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TOWN CLERK
BELMONT, MA

2019 JUL -8 PM 4:38

NOTICE OF PUBLIC HEARING BY THE
PLANNING BOARD

ON AN APPLICATION FOR ONE SPECIAL PERMIT

Notice is hereby given that the Belmont Planning Board will hold a public hearing on **TUESDAY, JULY 16, 2019, at 7:00 PM** in the **Board of Selectmen's Meeting Room, Town Hall, 455 Concord Ave.**, to consider the application of **Heather Lance** for a SPECIAL PERMIT under Section 1.5.4 A of the Zoning By-Laws to **ALTER A NONCONFORMING STRUCTURE IN ORDER TO CONSTRUCT A SECOND STORY ADDITION AND INCREASE THE SIZE OF THE SINGLE-FAMILY HOME BY MORE THAN 300 SF** at **16 Ripley Road** located in the General Residence Zoning District.

Planning Board



RECEIVED
TOWN CLERK
BELMONT, MA

Town of Belmont

2019 JUL -8 PM 4:30
Planning Board

COMMUNITY
DEVELOPMENT

JUN 15 - 9 AM 11:58

APPLICATION FOR A SPECIAL PERMIT

Date: June 17, 2019

Planning Board
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Law of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 16 Ripley Rd Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for _____

2 Story addition on rear of
house

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner

Heather Lance

Print Name

Heather Lance

Address

16 Ripley Rd

Belmont, MA

Daytime Telephone Number

617-901-4167



OFFICE OF COMMUNITY DEVELOPMENT
TOWN OF BELMONT

19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2664
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

May 29, 2019

Ms. Heather Lance
16 Ripley Road
Belmont, MA 02478

RE: Denial to Construct Two Story Rear Addition:

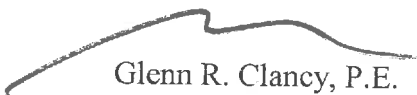
Dear Ms. Lance:

The Office of Community Development is in receipt of your building permit application for the construction of a two story addition at the rear of your home located in a General Residence (GR) Zoning District.

Your application has been denied because it does not comply with the Zoning By-Law. More specifically, Section 1.5.4 A of the Zoning By-Law allows extensions or alterations exceeding 300 square feet to non-conforming structures in the GR zoning district by a Special Permit from the Planning Board. Your proposed addition is 430.86 square feet.

You may alter your plans to conform to the Zoning By-Law and resubmit a building permit application, or you may request one (1) Special Permit from the Planning Board. If you choose this option, please contact the Office of Community Development to schedule an appointment with a member of the Planning Staff at (617) 993-2666 in order to begin the process.

Sincerely,

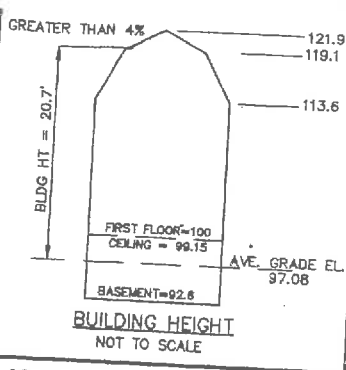

Glenn R. Clancy, P.E.
Inspector of Buildings

Our names are Heather and Mauro Lance and we have lived at 16 Ripley Road since July 2010.

Currently, our house is 1,150 square feet and has three bedrooms and one and a half bathrooms. We have three children (ages 10, 7, and 5) and are expecting our fourth in August. We love our neighborhood and over the years have established close relationships with our surrounding neighbors. Our older two children attend Butler Elementary School and have had a very positive experience there, and we have been involved and committed members of the school's PTA. The thought of having to move is heart-wrenching, and we would very much like to stay in our current house but need the extra space.

We have been working with an architect for about a year who has drafted plans for us according to current Belmont zoning laws, that will add 400 square feet to the back of our house, expanding our kitchen and adding a much needed extra bedroom and bathroom upstairs (we currently have one full bathroom). The addition will not change the front or the height of the house, thus it won't impact the character of the neighborhood. Even with the additional 400 square feet, the Total Livable Area would be 1,550 square feet which is still within our current 912-1822 TLA range and below the neighborhood's 1-family TLA average (1,964).

We have reached out by mail to all the neighbors that live within 300 feet of our house (using the list provided by the Town of Belmont), letting them know about the project, and have obtained signatures of support from all the neighbors that directly abut us as well as other neighbors (attached with this application).

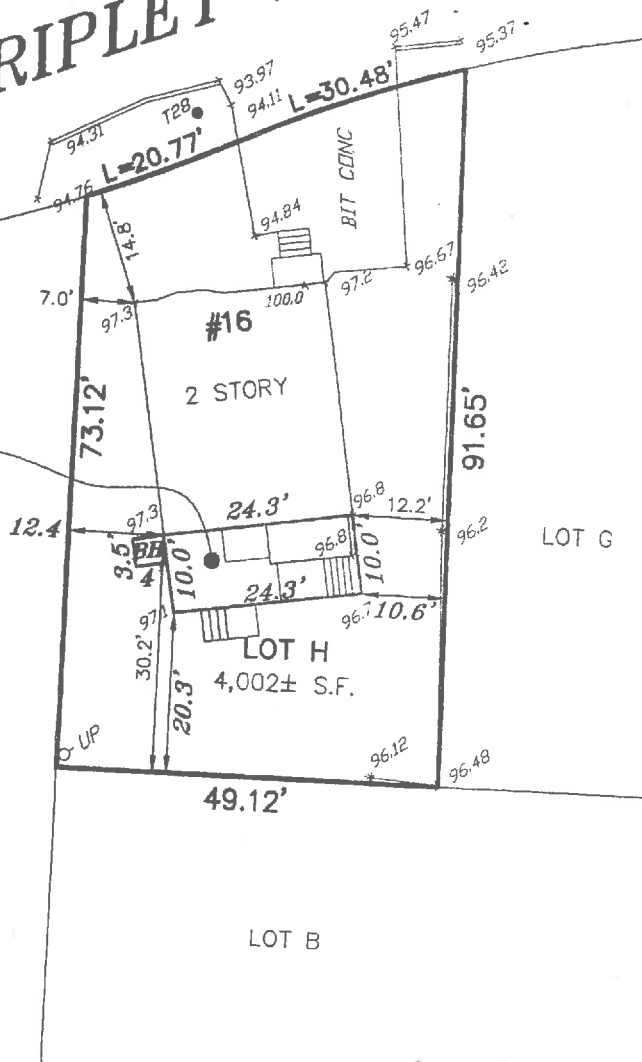


68.3% OF BASEMENT UNDERGROUND
THEREFOR BASEMENT IS NOT A STORY

RIPLEY ROAD

PROPOSED
ADDITION

LOT I



THE PROPERTY IS NOT LOCATED
WITHIN WETLANDS AS SHOWN
ON THE TOWN OF BELMONT
WETLANDS ATLAS.

* REAR SETBACK: $(73.12 + 91.65) / 2 \times 20\% = 16.5'$

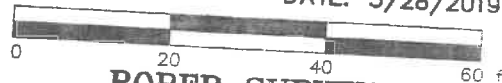
ZONING DISTRICT:	GR (GENERAL RESIDENCE)
FRONT SETBACK:	REQ. EXISTING PROP.
SIDE SETBACK:	20' 14.8
REAR SETBACK:	10' 7.0' 10.6'
MAXIMUM LOT COVERAGE:	30% 18.5% 24.5%
MINIMUM OPEN SPACE:	40% 72.7% 66.7%
LOT FRONTAGE:	51.25'

TOTAL LOT AREA: 4,002± S.F.

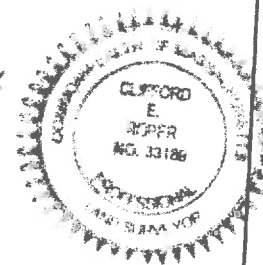
OWNER: MAURO ABARCA & HEATHER LANCE
54897/486
ASSESSORS MAP 15 - PARCEL 167

PROPOSED PLOT PLAN
#16 RIPLEY ROAD
IN
BELMONT, MA
(MIDDLESEX COUNTY)

SCALE: 1" = 20' DATE: 3/28/2019



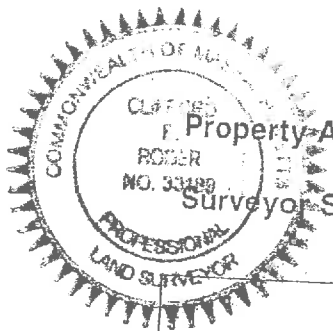
ROBER SURVEY
1072 MASSACHUSETTS AVENUE
ARLINGTON, MA 02476
(781) 648-5533
DWG. NO. 5793PP1.DWG



Clifford E. Rober
CLIFFORD E. ROBER, PLS
3/28/19
DATE

Zoning Compliance Check List

Properties Located within the GR Zoning Districts
(To be Completed by a Registered Land Surveyor)



Property Address: 16 Ripley Road

Surveyor Signature and Stamp: [Signature]

Date: 3/28/19

Per §4.2 of the Zoning By-Laws

		REQUIRED		EXISTING		PROPOSED	
Lot Area (sq. ft.)		5,000		4,002		—	
Lot Frontage (feet)		50'		51.25'		—	
Lot Area/Unit (sq. ft./d.u.)		3,500		—		—	
Lot Coverage (% of lot)		30%		18.5%		24.5	
Open Space (% of lot)		40%		72.7%		66.7%	
Setbacks: (feet)	➤ Front	20'		14.8'		—	
	➤ Side/Side	10'	10'	12.2'	12.4'	10.6'	12.4'
	➤ Rear	20' / 16.5'		30.2'		20.3'	
Building Height:	➤ Feet	33'		—		—	
	➤ Stories	2 1/2		—		—	
1/2 Story (feet) (Per §1.4)	➤ Perimeter						
	➤ Area						
	➤ Length						

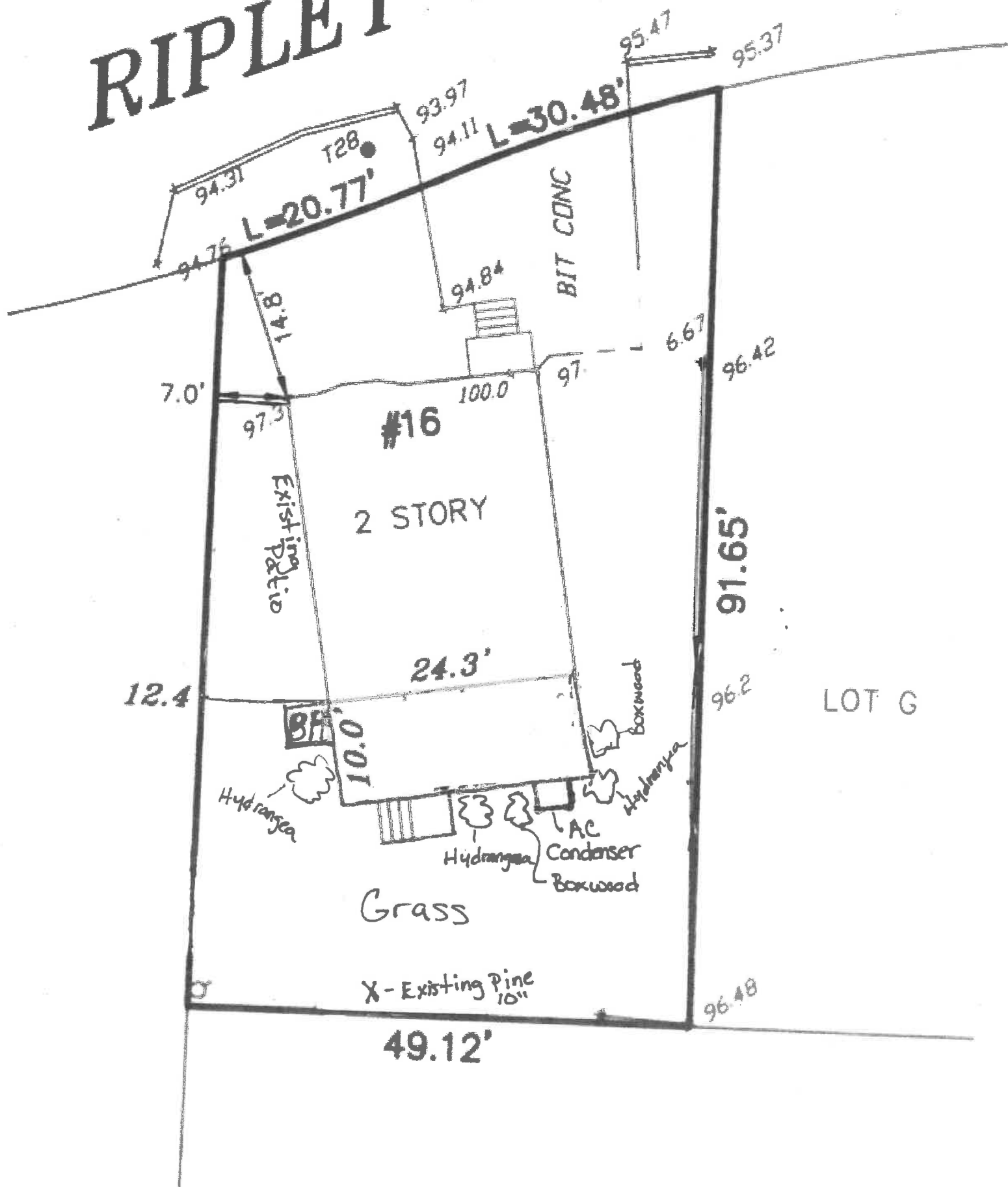
Per §6D of the Zoning By-Laws

		REQUIRED	EXISTING	PROPOSED
Front Doors:	➤ Face Street			
	➤ Setback			
Curb Cut				
HVAC:	➤ Front Yard			
	➤ Side/Rear Setbacks			

SUBMIT CALCULATIONS for all of the requirements listed above on a separate piece of paper(s) to verify how they were calculated

Landscape Plan

RIPLEY ROAD



May 23, 2019

Dear Neighbors,

Our names are Heather and Mauro Lance and we have lived at 16 Ripley Road since July 2010. We are planning to make an addition to our house and are going through the process of receiving the required permits from the town of Belmont. **Because you live within 300 feet of us, we are writing this letter to you to let you know about the project in the hope that we can gather your support.**

Currently, our house is 1,150 square feet and has three bedrooms and one and a half bathrooms. We have three children and are expecting our fourth in August. We love our neighborhood and over the years have established close relationships with our surrounding neighbors. Our older two children attend Butler Elementary School and have had a very positive experience there, and we have been involved and committed members of the PTA. The thought of having to move is heart-wrenching, and we would very much like to stay in our current house but need the extra space. We have been working with an architect for about a year who has drafted plans for us according to current Belmont zoning laws, that will add 400 square feet to the back of our house, expanding our kitchen and adding an extra bedroom and bathroom upstairs. We are hoping to begin construction this summer and estimate the project will take about four months to complete.

Our project will be presented at a meeting of the Building Division of the Town of Belmont in June or July. We would like to present the town of Belmont a letter of support from the neighbors surrounding us. **We will be walking around the neighborhood over the next week gathering signatures in support of our project. We look forward to meeting you and welcome any questions you may have about our proposed project.**

Thanks so much for your time and consideration!

Sincerely,

Heather and Mauro Lance
16 Ripley Road

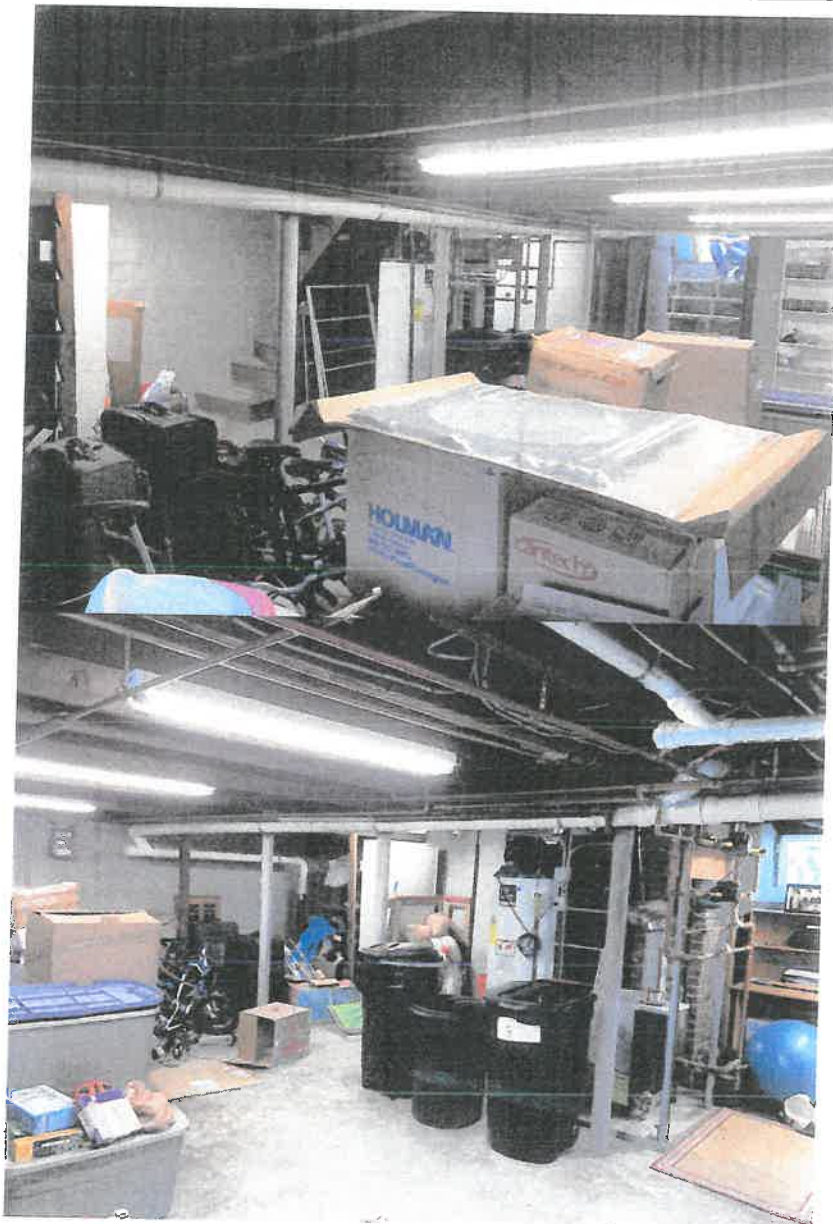
Neighbors Support to 16 Ripley Rd. Addition Project

We hereby confirm our support to the Lance Family's addition plan as presented to the Town of Belmont.

<u>Name</u>	<u>Address</u>	<u>Signature</u>
H.A. Sisson	22 Ripley Rd	H.A. Sisson
Marie Rines	17 Ripley Rd	Marie T. Rines
James MacIsaac	25 Ripley Rd	Jim MacIsaac
Maureen T. Borge	27 Ripley Rd	Maureen Borge
BILL MALSAM	169 LEXINGTON ST	Bill Malsam
Jim & Kate PAZZANESSE	177 Lexington St	James Pazzanese
Bill & Mary Chenelli	11 Ripley Rd	Bill Chenelli
BRUCE AGUILAR	214 Lexington St.	Bruce Aguilar
SAM GROSS	215 White St	Sam Gross
Will & Alison Tisdale	207 White St.	Will Tisdale
ANDREW SCHULTZ & KATE LAKIN-SCHULTZ	10 RIPLEY ROAD	Andrew Schultz

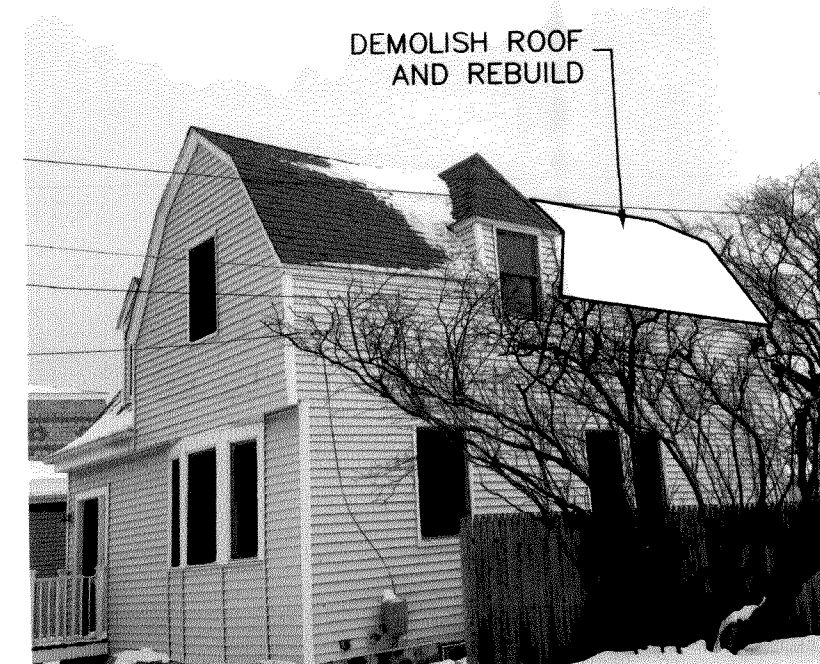
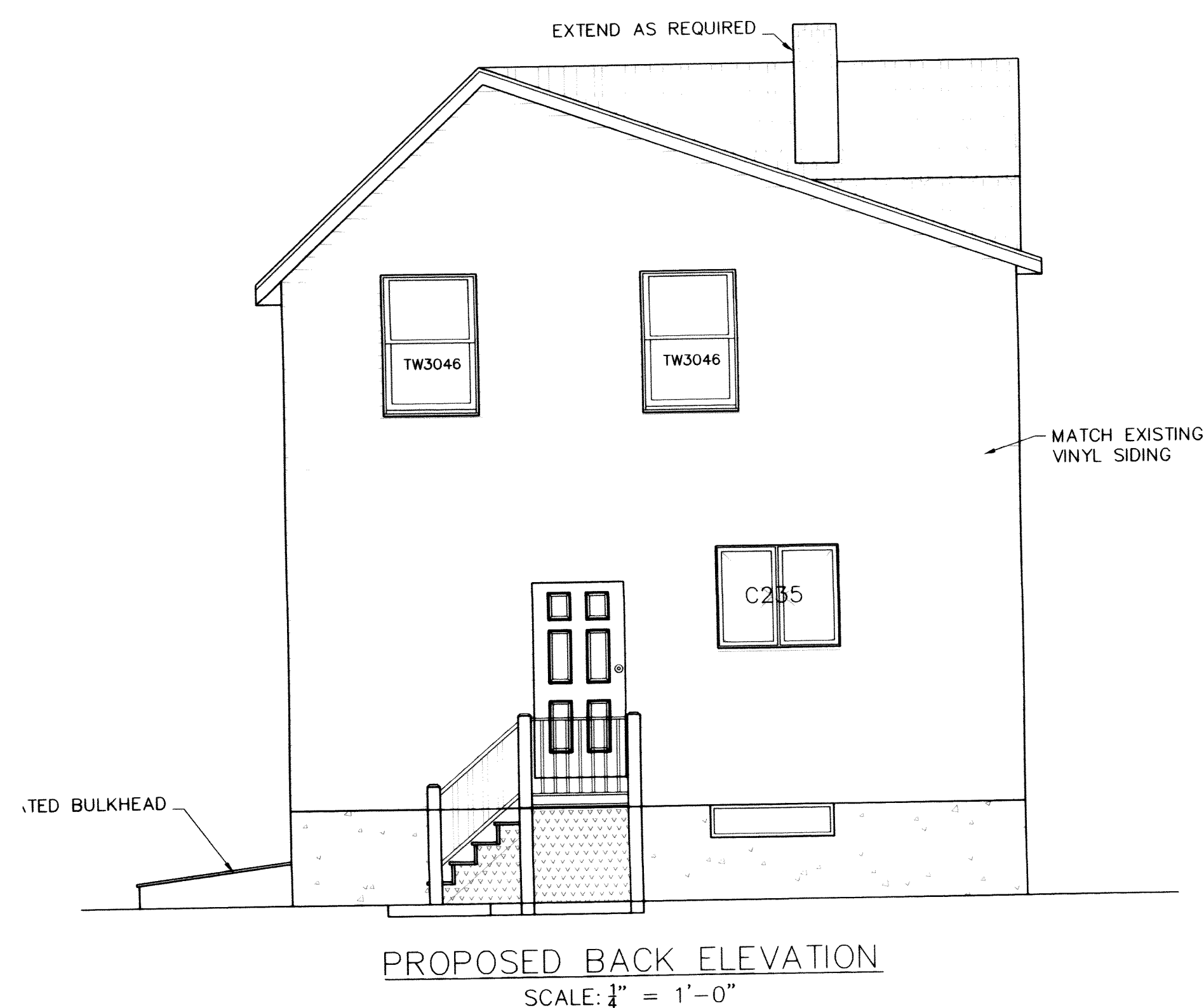
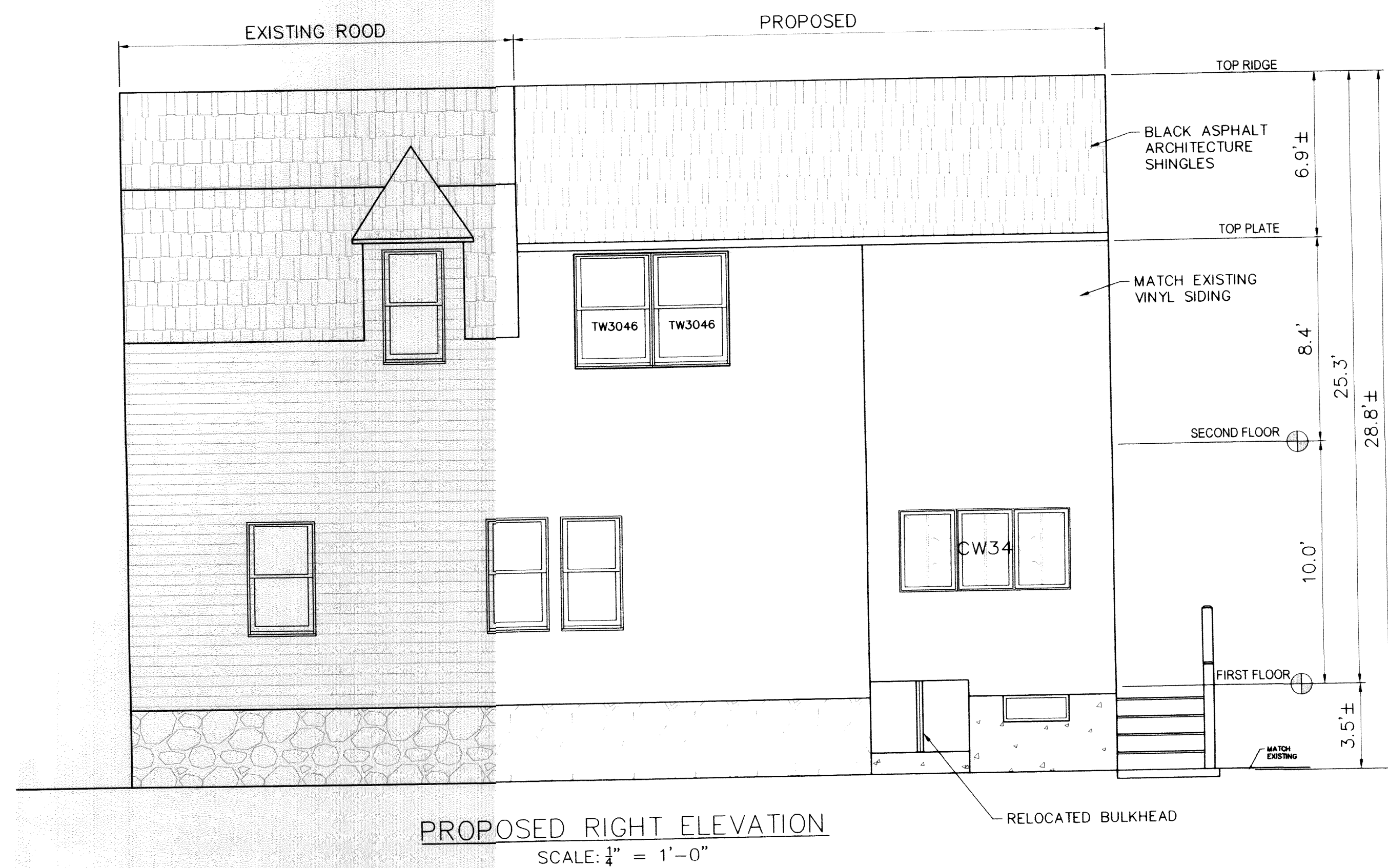


16 Ripley Road: Existing Basement Utilities and Storage Only

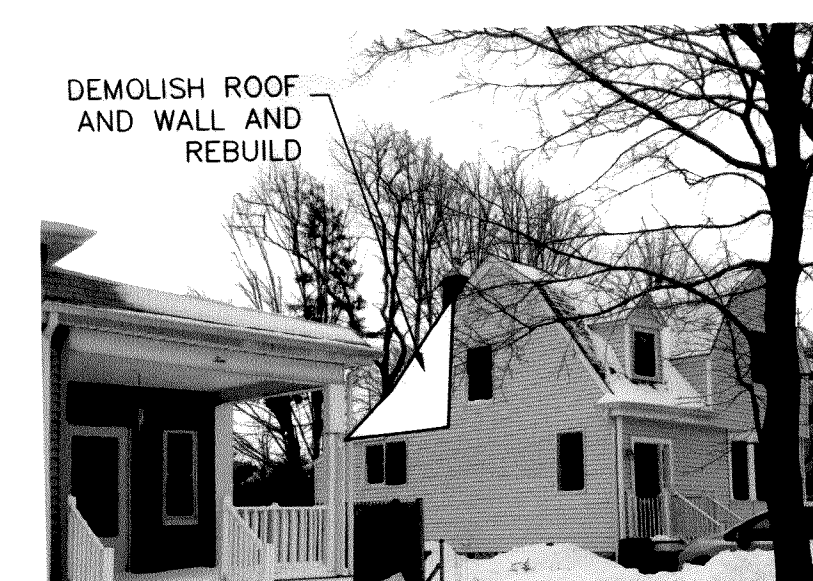


16 Ripley Road: Existing Front of House No Changes





EXISTING RIGHT ELEVATION



EXISTING LEFT ELEVATION

DESIGN IS BASED ON THE MASSACHUSETTS BUILDING CODE 9TH EDITION

IT IS THE INTENT OF THESE PLANS TO DEPICT CONSTRUCTION IN ACCORDANCE WITH MA STATE BUILDING CODE 8TH EDITION. THE STATE BUILDING CODE IS PART OF THESE CONSTRUCTION PLANS.

ALL WORK SHALL BE CONDUCTED, INSTALLED, PROTECTED AND COMPLETED IN A WORKMANLIKE AND ACCEPTABLE MANNER SO AS TO SECURE THE RESULTS INTENDED BY STATE BUILDING CODE.

CONTRACTOR MUST HAVE A COPY OF THE STATE BUILDING CODE ON SITE AT ALL TIME DURING CONSTRUCTION. ANY OMISSION ON THESE PLANS DOES NOT RELIEVE THE CONTRACTOR RESPONSIBILITIES TO COMPLY WITH THE STATE BUILDING CODE.

DESIGN LIVE LOAD FIRST FLOOR = 40 PSF

DESIGN LIVE LOAD SECOND FLOOR = 30 PSF

DESIGN LIVE LOAD ATTIC FLOOR = 10 PSF

DESIGN SNOW LOAD = 40 PSF

DESIGN WIND LOAD = 100 MPH

ALL LUMBER/MATERIAL SUPPLIES SHALL MEET THE REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE FOR STRUCTURE GRADE 2 OR BETTER.

ALL WOOD EXPOSED TO WEATHER SHALL BE P.T.

ALL DIMENSIONS SHOWN MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO START WORK

BEAMS SPECIFIED AS LVL SHALL MEET THE SPECIFICATIONS OF GEORGIA-PACIFIC CORPORATION ENGINEERED LUMBER OR EQUAL:

MODULUS OF ELASTICITY	= 2,000,000 PSI
SHEAR MODULUS OF ELASTICITY	= 125,000 PSI
FLEXURAL STRESS	= 2,900 PSI
HORIZONTAL SHEAR	= 285 PSI
COMPRESSION PERPENDICULAR TO GRAIN	= 845 PSI
COMPRESSION PARALLEL TO GRAIN	= 2,600 PSI
EQUIVALENT SPECIFIC GRAVITY SG	= 0.50

ALL POSTS SHALL BE 3 1/2 X 5 1/2 LVL POSTS EXTENDING TO FOUNDATION WALL OR SUPPORT BEAMS AND SHALL HAVE THE FOLLOWING PROPERTIES:

BENDING STRESS	= 2650 PSI
MODULUS OF ELASTICITY	= 1,900,000 PSI
COMPRESSION PERPENDICULAR TO GRAIN	= 750 PSI
COMPRESSION PARALLEL TO GRAIN	= 2350 PSI
SHEAR STRENGTH	= 285 PSI

ALL LVL BEAMS SHALL HAVE A MIN OF 3" BEARING LENGTH.

ALL LVL BEAMS MADE OF 3 LVLS OR MORE SHALL BE BOLTED TOGETHER AS REQUIRED BY LVL MANUFACTURER

ADD DOUBLE JOISTS UNDER ALL WALLS PARALLEL TO JOISTS

ALL WALLS PERPENDICULAR TO JOISTS SHALL HAVE SOLID BLOCKING UNDER WALL

ALL HANGERS AND HARDWARE USED SHALL BE CORROSION PROTECTED.

BY REFERENCE THE 2015 IECC CODE IS PART OF THESE PLANS. ALL FRAMING MUST COMPLY WITH THE REQUIREMENTS OF THE ENERGY CODE TO ACHIEVE PROPER INSULATION.

CONTRACTOR IS RESPONSIBLE FOR TEMPORARY SUPPORT DURING CONSTRUCTION

UNLESS NOTED ON THE PLAN USE THE FOLLOWING HEADER SCHEDULE:

USE 2-2X6 HEADER FOR SPANS UP TO 3'-1"
 USE 2-2X8 HEADER FOR SPANS UP TO 4'-2"
 USE 2-2X10 HEADER FOR SPANS UP TO 5'-3"
 USE 2-2X12 HEADER FOR SPANS UP TO 6'-0"
 OVER 6'-0" USE 2-1 1/2 X 7 1/2 LVL HEADER EXCEPT AS NOTED ON THE PLANS

USE 2 JACK STUDS AND 1 KING STUD EACH END OF HEADER OVER 5 FT

IT IS THE CONTRACTOR RESPONSIBILITY TO FOLLOW AND ENFORCE ALL STATE AND FEDERAL OCCUPATIONAL SAFETY AND HEALTH REGULATIONS AT ALL TIME DURING CONSTRUCTION

CONTRACTOR MUST OBTAIN ALL REQUIRED PERMITS PRIOR TO START OF THE WORK

DRAWN BY: SK
 CHECKED: SK
 FEBRUARY 26, 2018
 REV. JUNE 17, 2019

CONTRACTOR

PROJECT TYPE

ADDITION

PROJECT LOCATION

16 RIPLEY ROAD
 BELMONT, MA 02478

ISSUED FOR ZONING REVIEW

Design by Sami LLC
 Structure / Architecture
 Design / Residential
 Commercial Construction
 Additions

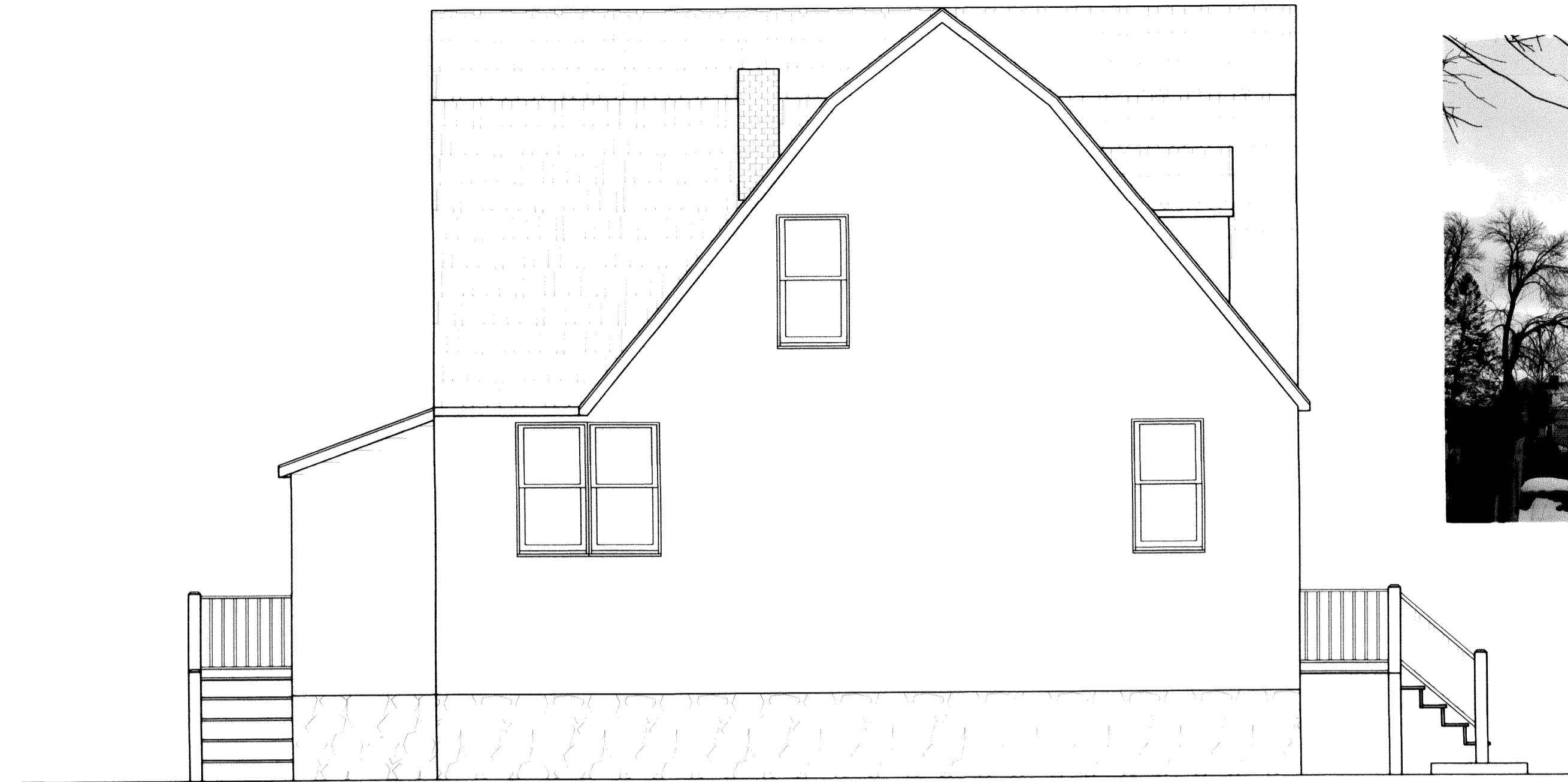
Sami E. Kassis, P.E.
 617-460-1641 Office
 508-460-1409 Fax
 sami@designbysami.com
 www.designbysami.com

28 Old Town Road
 Walpole, MA 02081

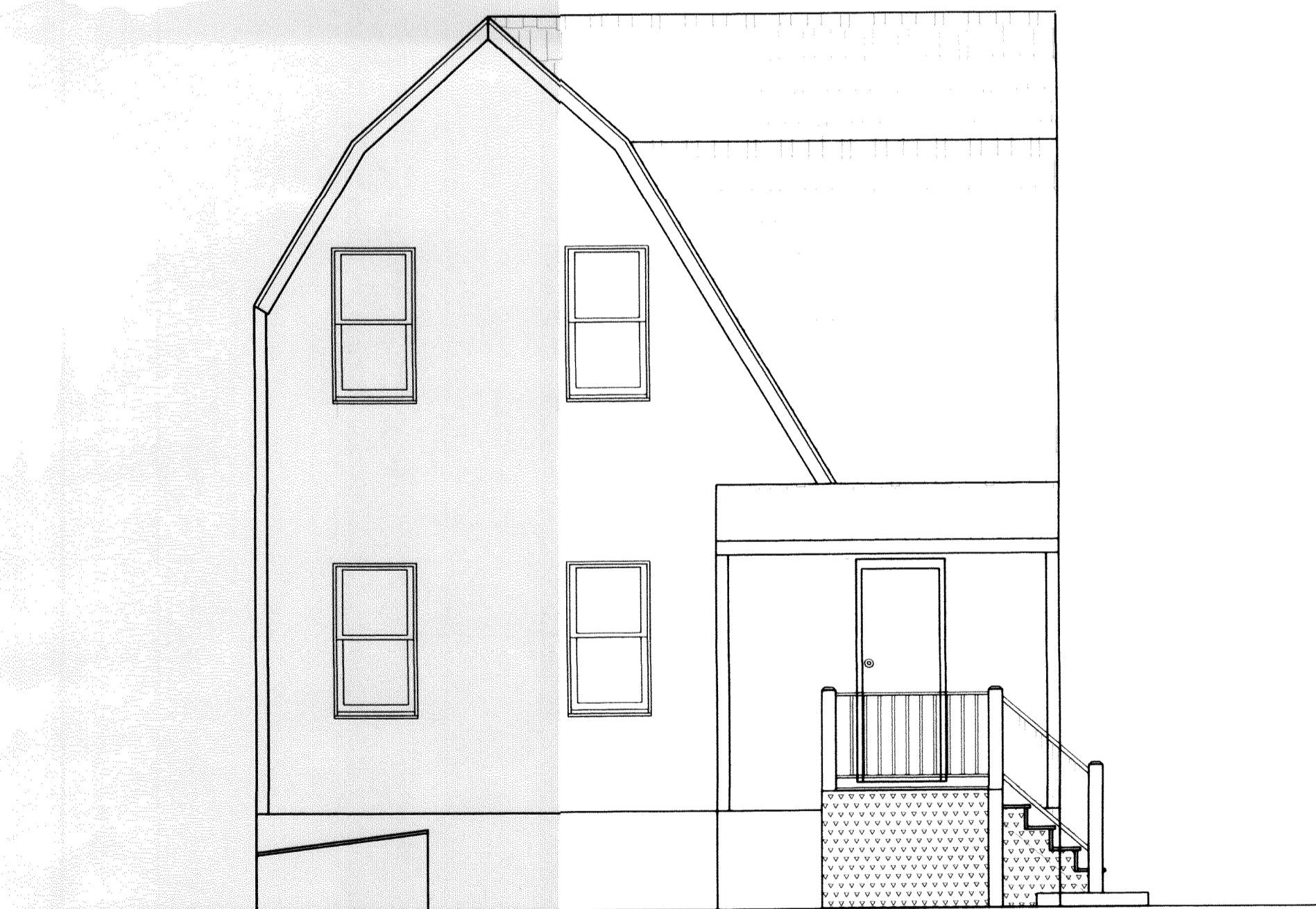
COMMONWEALTH OF MASSACHUSETTS
 SAMI E. KASSIS
 STRUCTURAL
 No. 35594
 REGISTERED
 PROFESSIONAL ENGINEER



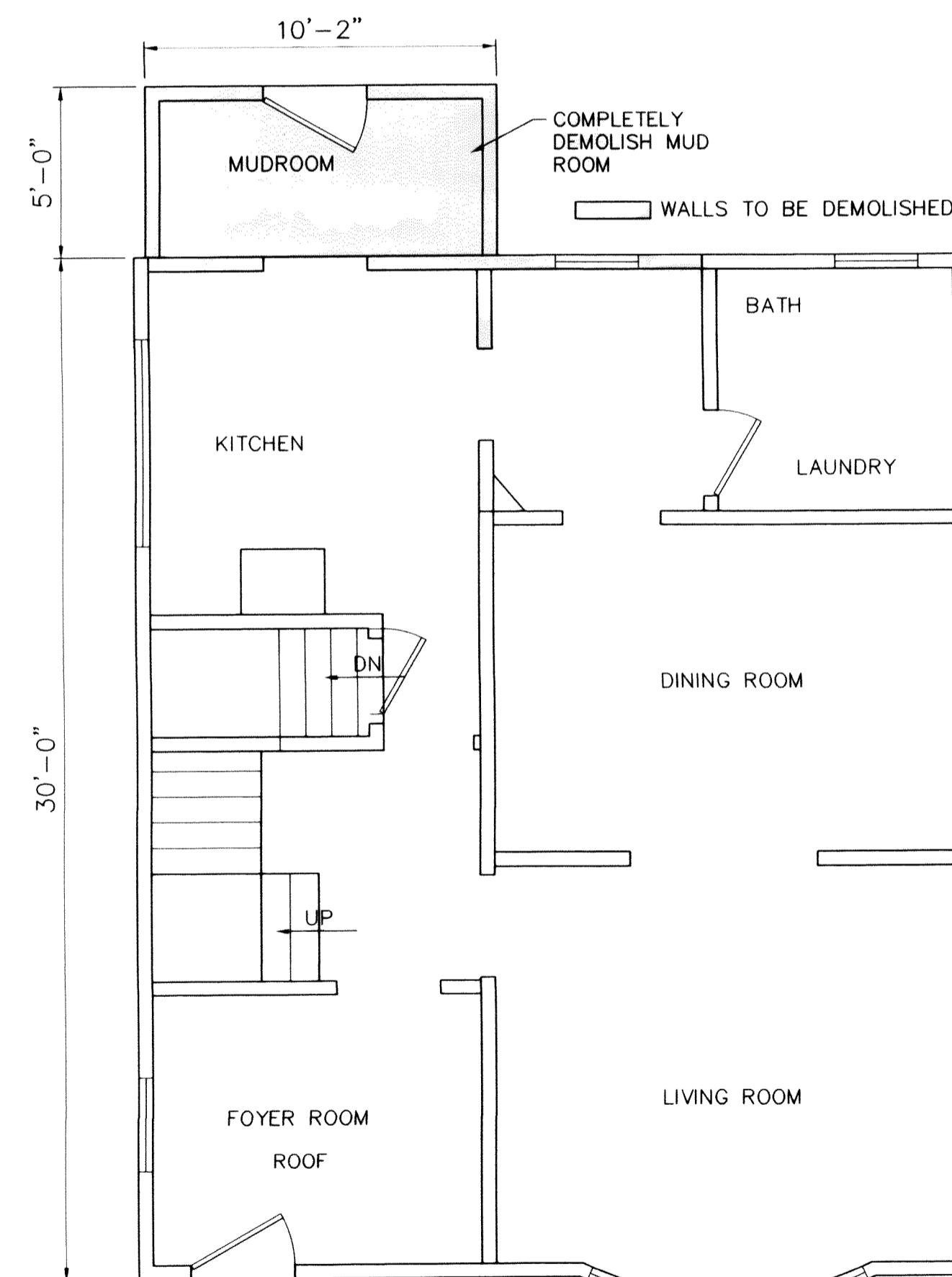
EXISTING RIGHT ELEVATION
SCALE: $\frac{1}{4}" = 1'-0"$



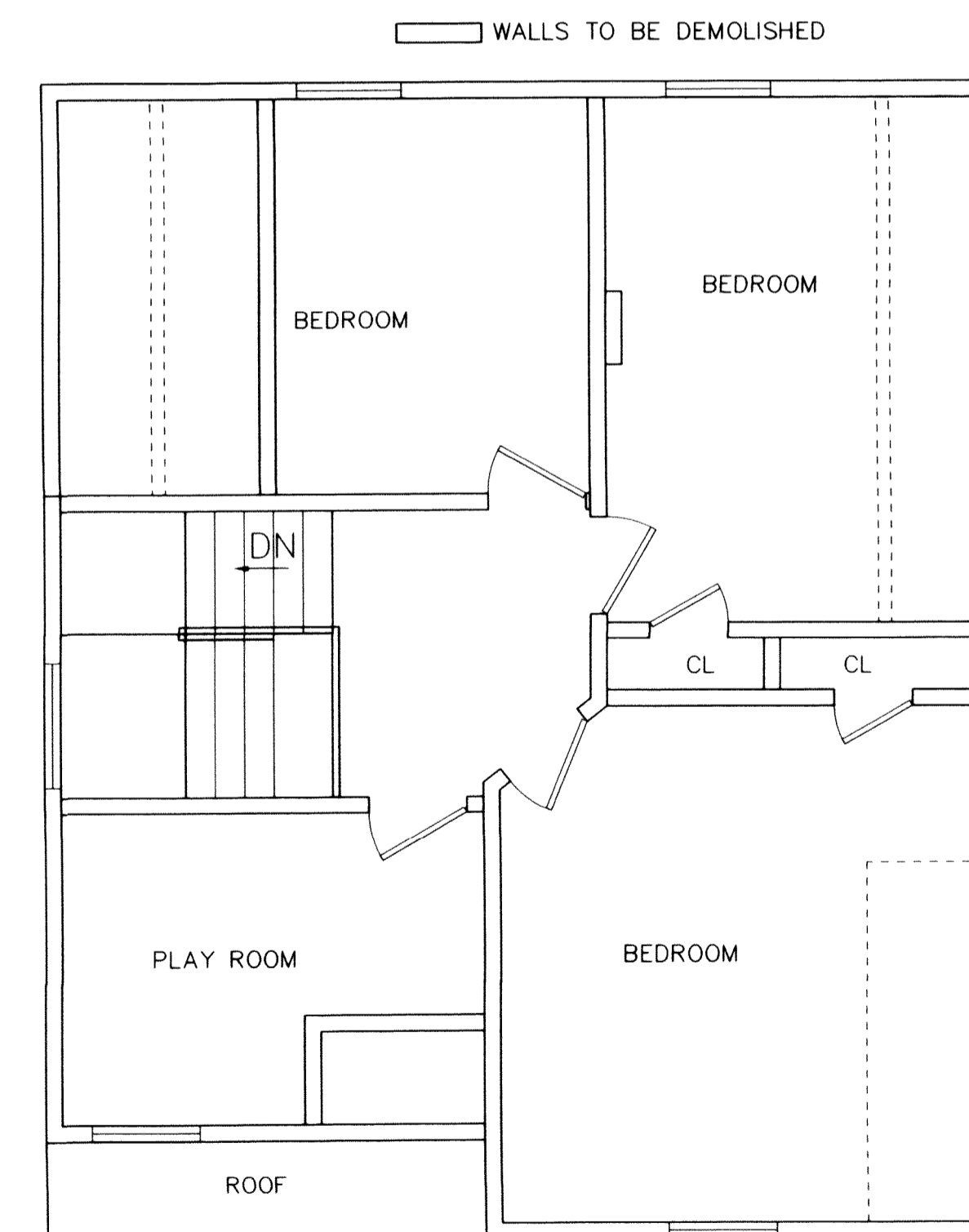
EXISTING LEFT ELEVATION
SCALE: $\frac{1}{4}" = 1'-0"$



EXISTING BACK ELEVATION
SCALE: $\frac{1}{4}" = 1'-0"$



EXISTING FIRST FLOOR PLAN
SCALE: $\frac{1}{4}" = 1'-0"$



EXISTING SECOND FLOOR PLAN
SCALE: $\frac{1}{4}" = 1'-0"$

DRAWN BY: SK
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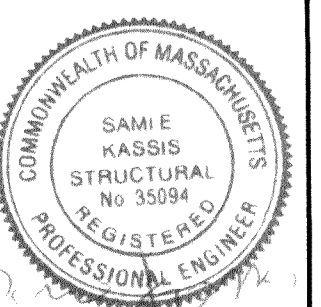
CONTRACTOR

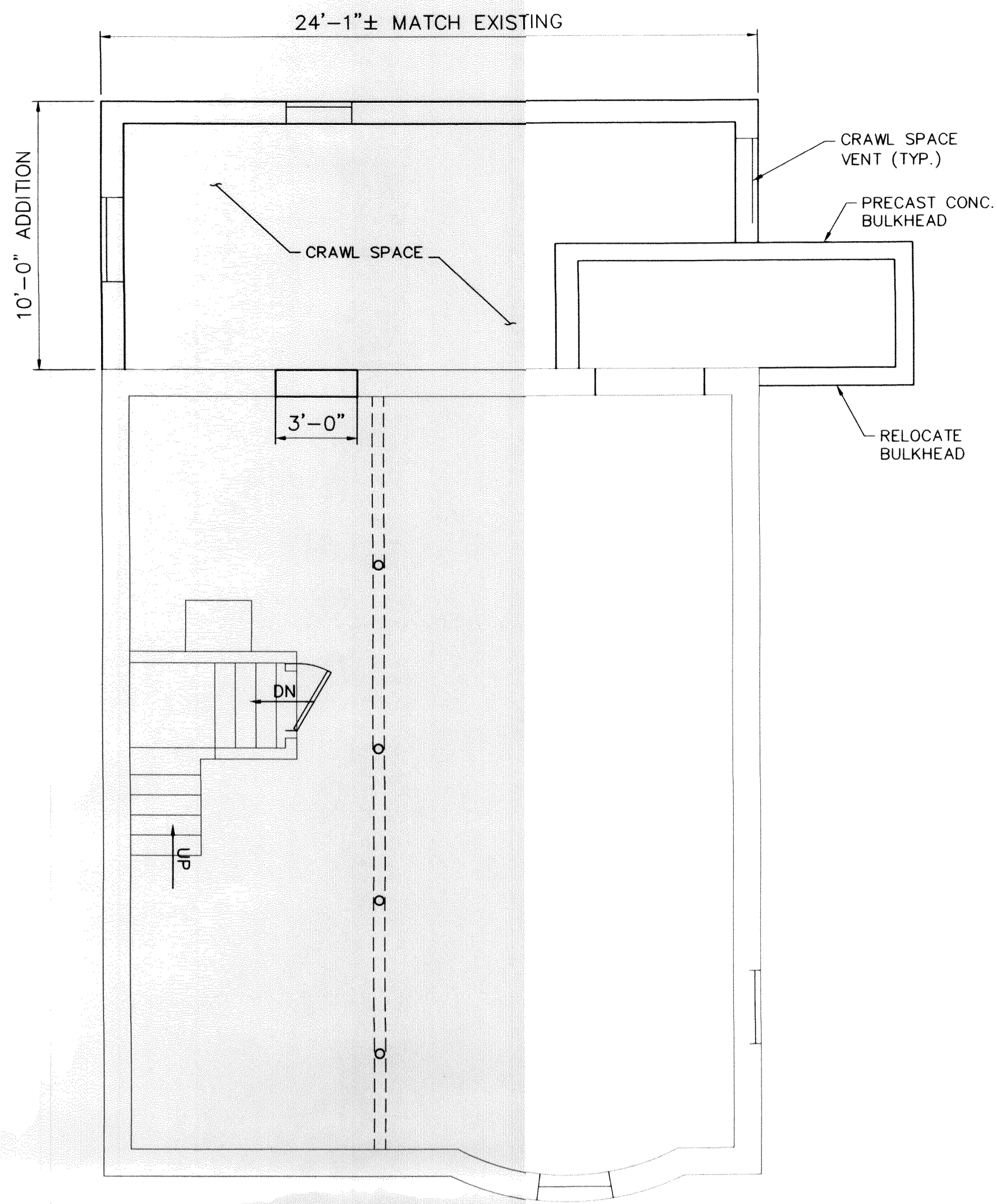
PROJECT TYPE
ADDITION

PROJECT LOCATION
16 RIPLEY ROAD
BELMONT, MA 02478

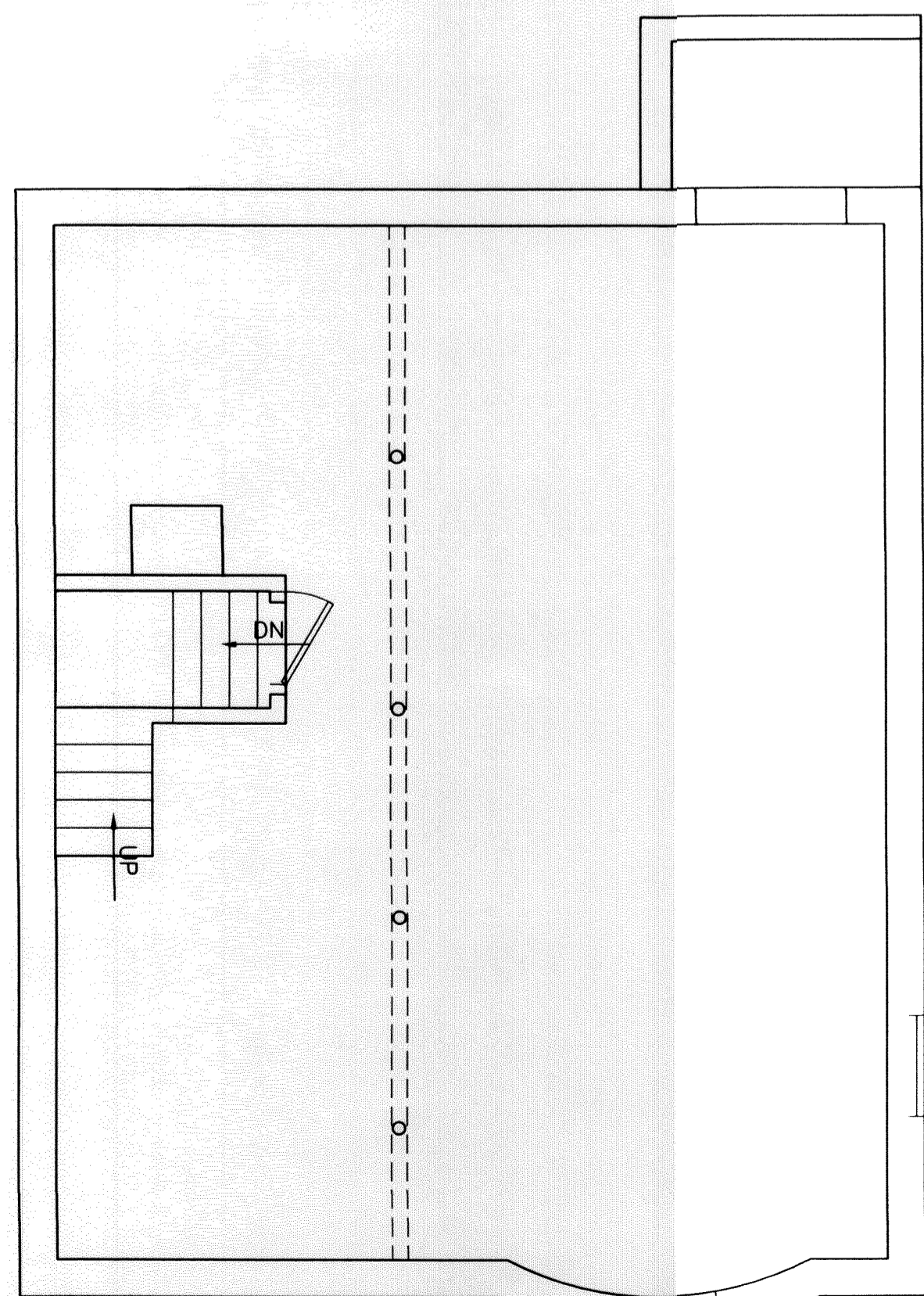
ISSUED FOR ZONING
REVIEW

Design by Sami LLC
Structure / Architecture
Design / Residential
New Home Construction
Additions
28 Old Town Road
Walpole, MA 02081
Sami E. Kassis, P.E.
037-665-1041 Office
508-665-8409 Fax
sami@designsami.com
www.designsami.com

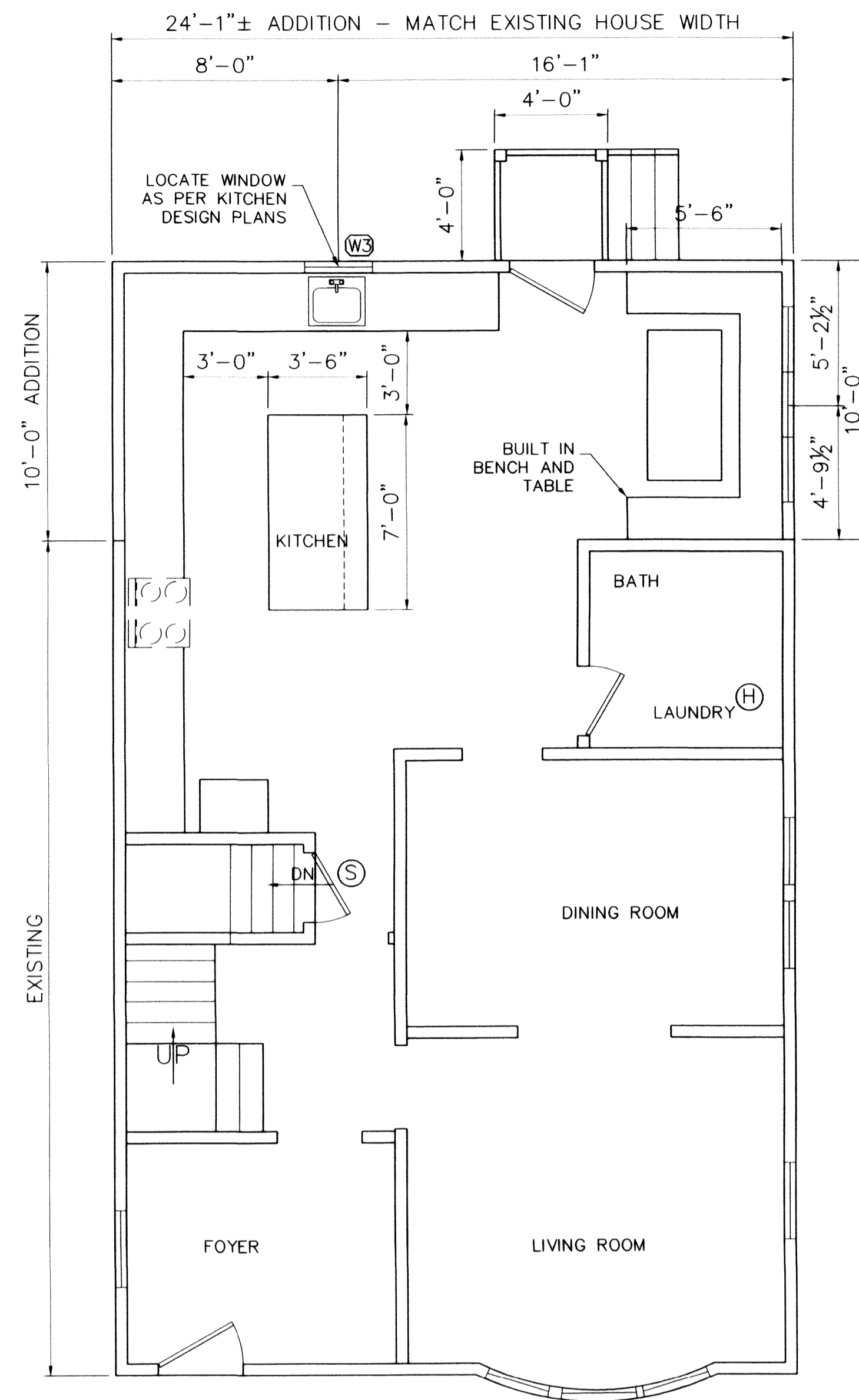




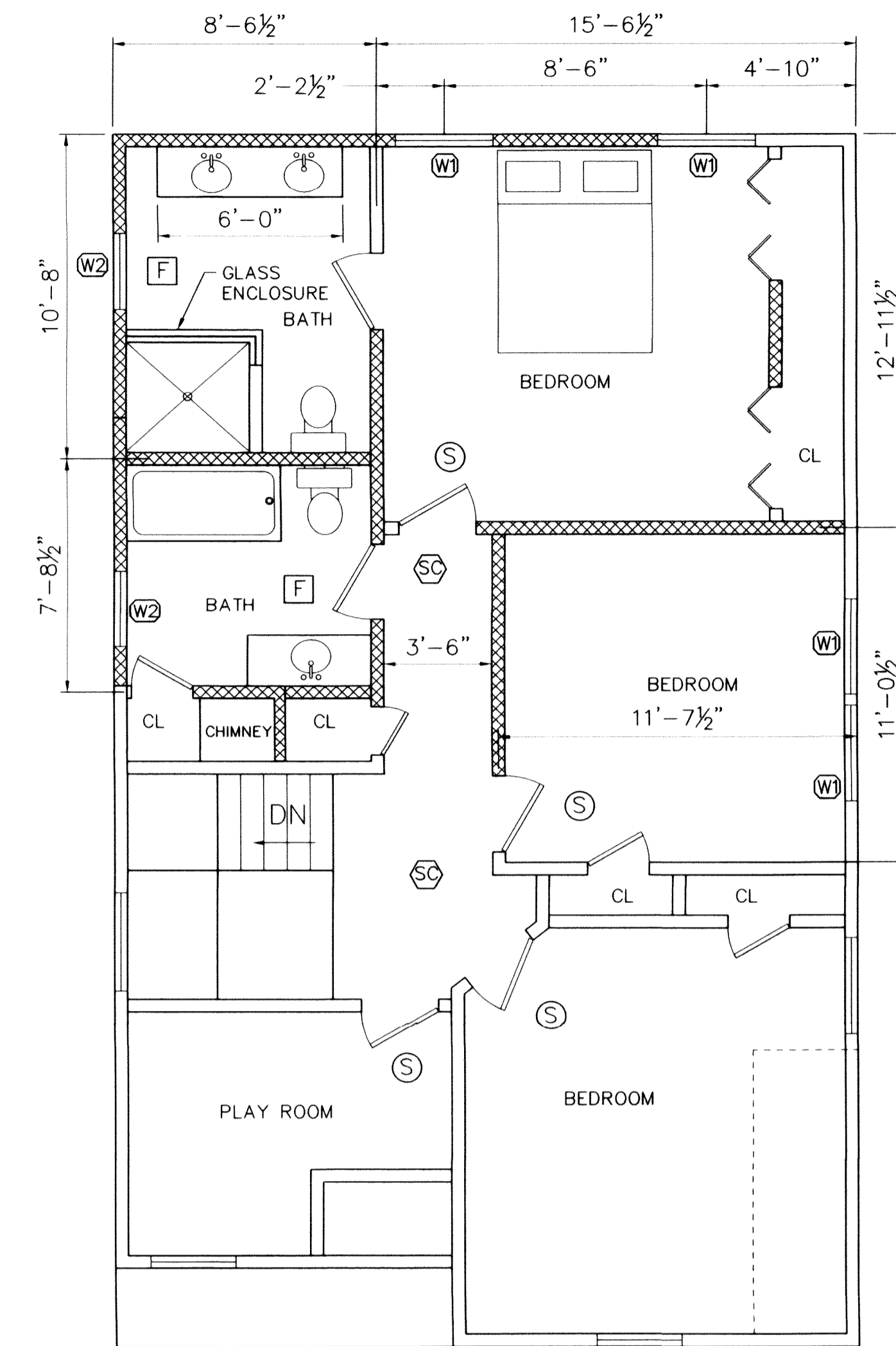
PROPOSED BASEMENT PLAN
SCALE: $\frac{1}{4}" = 1'-0"$



EXISTING BASEMENT PLAN
SCALE: $\frac{1}{4}" = 1'-0"$

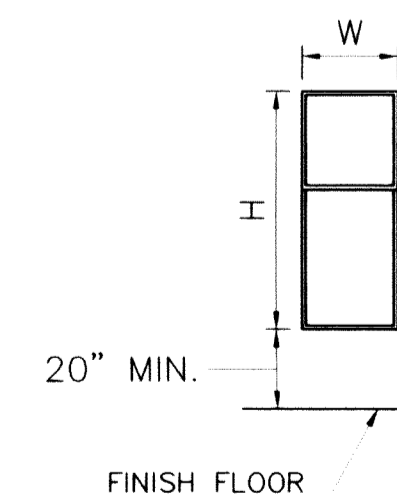


PROPOSED FIRST FLOOR PLAN
SCALE: $\frac{1}{4}" = 1'-0"$



SECOND FLOOR PLAN
SCALE: $\frac{1}{4}" = 1'-0"$

LOCATION	ANDERSON	ROUGH OPENING	REMARK
(W1)	TW3046	3'-2 $\frac{1}{8}"$ X 4'-8 $\frac{1}{8}"$	
(W2)	TW24310	2'-6 $\frac{1}{8}"$ X 4'-0 $\frac{1}{8}"$	
(W3)	C24	4'-0 $\frac{1}{2}"$ X 4'-0 $\frac{1}{2}"$	
(W4)	CW34	4'-0 $\frac{1}{2}"$ X 7'-1 $\frac{1}{8}"$	SAFETY GLASS



CONTRACTOR SHALL VERIFY ALL WINDOWS ROUGH OPENING WITH WINDOW MANUFACTURER PRIOR TO START THE WORK

TW3046 MEETS THE FOLLOWING DIMENSIONS: CLEAR OPENABLE AREA OF 5.7 SQ. FT., CLEAR OPENABLE WIDTH OF 20" AND CLEAR OPENABLE HEIGHT OF 24".

ALL WINDOWS SHALL BE EQUIPPED WITH WINDOW GUARDS OR WINDOW OPENING CONTROL DEVICES (WOOD) THAT COMPLY WITH ASTM F2090-10.

BATHROOM WINDOWS W2 SHALL HAVE SAFETY GLASS

ALL OTHER WINDOWS TO BE SELECTED BY THE OWNER

ALL WINDOWS SHALL HAVE A U FACTOR EQUAL 0.3

- (S) SMOKE DETECTOR LOCATION UL 217 OR UL 268
- (CO) CARBON MONOXIDE AND SMOKE DETECTOR LOCATION UL 217 AND UL 2034 AND SHALL BE INTERCONNECTED IN ACCORDANCE WITH NFPA 720.
- (H) HEAT AND SMOKE DETECTOR UL 521 OR UL 539.
- (F) FAN VENTED TO THE OUTSIDE

DRAWN BY: SK
CHECKED: SK
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CONTRACTOR

PROJECT TYPE
ADDITION

PROJECT LOCATION
16 RIPLEY ROAD
BELMONT, MA 02478

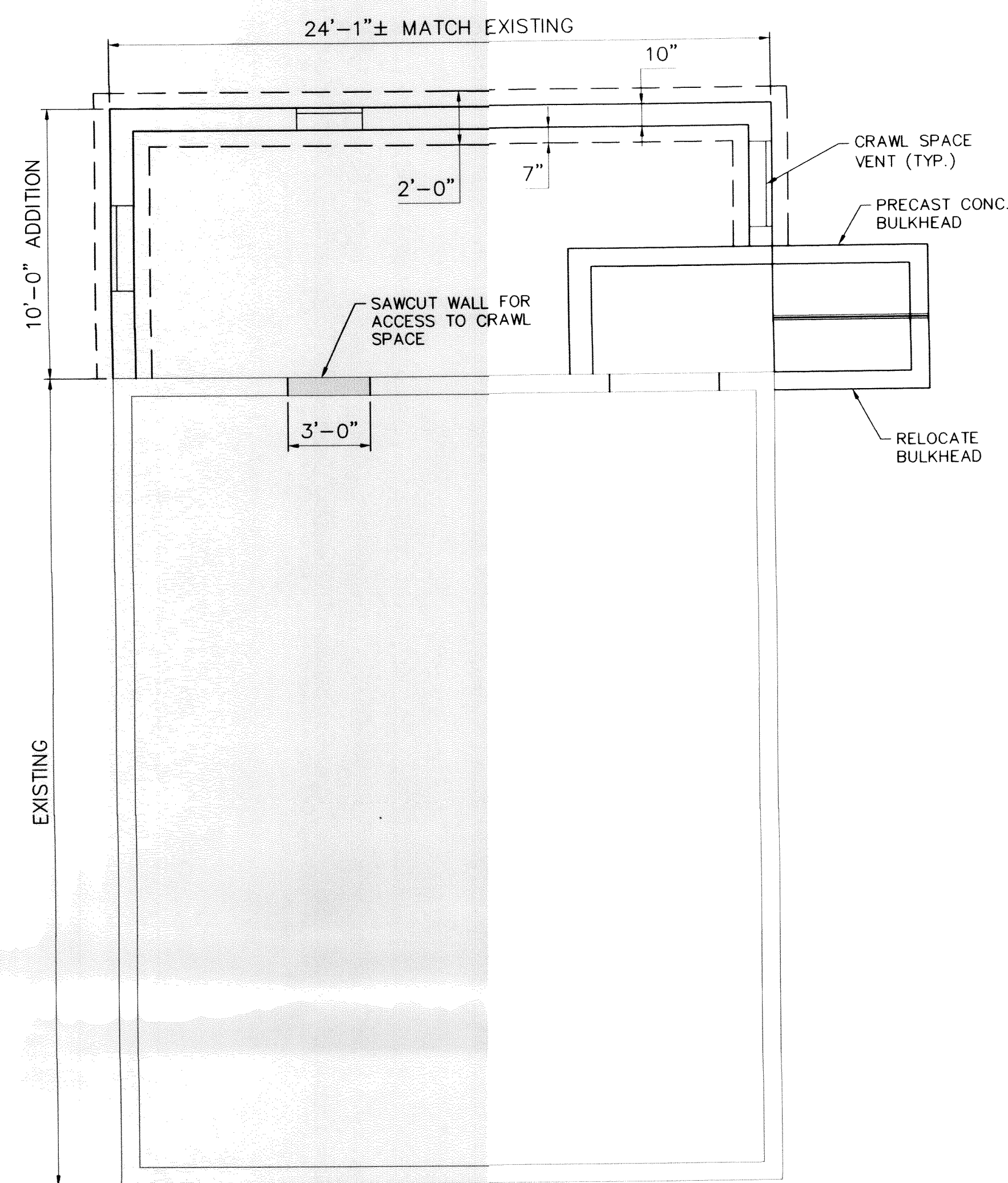
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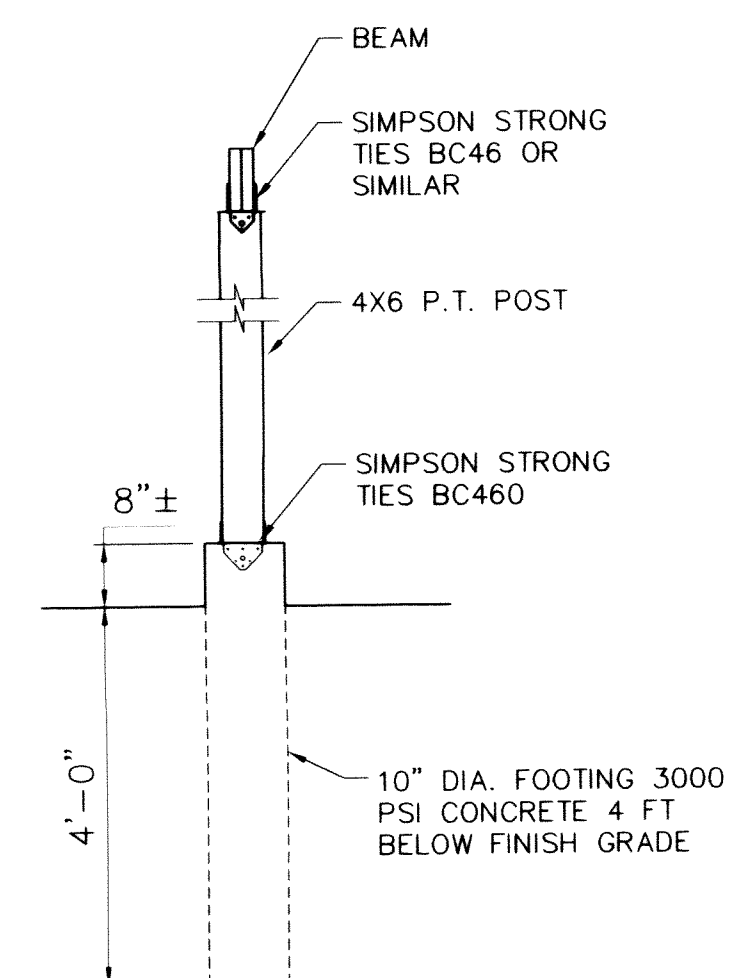
Sami E. Kasas, P.E.
617.460.0041 Office
508.660.8409 Fax
sami@designbysami.com
www.designbysami.com

28 Old Town Road
Walpole, MA 02081

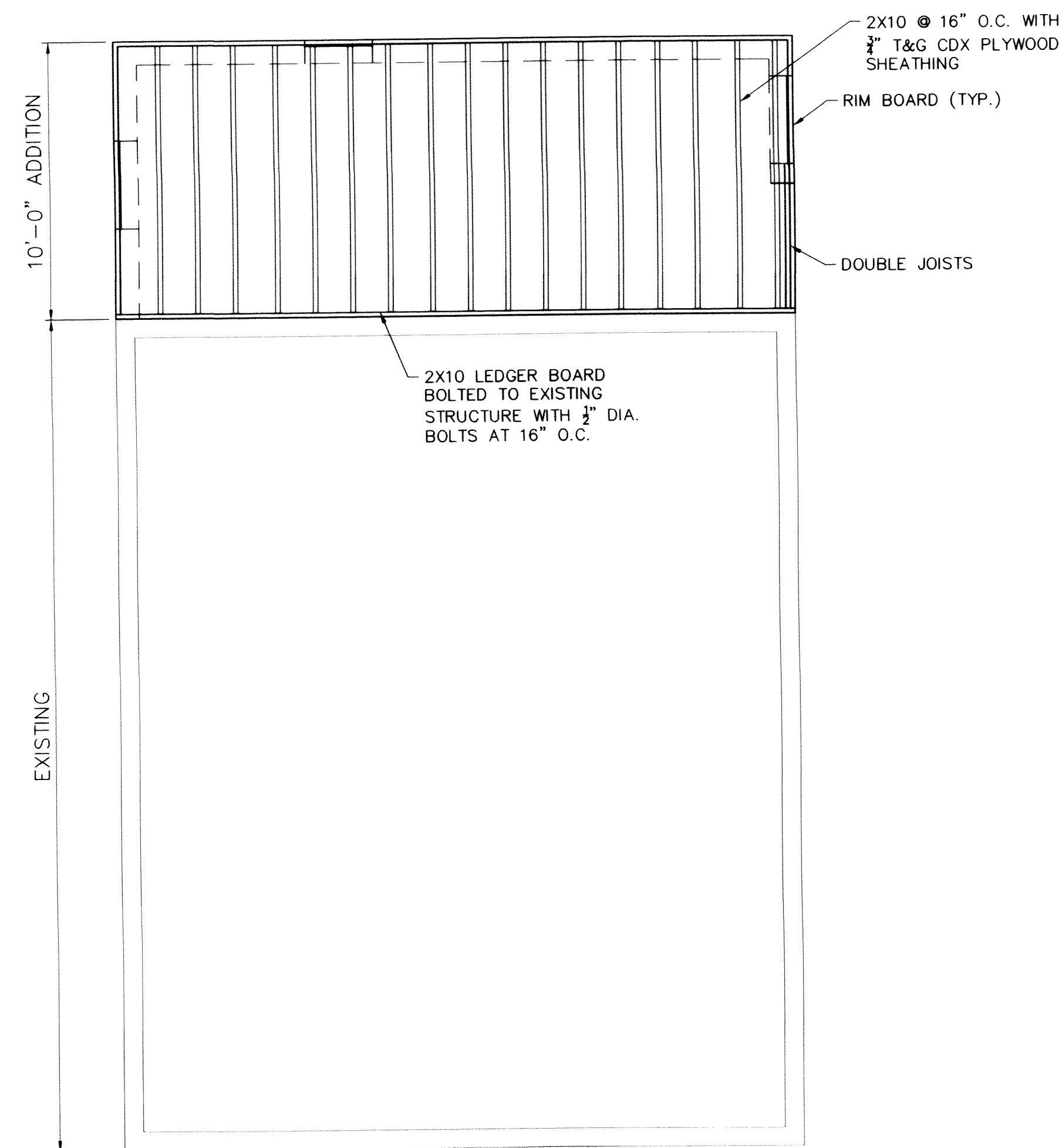
COMMONWEALTH OF MASSACHUSETTS
SAMI E. KASAS
STRUCTURAL
No. 35094
REGISTERED
PROFESSIONAL ENGINEER



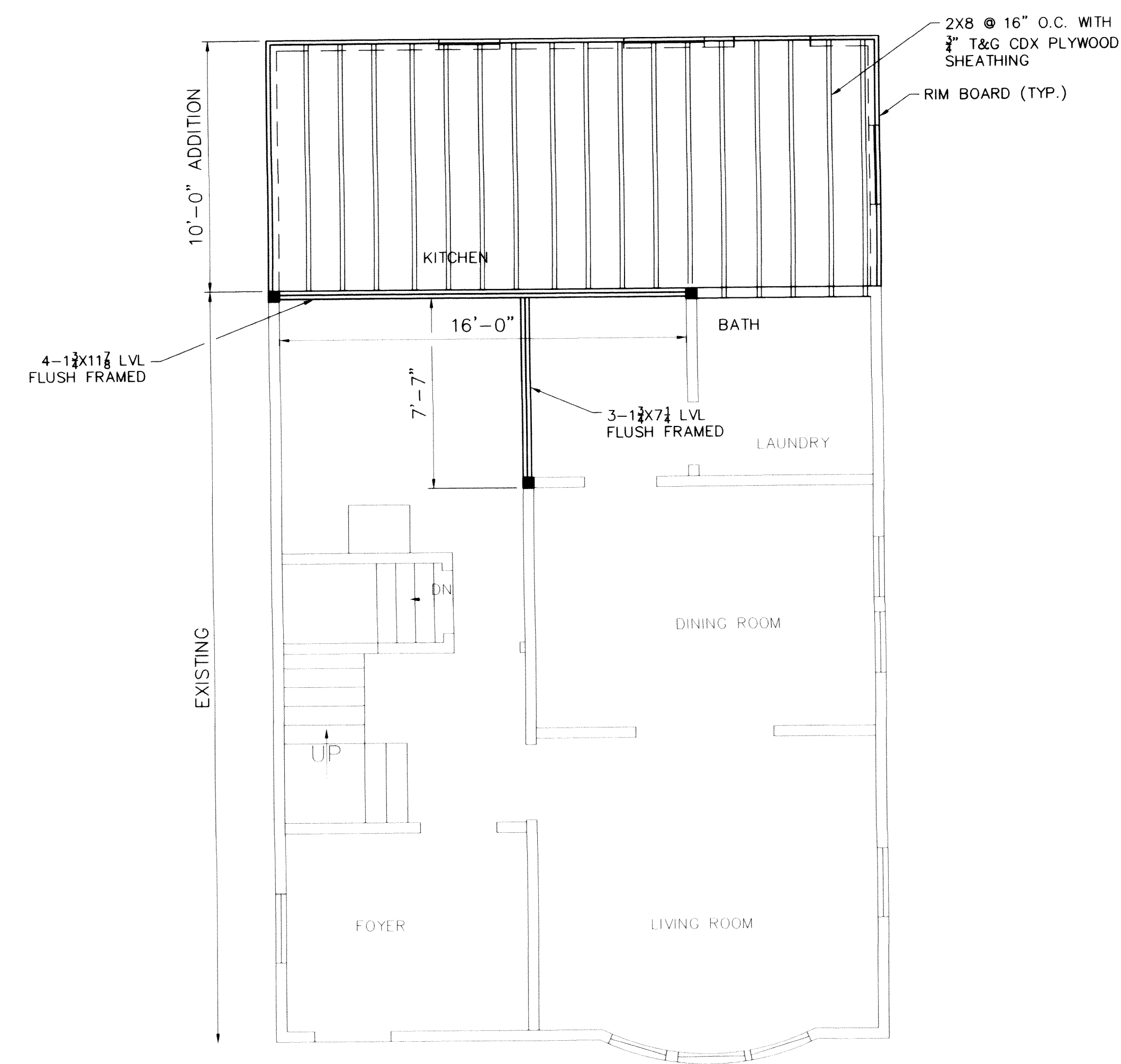
FOUNDATION PLAN
SCALE: $\frac{1}{4}" = 1'-0"$



TYPICAL DECK
FOOTING SECTION

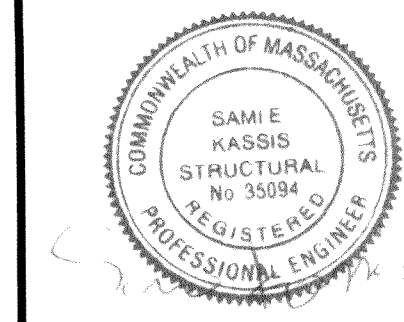


FIRST FLOOR FRAMING PLAN
SCALE: $\frac{1}{4}" = 1'-0"$



SECOND FLOOR FRAMING PLAN
SCALE: $\frac{1}{4}" = 1'-0"$

Design by Sami LLC
Structure | Architecture
Design | Residential
Commercial
New Home Construction
Additions
29 Old Town Road
Weymouth, MA 02081
Sami E. Kasbis, P.E.
617-460-0411 Office
508-660-8409 Fax
www.designbysami.com



ISSUED FOR ZONING
REVIEW

PROJECT LOCATION
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BELMONT, MA 02478

PROJECT TYPE
ADDITION

CONTRACTOR

DRAWN BY: SK
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TYPICAL ROOF CONSTRUCTION

2X12 CONTINUOUS RIDGE

2X10 ROOF RAFTERS @ 16" O.C.

5/8" CDX PLYWOOD SHEATHING WITH AIR BARRIER ZIP SYSTEM, TAPED ALL JOINTS OR EQUAL BUILDING PAPER

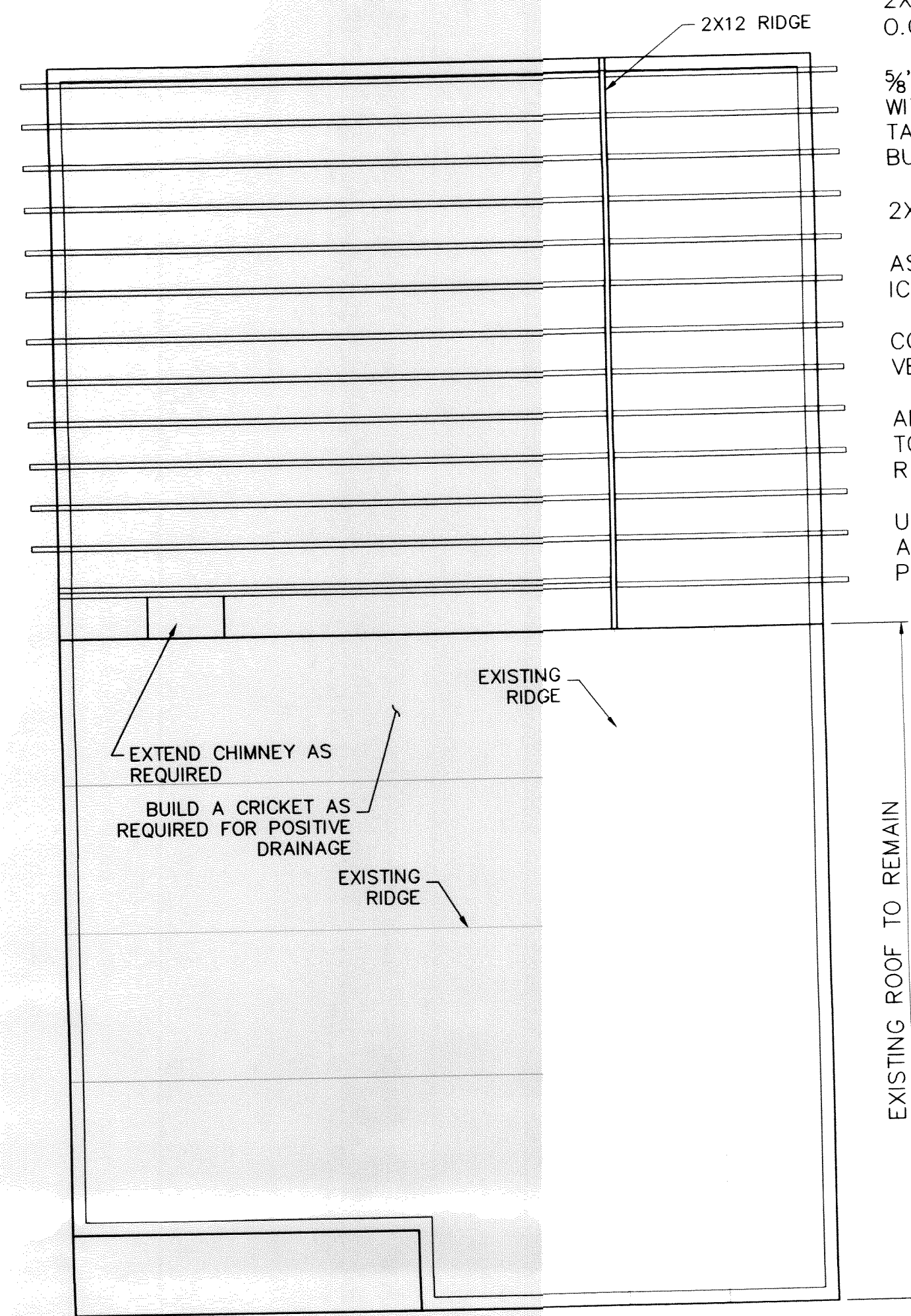
2X6 COLLAR TIES AT 48" O.C.

ASPHALT ROOF SHINGLES ON ICE AND WATER SHIELD.

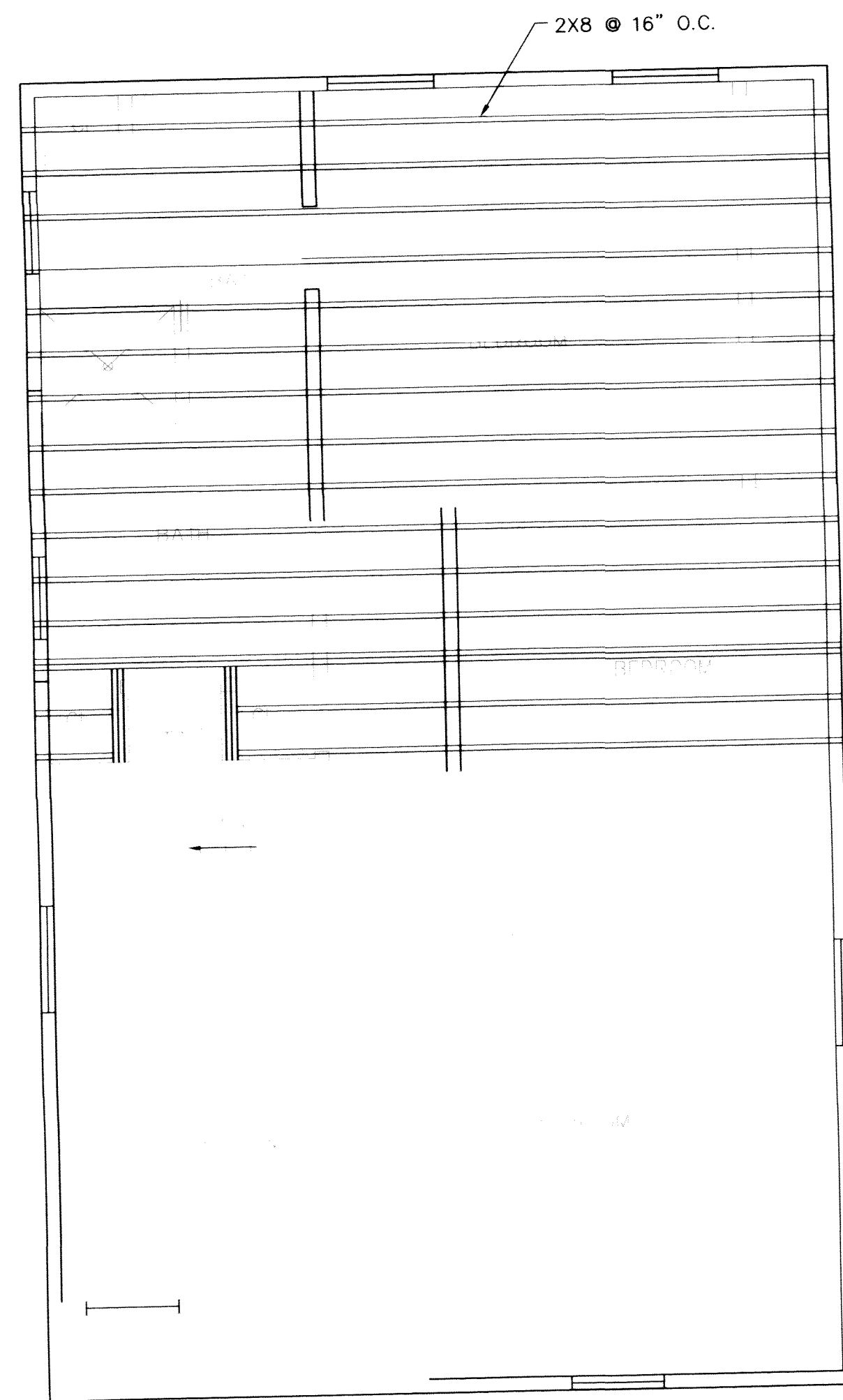
CONTINUOUS SOFIT AND RIDGE VENTS.

ALL RAFTERS SHALL BE HUNG TO THE RIDGE BEAM USING RAFTER HANGERS

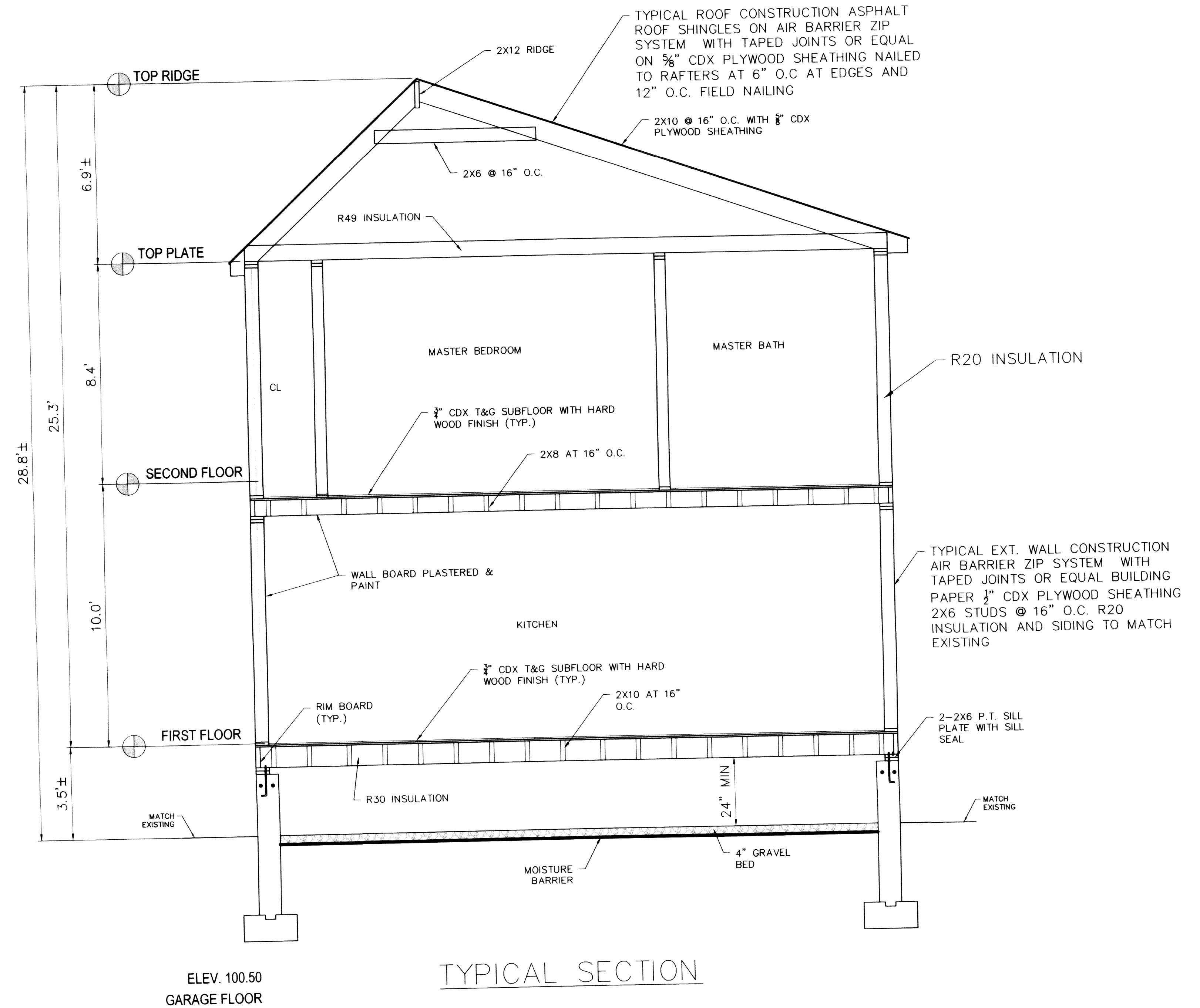
USE HURRICANE TIES TO ATTACH RAFTERS TO TOP PLATE.



ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



ATTIC FRAMING PLAN
SCALE: 1/4" = 1'-0"



TYPICAL SECTION

DRAWN BY: SK
CHECKED: SK
FEBRUARY 26, 2018
REV. JUNE 17, 2019

CONTRACTOR

PROJECT TYPE
ADDITION

PROJECT LOCATION
16 RIPLEY ROAD
BELMONT, MA 02478

ISSUED FOR ZONING
REVIEW

Design by Sami LLC
Structural | Architectural
Design | Residential
Commercial
New Home Construction
Additions

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