express our support of their second story addition and interior renovation at 45 Waterhouse Road. After reviewing the building plans Tracey and Corey shared with us, we have no objections to their project. In fact, we believe that the proposed addition represents a significant improvement to the property and therefore the neighborhood as a whole. We are happy to have Tracey and Corey as neighbors and excited to see their family grow in the future.

Signed

A handwritten signature in cursive script, reading "Judy Duffy", written over a horizontal line.A handwritten signature in cursive script, reading "David Duffy", written over a horizontal line.

Address

A handwritten address in cursive script, reading "47 Statter Rd, Belmont", written over a horizontal line.