

RECEIVED
TOWN CLERK
BELMONT, MA

NOTICE OF PUBLIC HEARING BY THE
PLANNING BOARD

2019 JUN 10 AM 8:39

ON AN APPLICATION FOR TWO SPECIAL PERMITS

Notice is hereby given that the Belmont Planning Board will hold a public hearing on **TUESDAY, JUNE 18, 2019, at 7:00 PM** in the **Board of Selectmen's Meeting Room, Town Hall, 455 Concord Ave.**, to consider the application of **Ronald Smith** for two SPECIAL PERMITS under Section 1.5.4 B of the Zoning By-Laws to **ALTER A NONCONFORMING STRUCTURE IN ORDER TO CONSTRUCT A SECOND STORY ADDITION AND INCREASE THE SIZE OF THE SINGLE-FAMILY HOME BY MORE THAN 30%** at **56 CLAFLIN STREET** located in the Single Residence C Zoning District.

Planning Board

AVERY DOOLEY & NOONE, LLP

ATTORNEYS AT LAW SINCE 1921

3 Brighton Street
Belmont, MA 02478
www.averydooley.com

(617) 489-5300 *main number*
(617) 993-3604 *direct dial*
(617) 489-0085 *fax*
jnoone@averydooley.com

April 16, 2019

BY HAND

Town of Belmont
Planning Board
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

Re: Application for Special Permits for 56 Claflin Street
Our File No. GJN-12324

Dear Sir/Madam:

Enclosed please find ten (10) copies of the following documents regarding the above-referenced Application for Special Permits for the construction of a second floor addition:

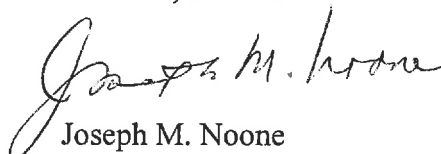
1. Application for Two Special Permits to construct a second-floor addition greater than 30% of the existing floor area;
2. Denial Letter;
3. Statement of Applicant;
4. Photos of 56 Claflin Street and surrounding properties;
5. Plot Plan;
6. Zoning Compliance Check List;
7. Architectural Plans;
8. Landscape Plan; and
9. Two checks in the amounts of \$350.00 and \$150.00.

Kindly advise of the hearing date when it is scheduled.

Thank you for your time and consideration. Please do not hesitate to contact me with any questions or requests for additional information.

Very truly yours,

AVERY, DOOLEY & NOONE, LLP



Joseph M. Noone

JMN/lmt
Enclosures

RECEIVED
TOWN CLERK
BELMONT, MA

COMMUNITY
DEVELOPMENT



2019 JUN 10 AM 8:39

Town of Belmont

Planning Board

APPLICATION FOR A SPECIAL PERMIT

Date: April 12, 2019

Planning Board
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Law of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 56 Claflin Street Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for _____

two special permits to alter a non-conforming structure in order to construct a second story
on the existing home greater than 30% of the existing floor area. The existing structure
has a side set back of 9.5' and lot frontage of 60'.

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner

Ronald Smith (Jr)

Print Name

56 Claflin Street, LLC/Ronald Smith

Address

83 Concord Avenue

Belmont, MA 02478

Daytime Telephone Number

By its attorneys,

Joseph M. Noone
Joseph M. Noone, Esquire
EVERY, DOOLEY & NOONE, LLP
3 Brighton Street
Belmont, MA 02478
(617) 489-5300



OFFICE OF COMMUNITY DEVELOPMENT
TOWN OF BELMONT

19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2664
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

February 6, 2019

56 Claflin LLC
83 Concord Avenue
Belmont, MA 02478

RE: 56 Claflin Street - Denial to Construct Second Floor Addition:

Dear 56 Claflin LLC:

The Office of Community Development is in receipt of your building permit application for the construction of a second floor addition on top of your home located in a Single Residence C (SR-C) Zoning District.

Your application has been denied because it does not comply with the Zoning By-Law. More specifically, Section 1.5.4 B of the Zoning By-Law allows extensions or alterations exceeding 30% of the Gross Floor Area of non-conforming structures in the SR-C zoning district by a Special Permit from the Planning Board. Additionally, Section 4.2.2 allows a side setback of 10'-0"; your existing and proposed side setback is 9.5'.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request two (1) Special Permits from the Planning Board. If you choose this option, please contact the Office of Community Development to schedule an appointment with a member of the Planning Staff at (617) 993-2666 in order to begin the process.

Sincerely,

Glenn R. Clancy, P.E.
Inspector of Buildings

STATEMENT OF APPLICANT, 56 CLAFLIN STREET, LCC
FOR SPECIAL PERMITS

The Applicant, 56 Claflin Street LLC ("Applicant"), seeks two special permits under Section 1.5.4 of the Zoning By-Law to alter a non-conforming structure at 56 Claflin Street (non-conforming side set back and lot frontage) in order to construct a second story on the existing home, greater than 30% of existing gross floor area.

The Applicant purchased the property in August 2018 from the estate of Louise Choulian. The property is located in a Single Residence C Zoning District. It is a cape style home that does not have a second floor. The lot size is 10,600 square feet.

The existing home was constructed in 1968 and has not been updated. The dwelling is dated and needs to be renovated in order to avoid becoming a detraction to the neighborhood.

The Applicant proposes to add a second floor to the existing one-story, single-family cape in order to convert the existing home into a two-story home. The current structure is smaller than most of the homes in the neighborhood and will be expanded to become 2,845 square feet. The unfinished basement will be renovated to include a bedroom, family room, bathroom and laundry room. The first floor will be renovated and be slightly reduced in size to accommodate stairs to the second floor. The newly constructed second floor will consist of three bedrooms and two full bathrooms. The attic will be accessed by a set of stairs and will contain two doghouse dormers. The center entrance design is found throughout the neighborhood. The current driveway will be utilized to access the existing single car garage.

Due to aesthetics and the fact that the property is a center entrance, the northerly (front) portion of the second floor addition will be constructed to align with the existing first floor structure. The easterly side of the dwelling is 9.5 feet from the lot line. However, the rear portion of the second floor addition that contains the third bedroom will be brought in ½ foot to conform to the side set back so as to reduce the expansion of this nonconformity.

The large maple tree on the front of the property and existing hedge on the easterly side of the property will remain. New landscaping will be planted in accordance with the submitted landscaping plan.

The Applicant respectfully submits that the proposed addition and requested special permits will not be substantially more detrimental to the neighborhood than the existing home, as it will be in character with the neighborhood. Throughout this neighborhood, many homes consist of four bedrooms with total living areas well in excess of 2,500 square feet. For example, the adjacent property located at 52 Alexander Avenue was renovated to create a two-story dwelling that consists of a total living area of 3,530 square feet. The home located three houses away, 76 Claflin Street, consists of a total living area of 3,217 square feet. Photos of some of the surrounding properties are submitted herewith. In fact, a vast majority of the properties in this Winn Brook neighborhood are similarly sized.

The proposed addition has been designed to reflect the architectural character of the neighborhood and is consistent with additions built on the surrounding homes.

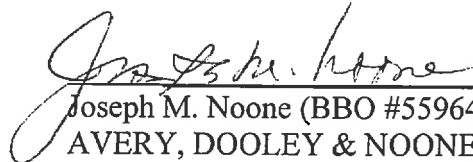
The Applicant is a Belmont-based real estate development and property management company. The Applicant has been working in the Greater Boston area for over 20 years renovating homes and commercial space, including its own property at 81-85 Concord Avenue in Belmont.

The principals of the Applicant are Harold McShane and Ronald Smith. Their company has an excellent reputation in the construction and renovation business. They work primarily in Belmont, Cambridge, Boston Back Bay and Lexington. The Applicant has built a strong reputation on not only finishing a high-level project on time and on budget, but works to build lasting relationships with their clients and the community.

The Applicant has reached out to the abutters, and those that have responded are in favor of the proposal.

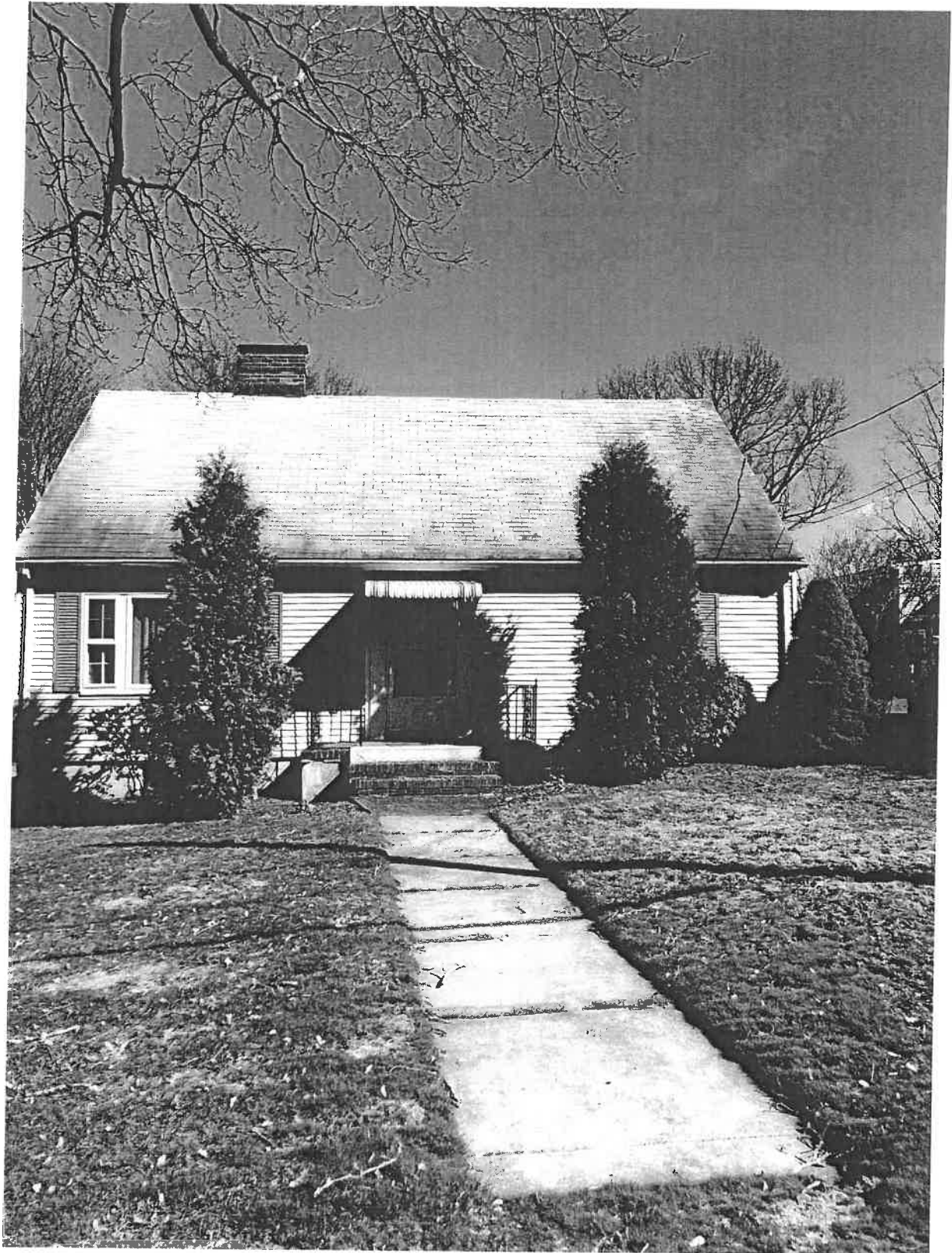
The Applicant respectfully requests that the Planning Board grant the requested special permits, as the proposed addition is general harmony and will not be substantially more detrimental than the existing dwelling to the neighborhood. The proposed addition is reasonable in size and similar in size to additions constructed on surrounding properties.

56 Claflin Street, LLC
By its attorneys,

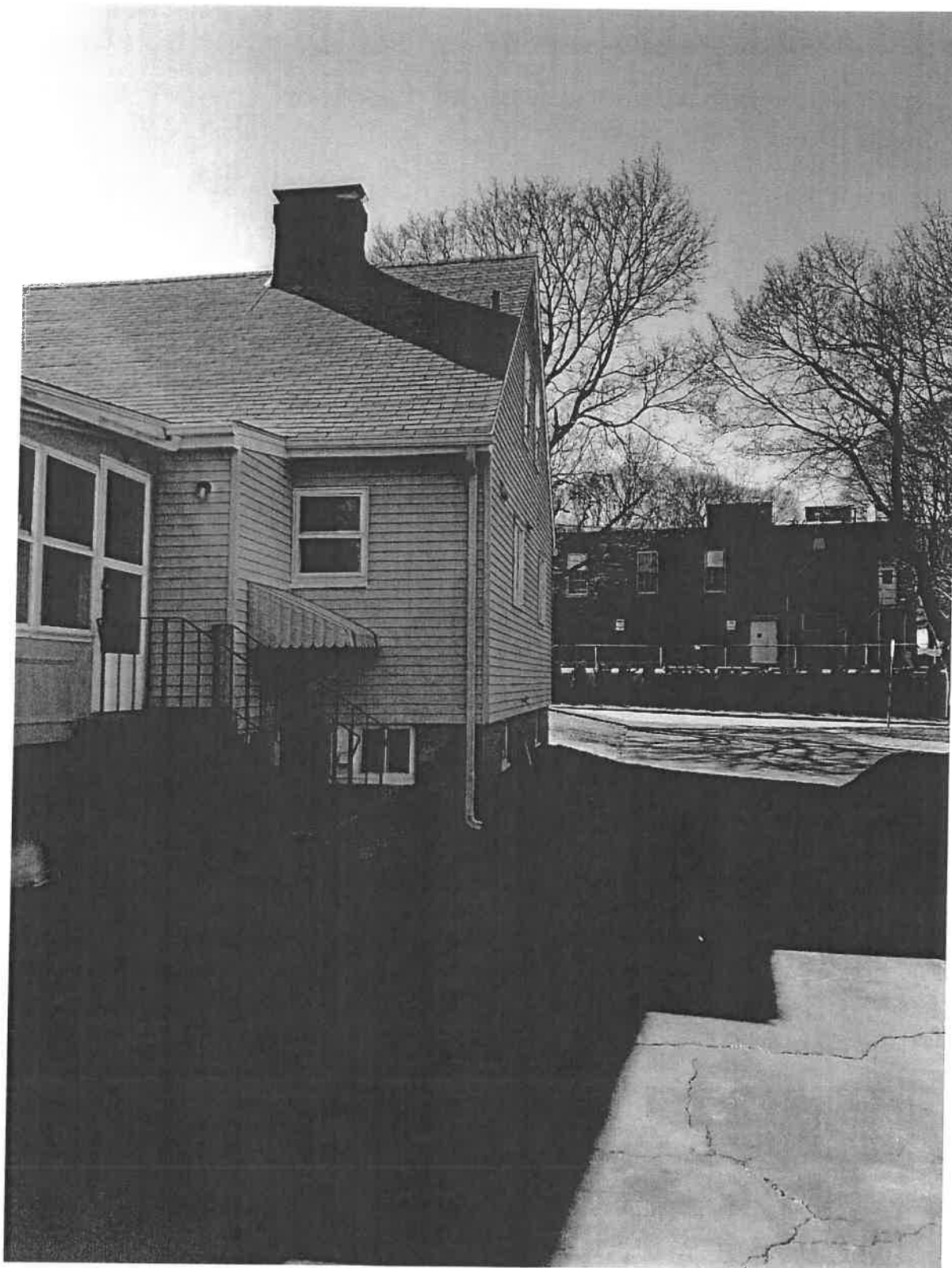

Joseph M. Noone (BBO #559644)
AVERY, DOOLEY & NOONE, LLP
3 Brighton Street
Belmont, MA 02478
(617) 489-5300
jnoone@averydooley.com

Date: April 16, 2019

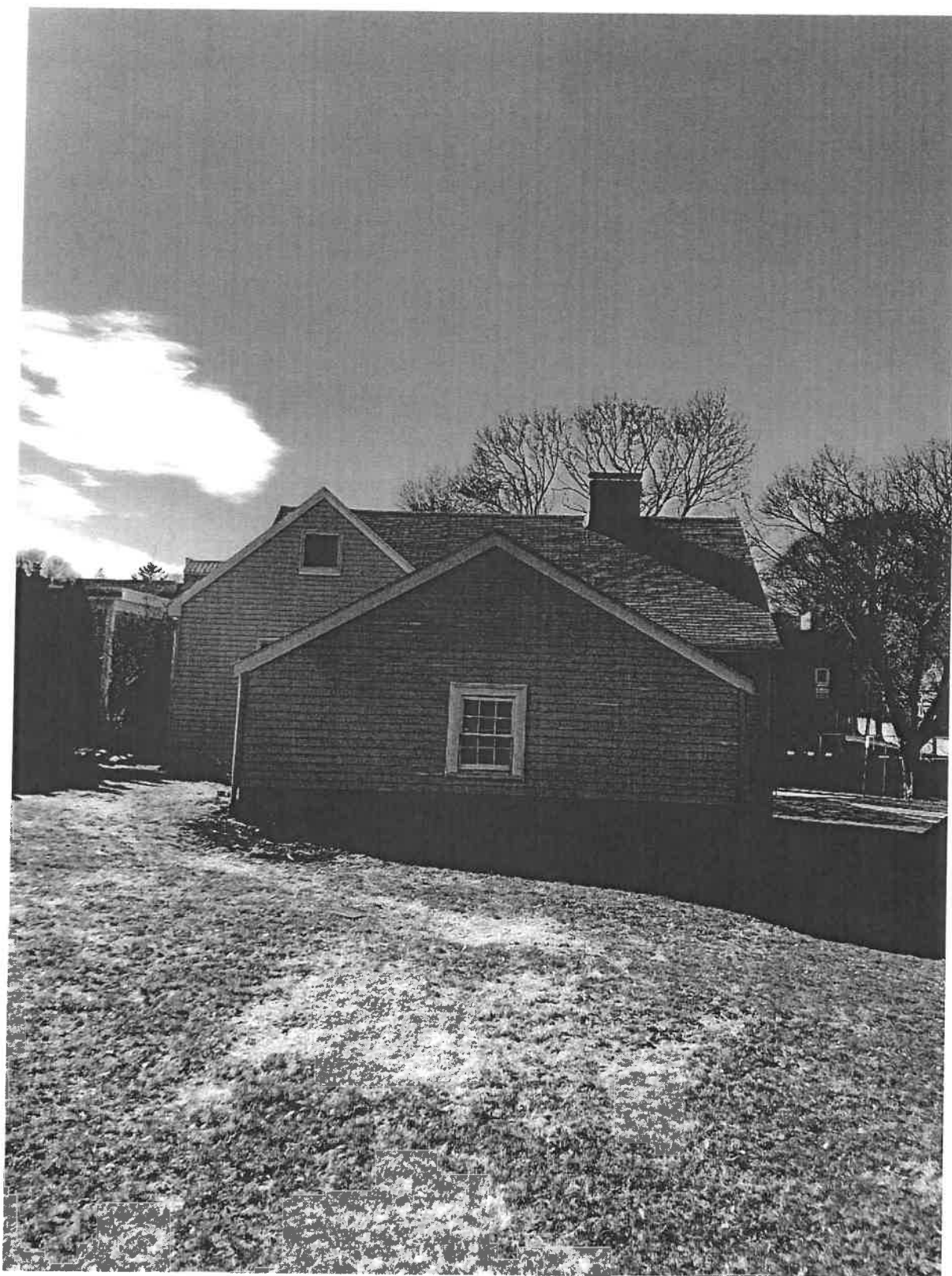
56 CLAFLIN STREET - FRONT



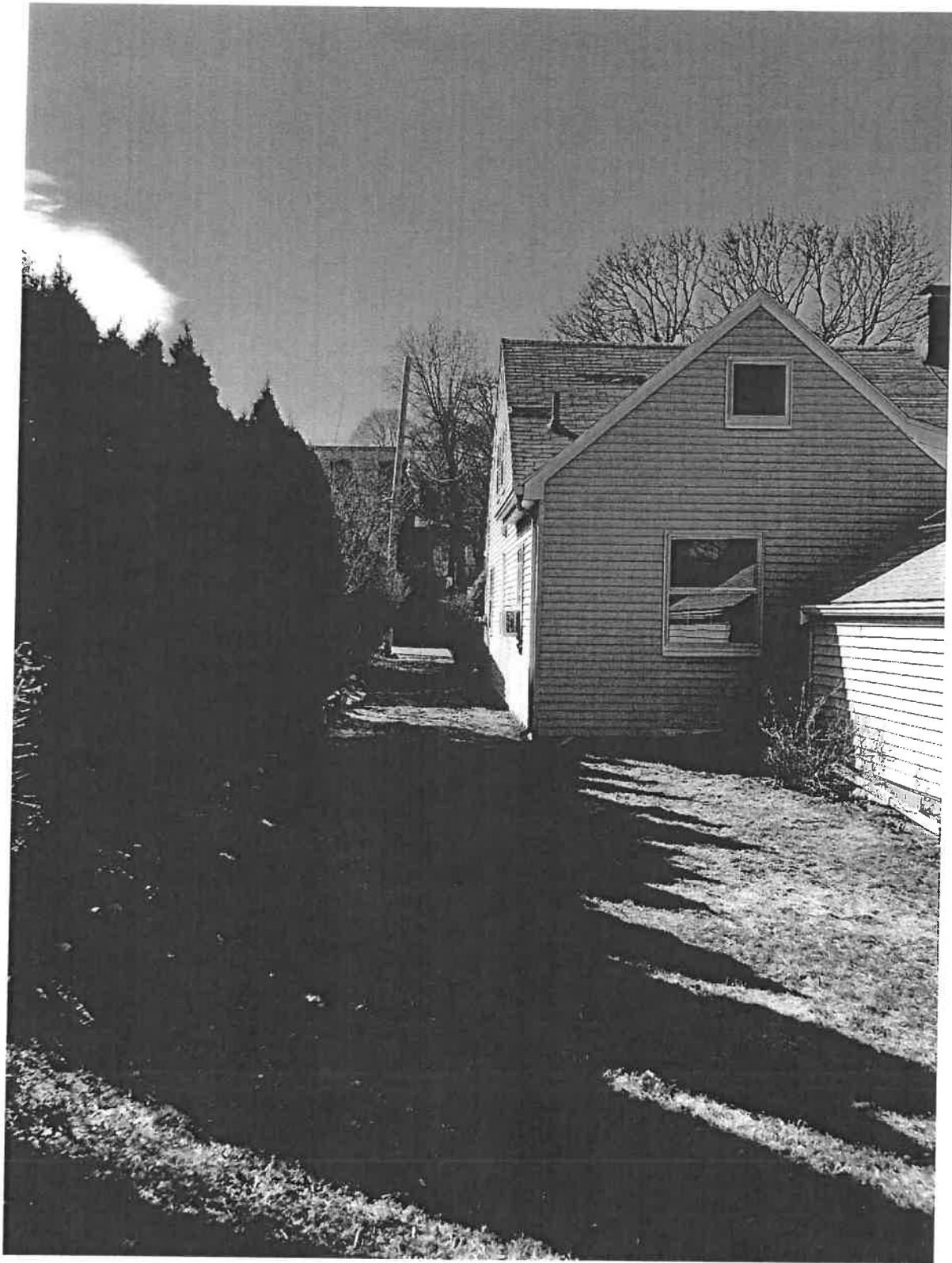
56 CLAFLIN STREET - EAST SIDE



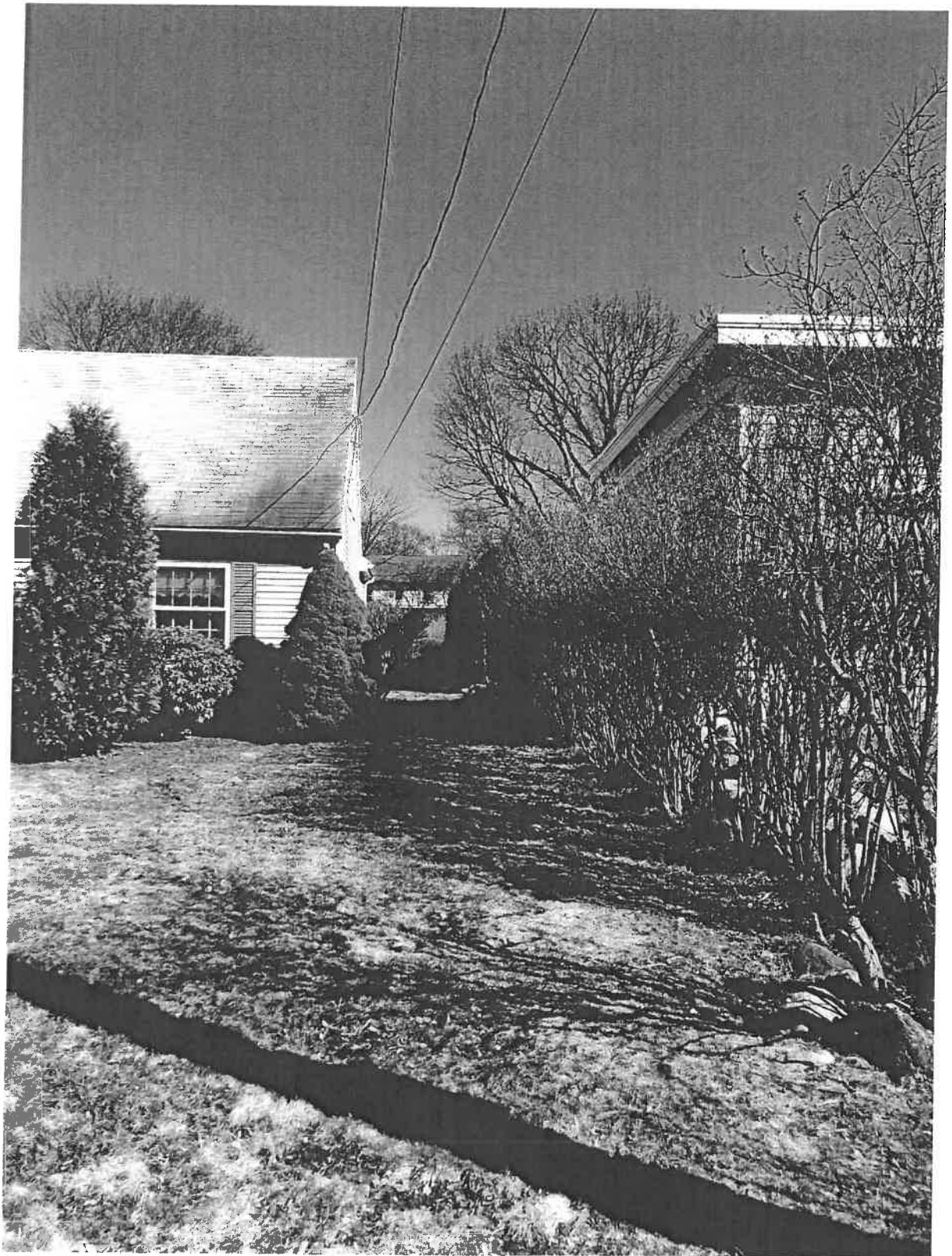
56 CLAFLIN STREET - REAR



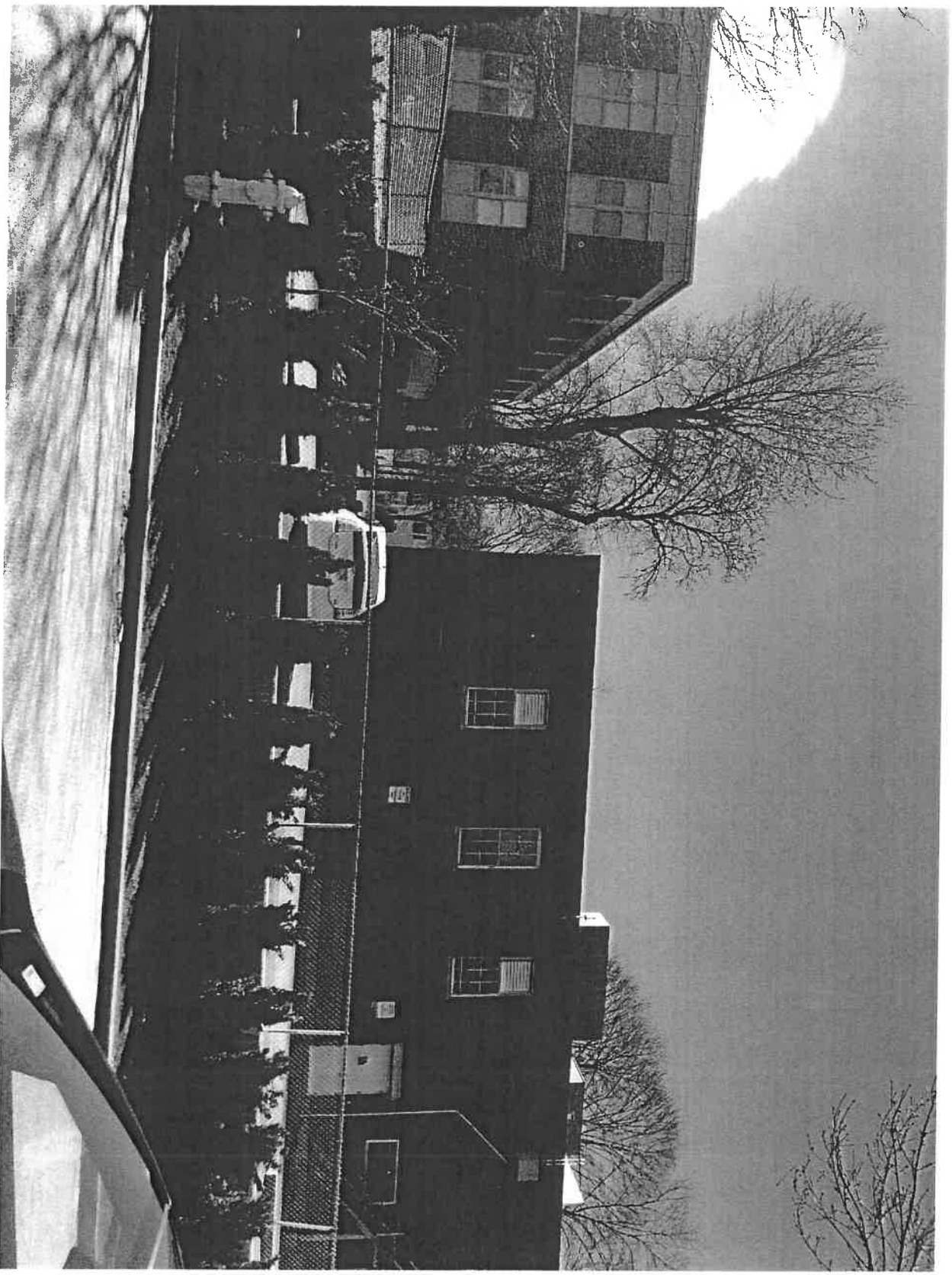
56 CLAFLIN STREET - REAR (WEST)



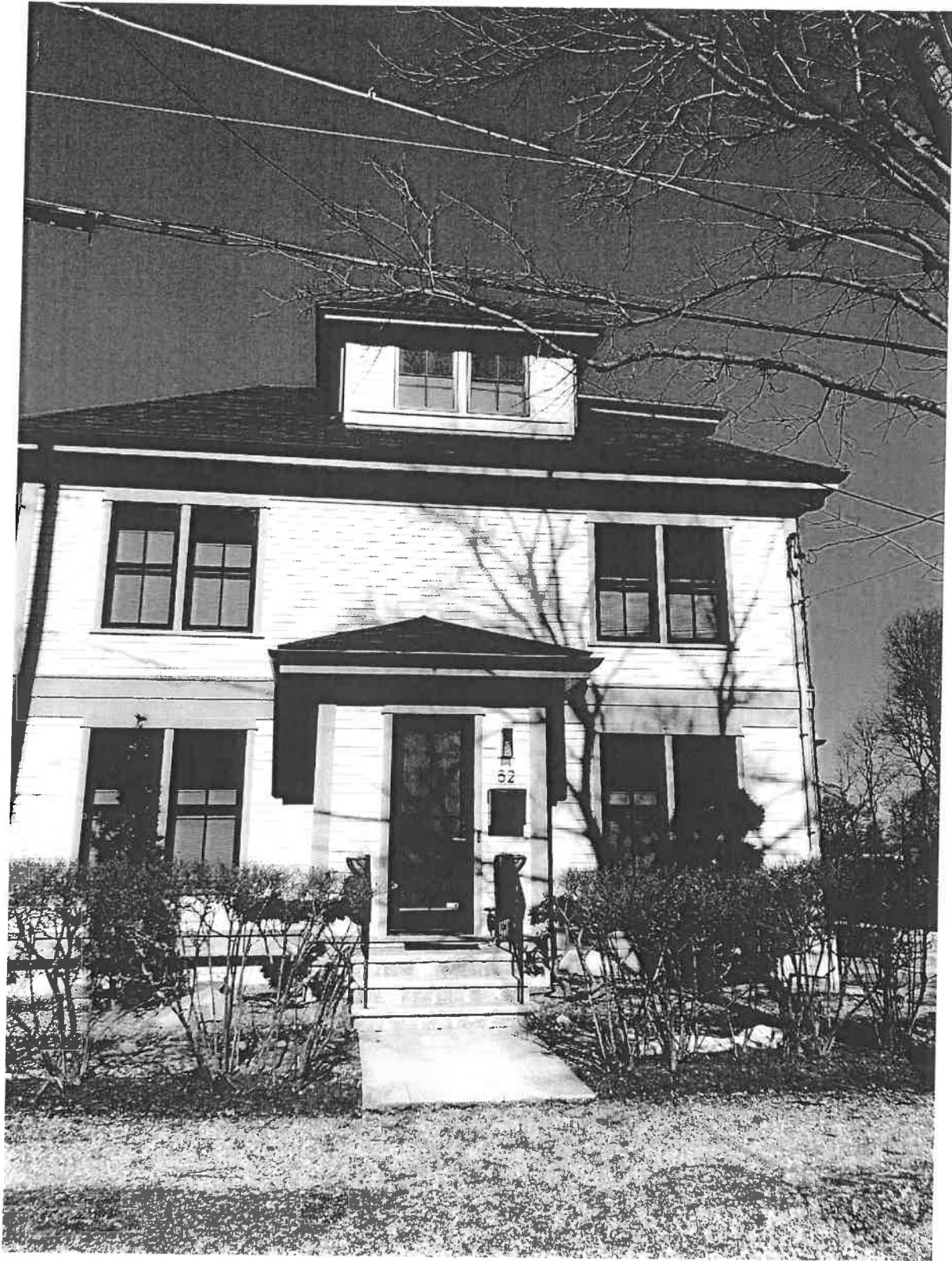
56 CLAFLIN STREET - WEST SIDE



ACROSS THE STREET FROM 56 CLAFLIN STREET

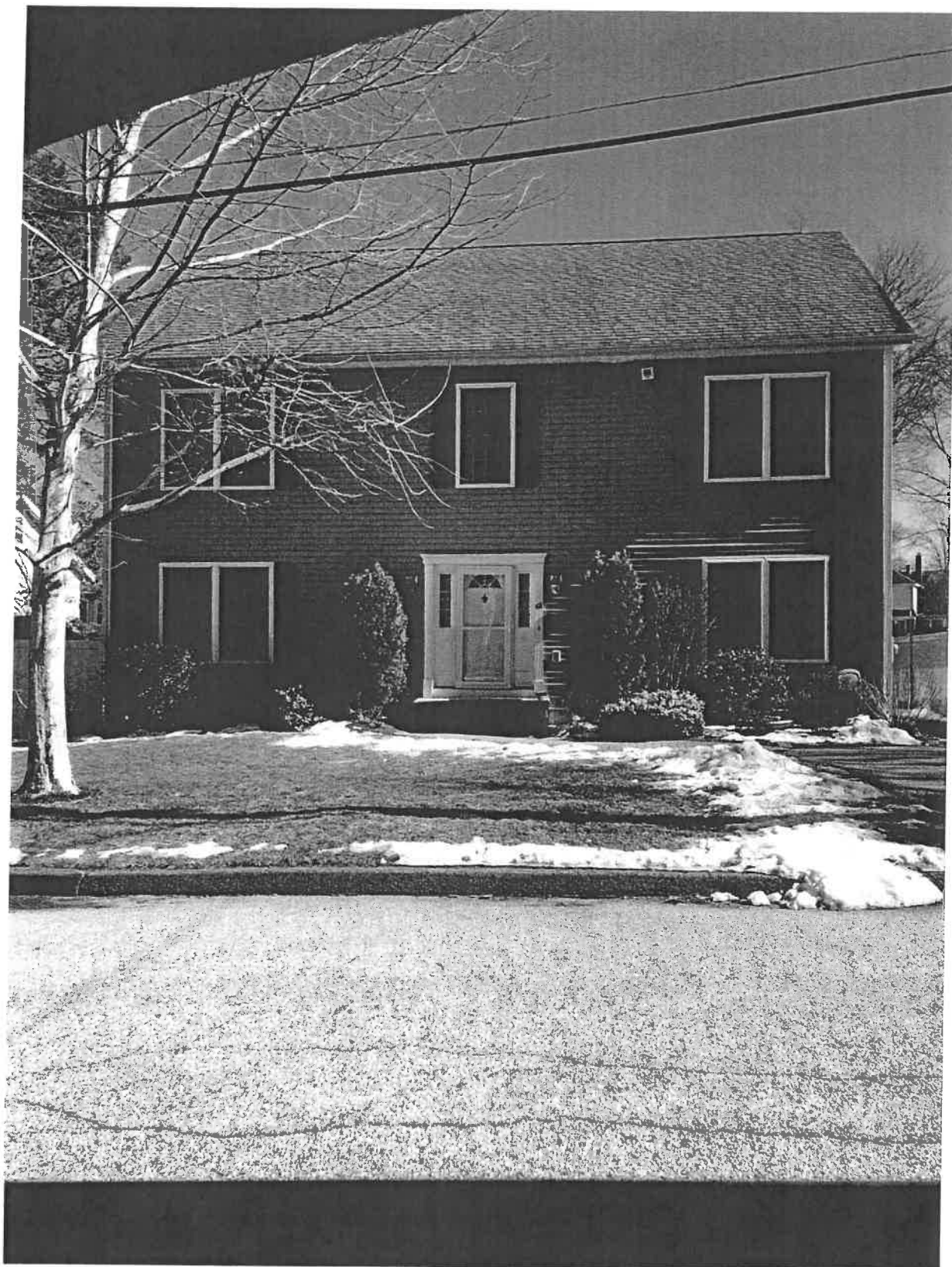


52 ALEXANDER AVENUE
TLA: 3,530

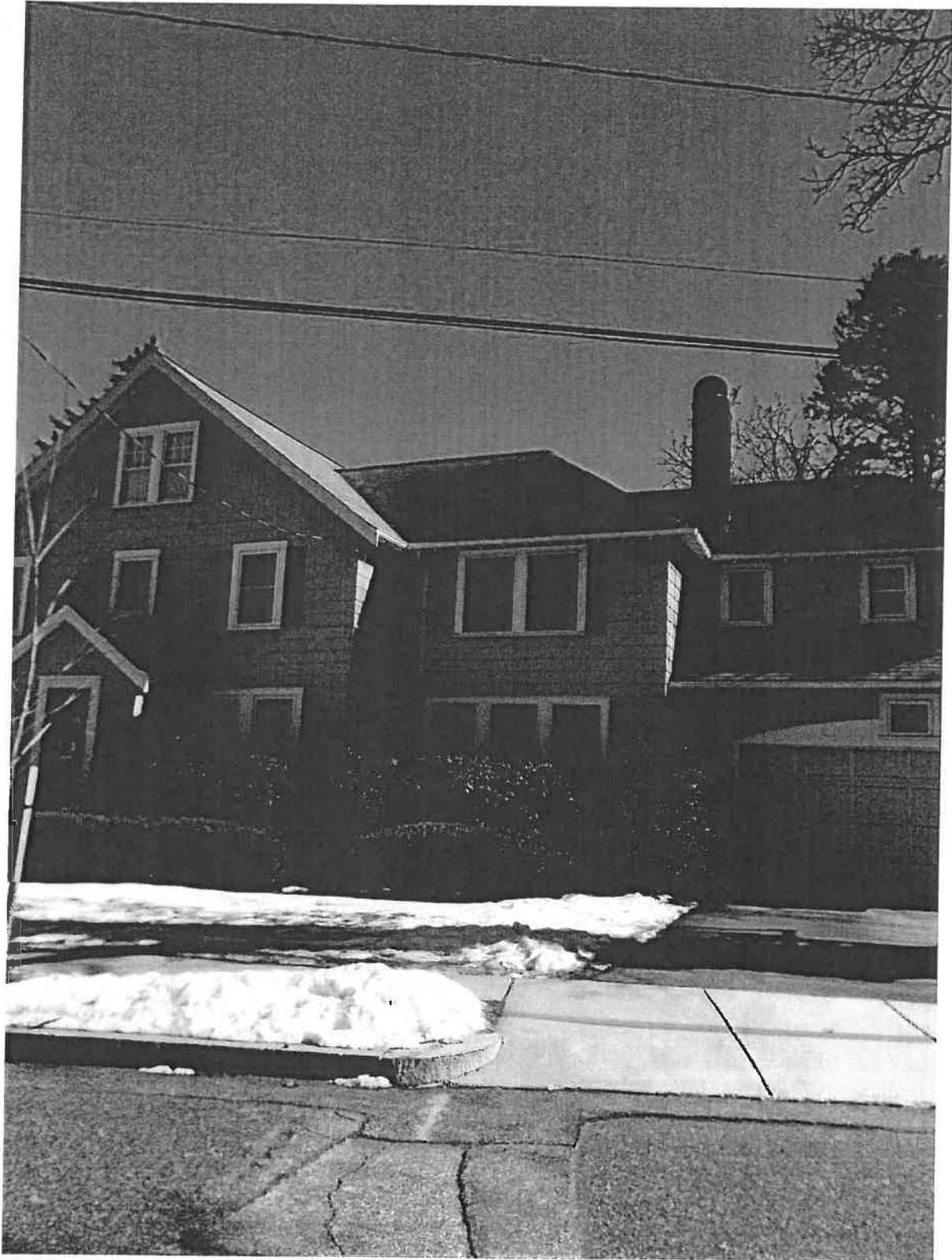


68 CLAFLIN STREET

TLA: 2,352

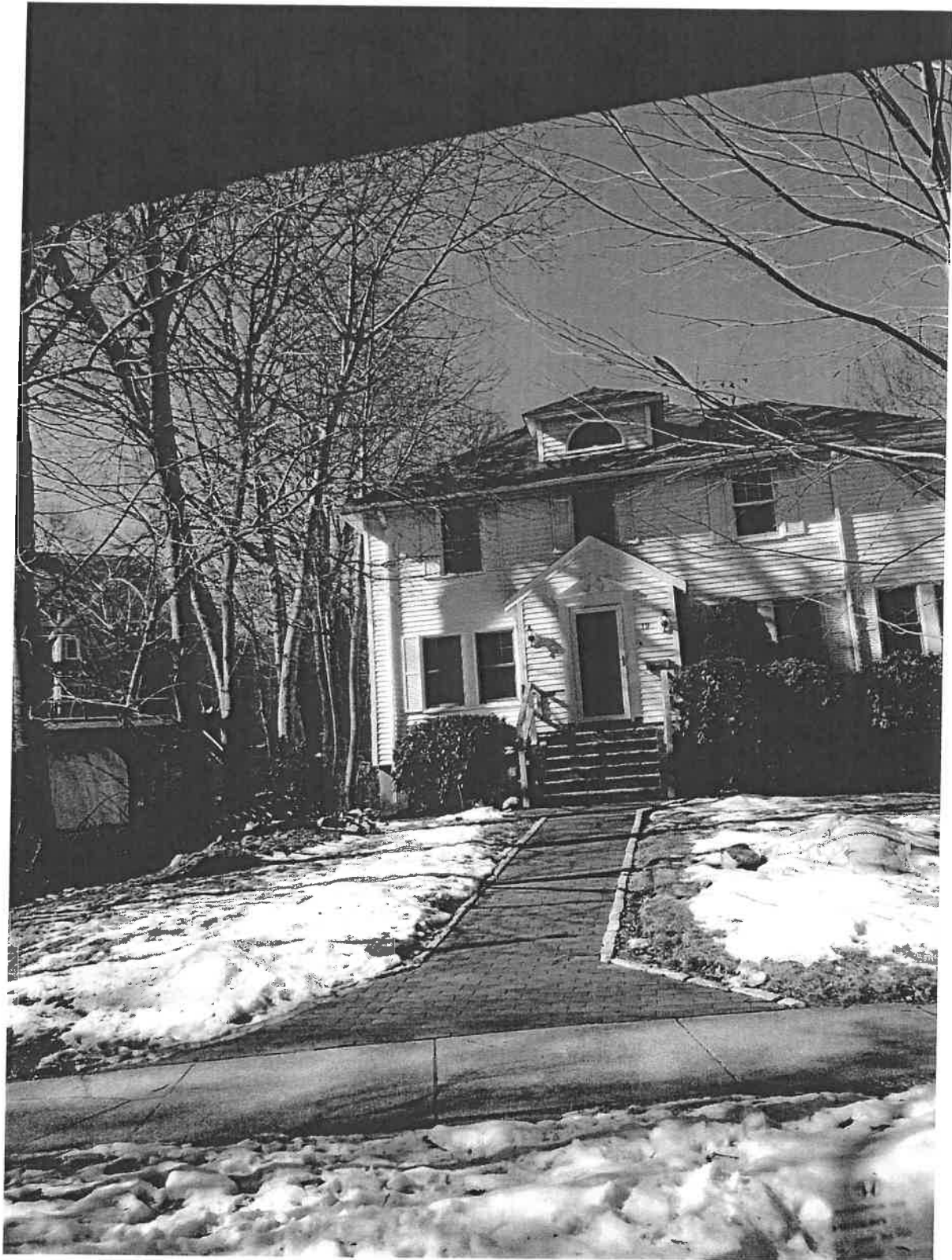


76 CLAFLIN STREET
TLA: 3,217

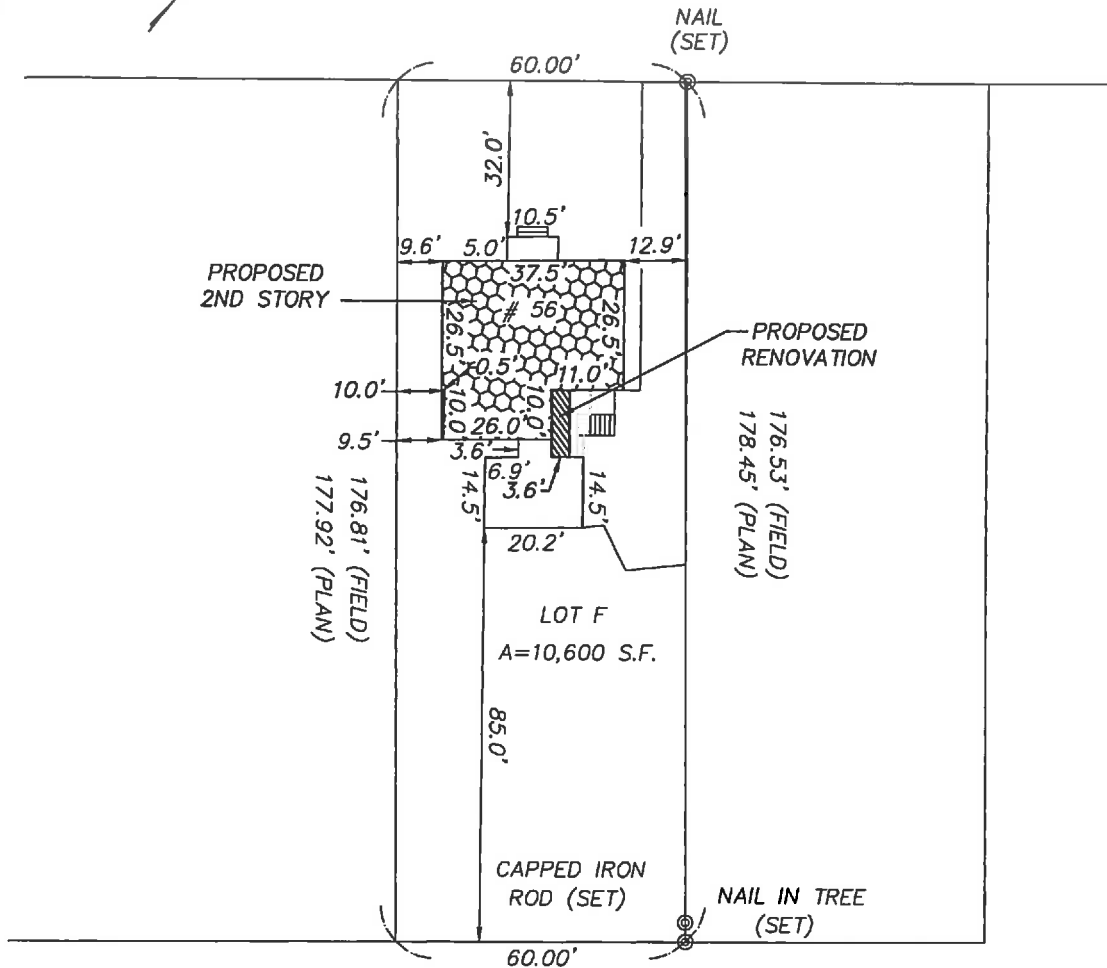


79 CLAFLIN STREET

TLA: 2,050



CLAFLIN STREET



OWNER: 56 CLAFLIN STREET LLC
LOCUS HOUSE # - 56 CLAFLIN STREET

LOCUS DEED - BOOK 71490 PAGE 504
LOCUS PLAN - PLAN # 255 OF 1950
APP. # -

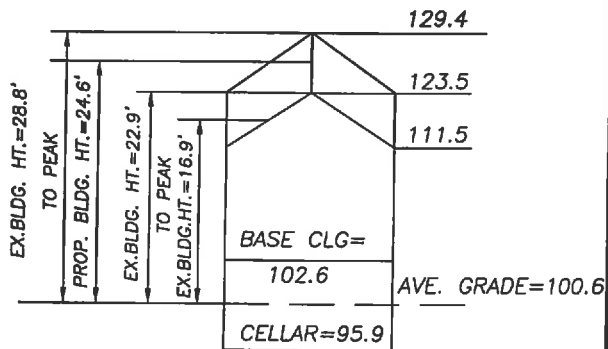
SITE DOES NOT FALL WITHIN
THE WETLAND ZONE.

ZONING DISTRICT= SC

	REQ.	EXIST.	PROP.
MAX. LOT COVERAGE	30%	16.1%	15.9% *
MIN. OPEN SPACE	40%	72%	72.5% **
FRONT SETBACK	25'	32.0'	32.0'
SIDE SETBACK	10'	9.5'	9.5'
REAR SETBACK	30'	85.0'	85.0'
HEIGHT	33'	16.9'	

* HOUSE (1590 S.F. + 52.5 S.F. FRONT PORCH) +
ADDITION (49 S.F.) = 1691.5/10,600=15.9%

** HOUSE (1590 S.F. + 52.5 S.F. FRONT PORCH
+ 49 S.F. ADDITION + 1227 S.F. DRIVE
= 2918.5/10,600=27.5 % OR 72.5%



BUILDING HEIGHT

69.3% OF BASEMENT UNDERGROUND
THEREFOR BASEMENT IS NOT A STORY

PLOT PLAN
56 CLAFLIN STREET
BELMONT MASS.
SCALE: 1" = 30' MARCH 22, 2019

Prepared By
EDWARD J. FARRELL
PROFESSIONAL LAND SURVEYOR
110 WINN STREET ~ SUITE 203 ~ WOBURN,
MA.
(781)-933-9012

**56 CLAFLIN ST
BELMONT, MA 02478**

4 April 2019
56 Claflin Street
Belmont, MA 02478

DISTRICT Single Residence C (SR-C)
Lot size (9000 required) 10,600
Max. FAR N/A

	Existing	Proposed
Cellar (termed by zoning)	N/A	N/A
First Floor (including garage)	1626	1590
Second Floor	N/A	1250
Attic	544	324
TOTAL Gross Floor Area	2170	3164

ITEMS IN RED ARE POTENTIALLY NON-CONFORMING

Dimensional Requirements	Allowed	Existing	Proposed
Min Lot Area	9,000 sq. ft.	10,600	10,600
Min Lot Frontage	75 feet	60 feet	60 feet
Min lot area per dwelling unit	N/A	N/A	N/A
Max FAR	N/A	N/A	N/A
Max lot coverage	25%	15.80%	15.49%
Min open space	50%	72%	73%
Front Setback	25 feet	32 feet	32 feet
Side Setback	10 feet	9.5 feet	9.5 feet
Rear Setback	30 feet	85 feet	85 feet
Building Height (2 1/2 stories)	Max 30 feet	16.9 feet	24.6 feet
Building Height to peak	Max 34 feet	22.9 feet	28.8 feet

1/2 Story Calculations	Allowed	Proposed
Section 1.4 - Story, Half (a): Line of intersection of of rafter bottoms and interior wall surface not to exceed 50% of perimeter of second floor @ 3' AFF	74' (Note 1)	72'-10"
Section 1.4 - Story, Half (b): 60% of second floor @ 5' head height	625	324
Section 1.4 - Story, Half ©: Length of dormer not to exceed 75% of the length of the roofline	28'-1.5" (Note 2)	11'-0" (Note 3)
Section 1.4 - Story, Half (d)	N/A	N/A

Note 1: Perimeter of proposed second floor measured to be approximately 148 feet

Note 2: Length of proposed ridge to be approximately 37'-6"

Note 3: 3 'doghouse' dormers at approximately 3'-8" wide

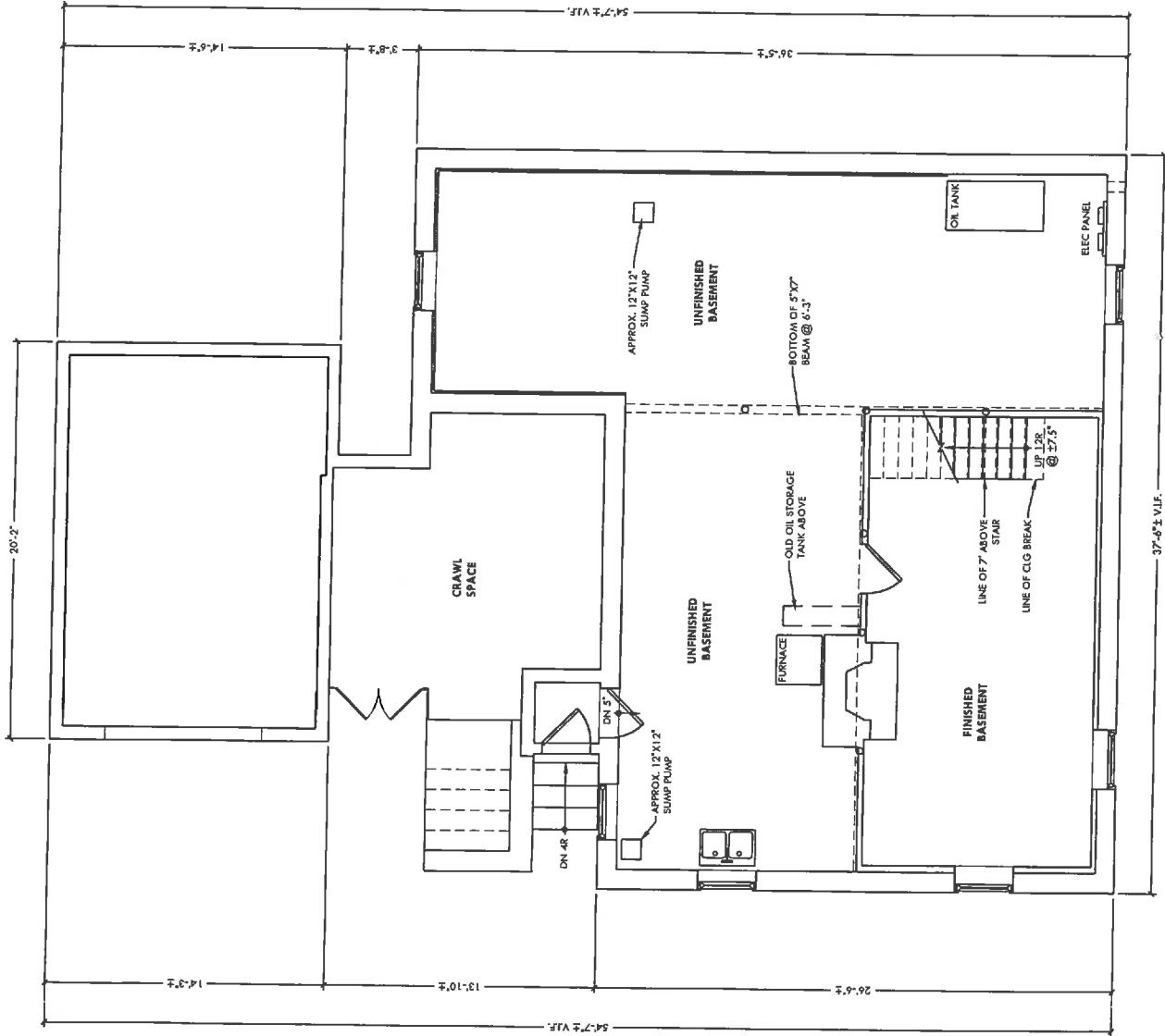
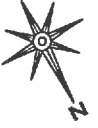
ISSUE FOR SPECIAL PERMIT

CPD Clapin St.

58 CLAPIN ST.
BELMONT MA 02478

Date: 11.12.18
Revision: Issue for Permit
04.04.19 Special Permit

Scale: AS NOTED
Title: EXISTING
CELLAR PLAN
Sheet X1.0



1 EXISTING CELLAR PLAN
1/4" = 1'-0"

ISSUE FOR SPECIAL PERMIT

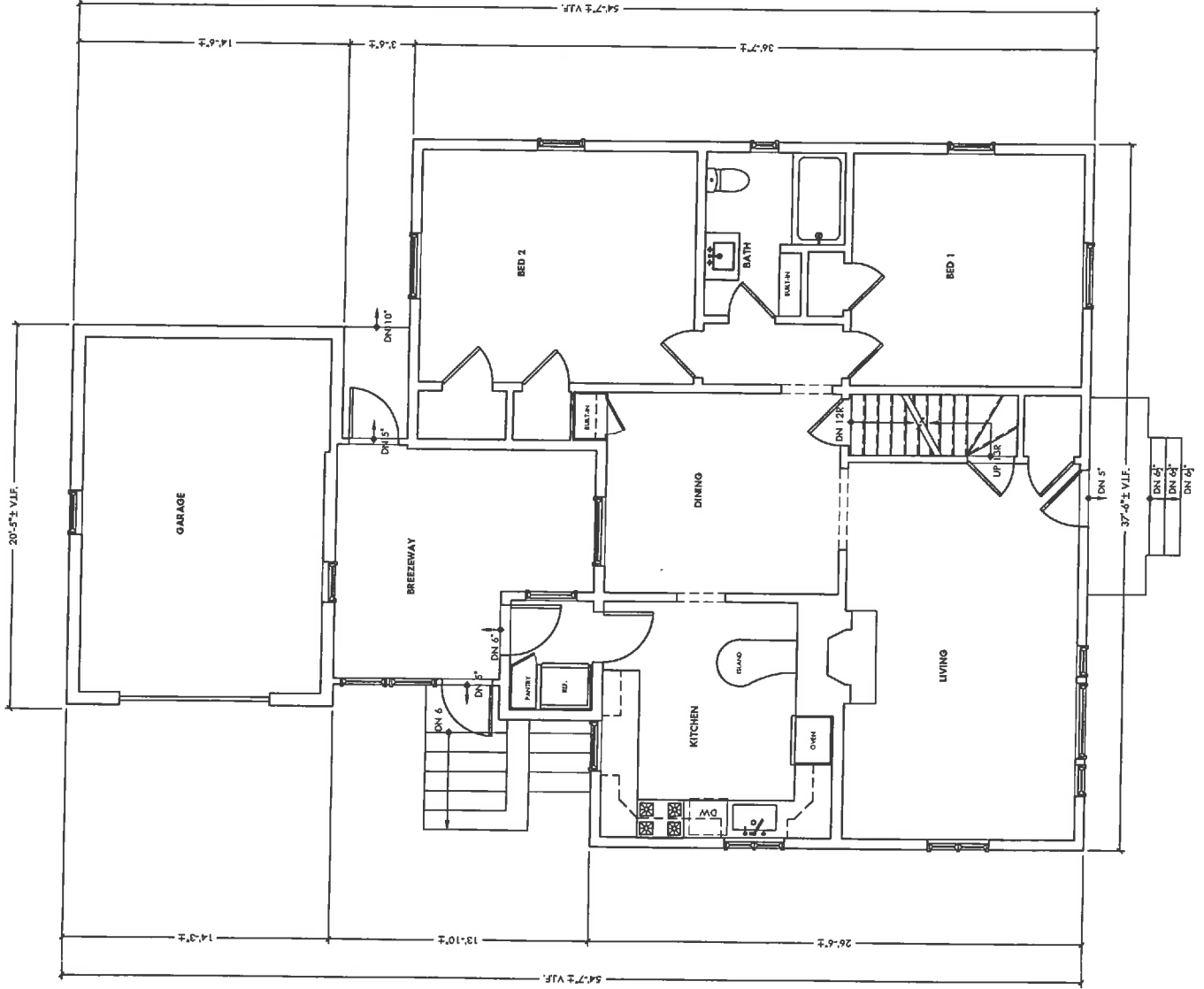
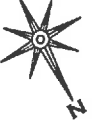
CPD Claffin St.

56 CLAFFIN ST.
BELMONT MA 02478

Date: 11.12.18
Revision: Issue for Permit
04.04.19 Special Permit

Scale: AS NOTED

Title: EXISTING FIRST FLOOR PLAN
Sheet: X1.1



1 EXISTING FIRST FLOOR PLAN
1/4" = 1'-0"

FOLEY FIORE
ARCHITECTURE

214 Cambridge St.
APT. 202
CAMBRIDGE, MA 02142

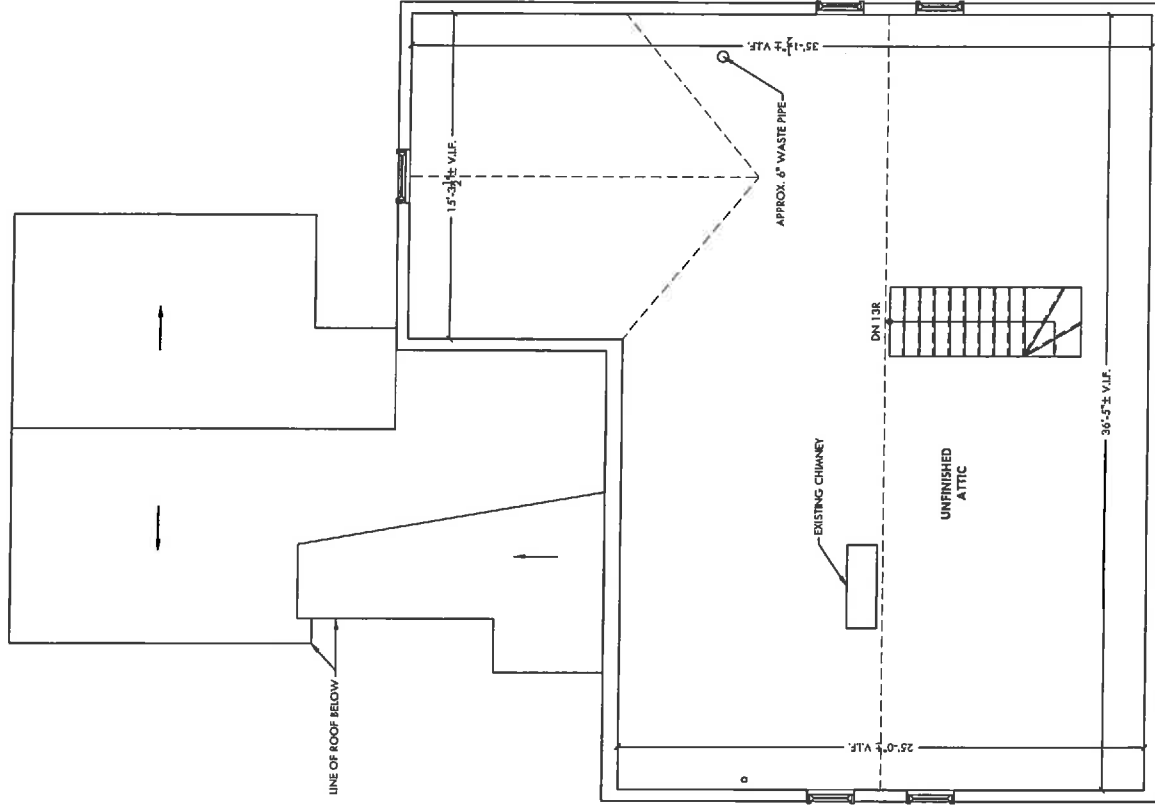
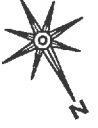
ISSUE FOR SPECIAL PERMIT

CPD Clapin St.

56 CLAPIN ST.
BELLMONT MA 02478

Date: 11.12.18
Revision: Issue for Permit
04.04.19 Special Permit

Scale: AS NOTED
Title: EXISTING
ATTIC PLAN
Sheet: X1.2



1 EXISTING ATTIC PLAN
1/4" = 1'-0"

FOLEY FIORE
ARCHITECTURE

316 Cambridge St.
Cambridge, MA 02142
617-827-8882

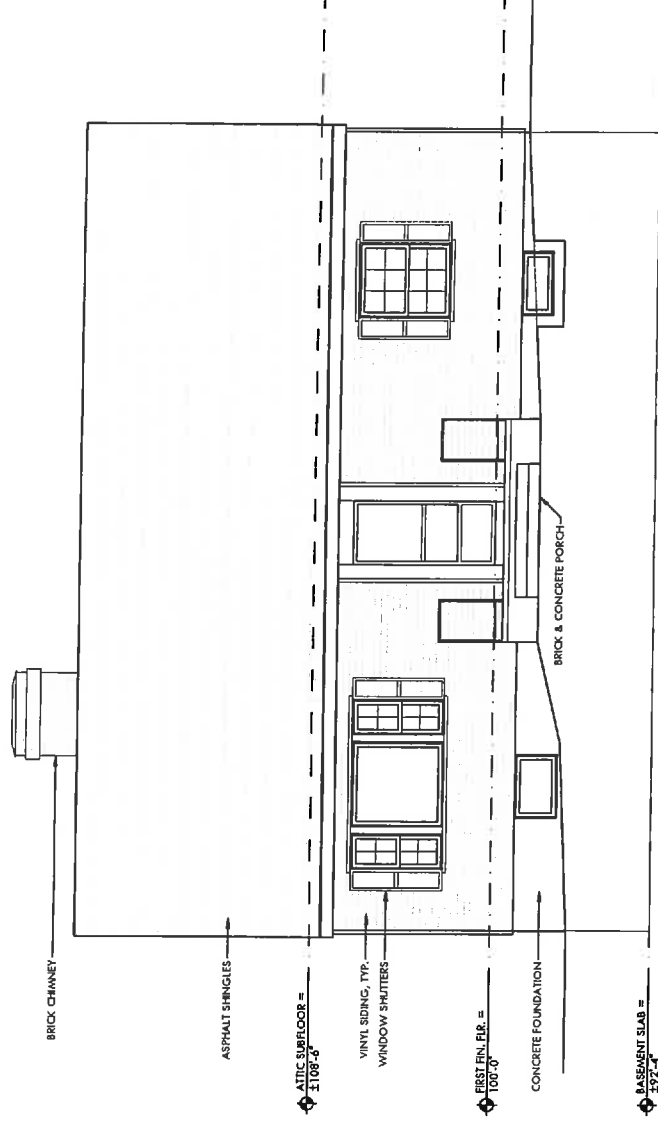
ISSUE FOR SPECIAL PERMIT

CPD Clifton St.

56 CLIFTON ST.
BELLMONT MA 02478

Date: 11.12.18
Revisions: Issue for Permit
04.04.19 Special Permit

Scale: AS NOTED
Title: EXISTING NORTH
ELEVATION
Sheet: X3.0



1 EXISTING NORTH ELEVATION
1/4" = 1'-0"

ISSUE FOR SPECIAL PERMIT

CPD Cluffin St.

56 CLUFFIN ST.
BELLINGHAM 02478

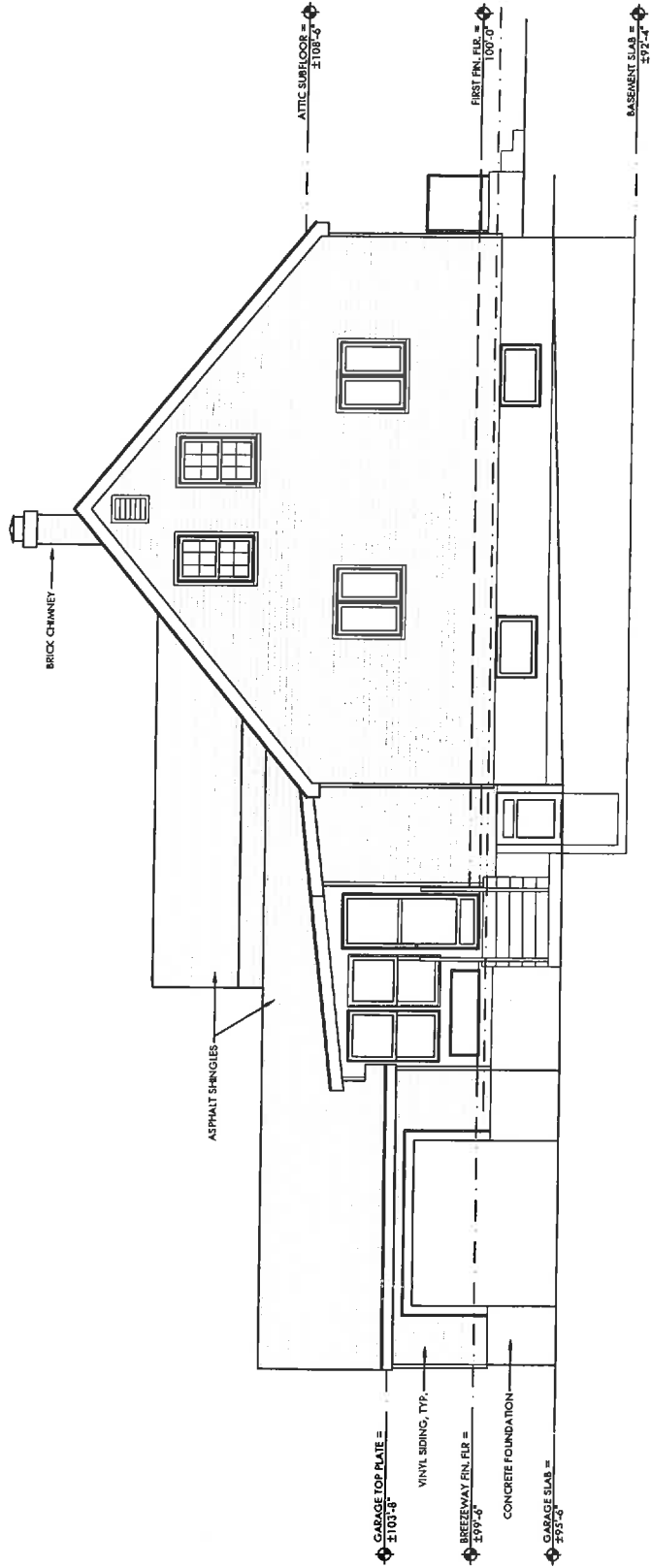
Date:
11/13/16
04/04/19

Revision:
Issue for Permit
Special Permit

Scale:
AS NOTED

Title:
EXISTING WEST
ELEVATION

Sheet:
X3.1



2 EXISTING WEST ELEVATION
1/4" = 1'-0"

FOLEY FIORE
ARCHITECTURE

316 Cambridge St.
Cambridge, MA 02142
617-452-7727

ISSUE FOR SPECIAL PERMIT

CPD Cluffin St.

56 CLIFFIN ST.
BELMONT MA 02478

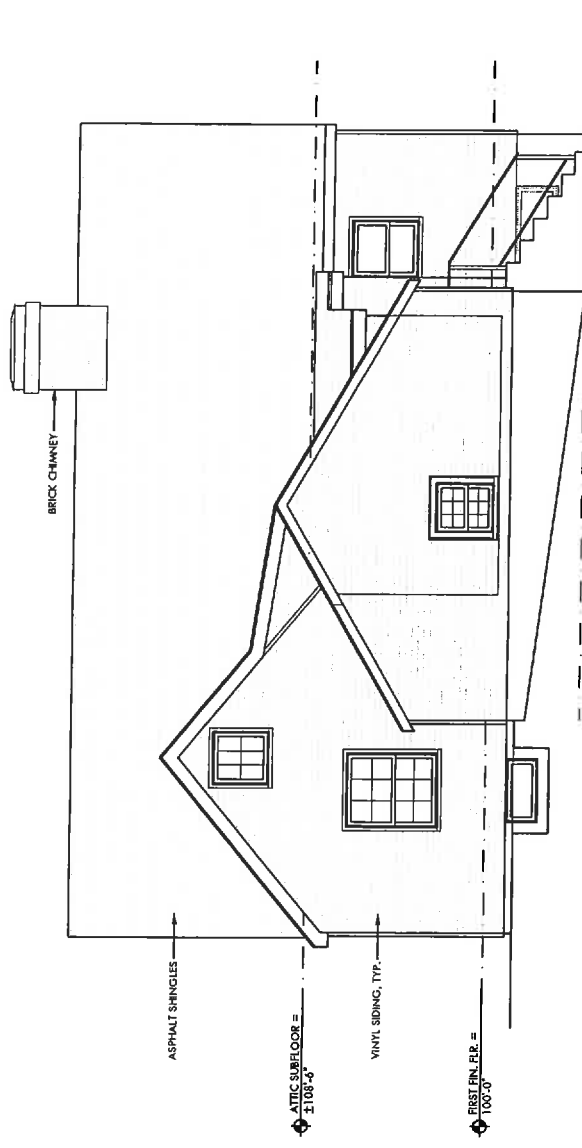
Date: 11.12.18
Revised: Issue for Permit
06.04.19 Special Permit

Scale: AS NOTED

Title: EXISTING SOUTH

ELEVATION

Sheet: X3.2



1 EXISTING SOUTH ELEVATION
1/4" = 1'-0"

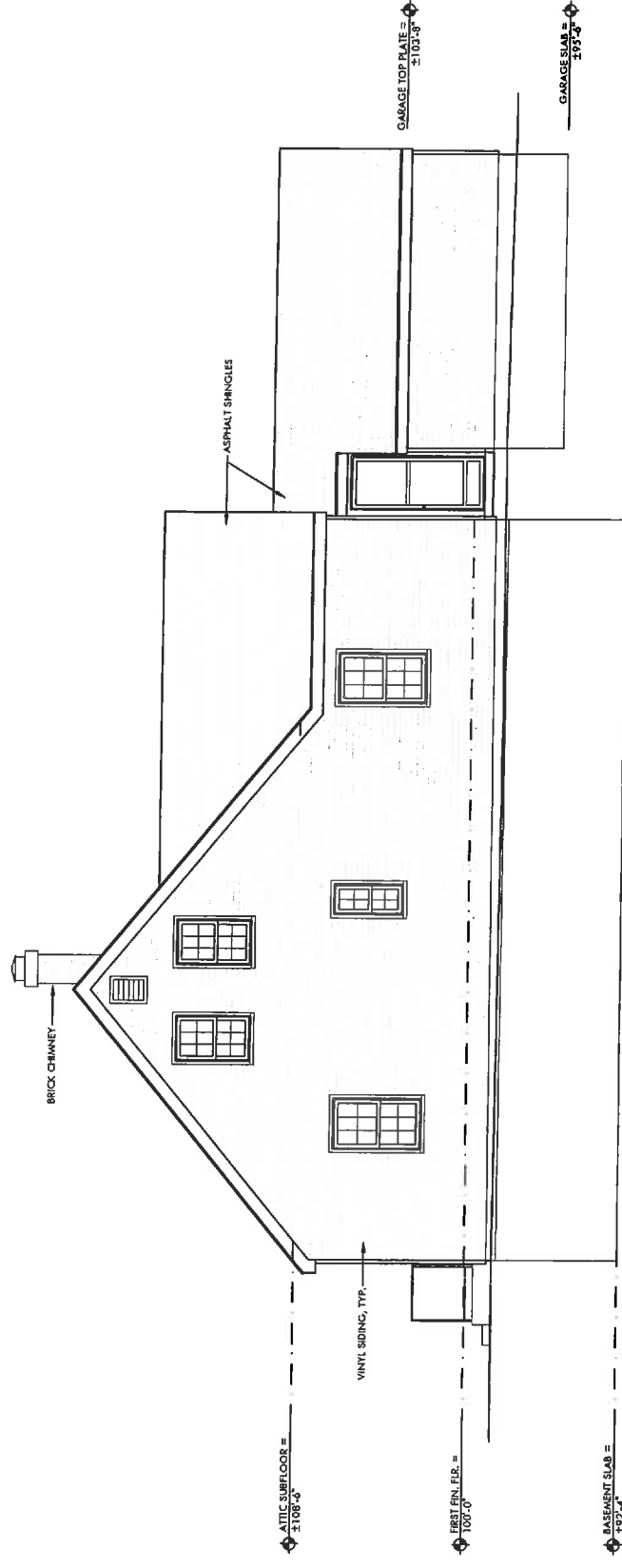
ISSUE FOR SPECIAL PERMIT

CPD Clifton St.

56 Clifton St.
Belmont MA 02478

Date: 11/2/18
Revision: Reissue for Permit
04/04/19 Special Permit

Scale: AS NOTED
Title: EXISTING EAST
ELEVATION
Sheet: X3.3



1 EXISTING EAST ELEVATION
1/4" = 1'-0"

ISSUE FOR SPECIAL PERMIT

CPD Clifton St.

56 CLAFEN ST.
BELMONT MA 02478

Date:
11.13.18
01.04.19
Revision:
(Issued for Permit)
Special Permit

Scale:
AS NOTED

Title:
PROPOSED
CELLAR PLAN
Sheet: A1.0

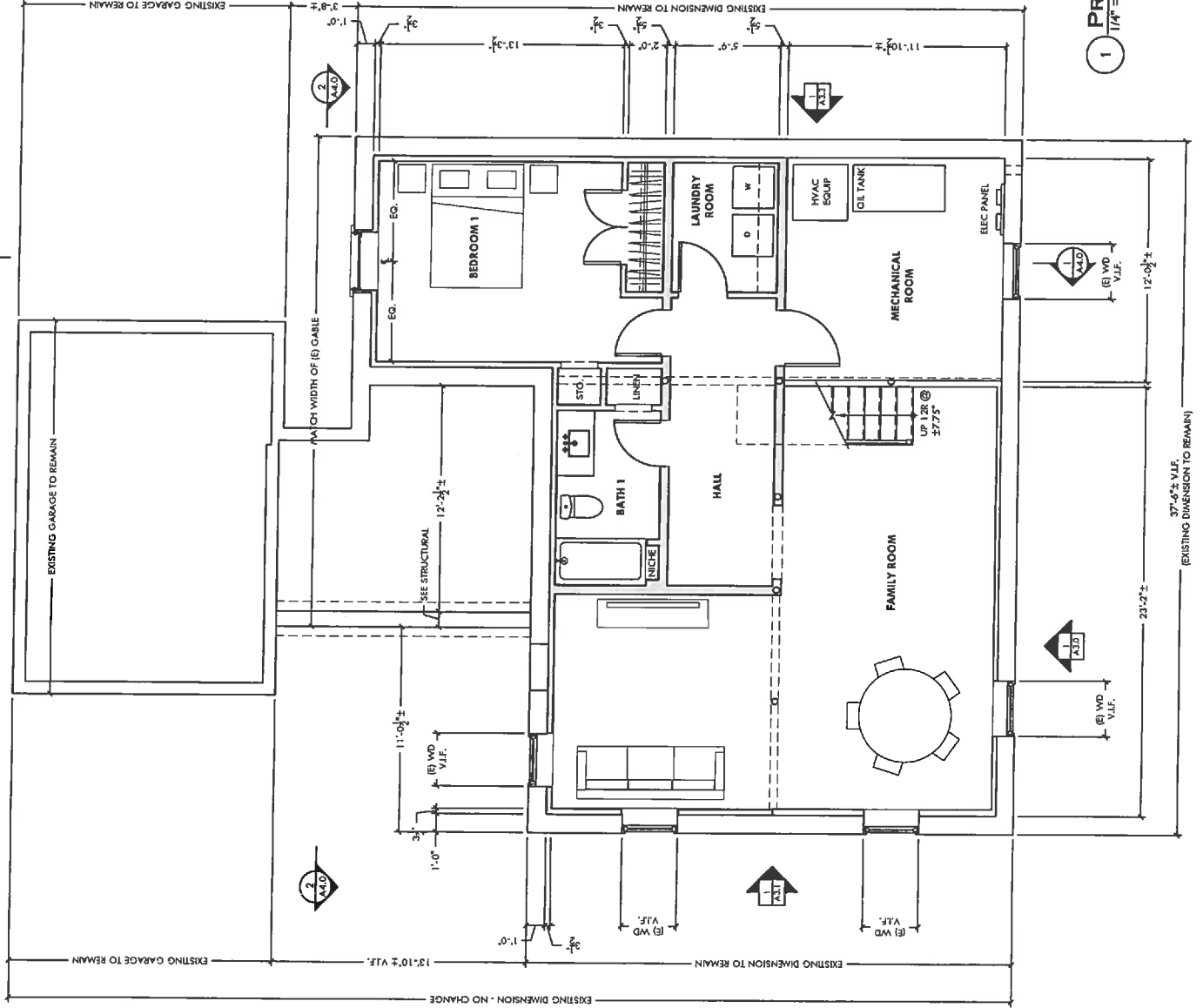
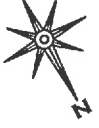
AREA CALCS

CELLAR (EXISTING) = 1127 SF
CELLAR (PROPOSED) = 1127 SF

LEGEND

EXISTING WALL TO REMAIN
NEW WALLS

1 PROPOSED CELLAR PLAN 1/4" = 1'-0"



ISSUE FOR SPECIAL PERMIT

CPD Clifton St.

55 CLIFTON ST.
BELMONT MA 02478

Date: 11/12/18
Revision: Issue for Permit
Special Permit

Scale: AS NOTED

Title: PROPOSED FIRST FLOOR PLAN
Sheet: A1.1

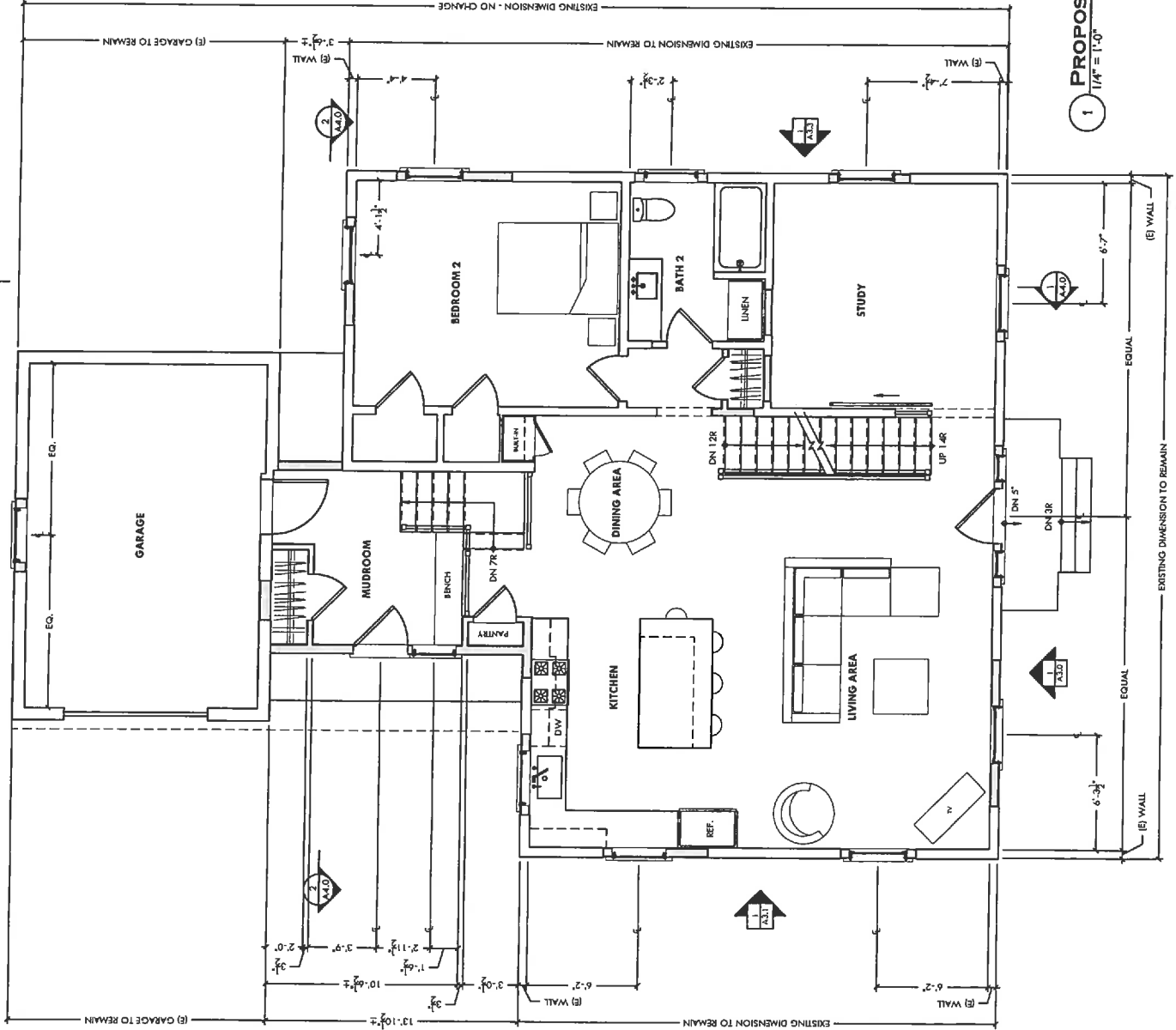
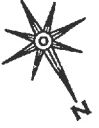
AREA CALCS

FIRST FLOOR (EXISTING) = 1626 SF
FIRST FLOOR (PROPOSED) = 1590 SF

LEGEND

EXISTING WALL TO REMAIN
NEW WALLS

1 PROPOSED FIRST FLOOR PLAN 1/4" = 1'-0"



ISSUE FOR SPECIAL PERMIT

CPD Clifton St.

56 CLIFTON ST.
BELLINGHAM 02478

Revisions:
11/13/18 Issue for Permit
04/04/19 Special Permit

Scale:
1/4" = 1'-0"

Title:
PROPOSED SECOND
FLOOR PLAN
Sheet: A1.2

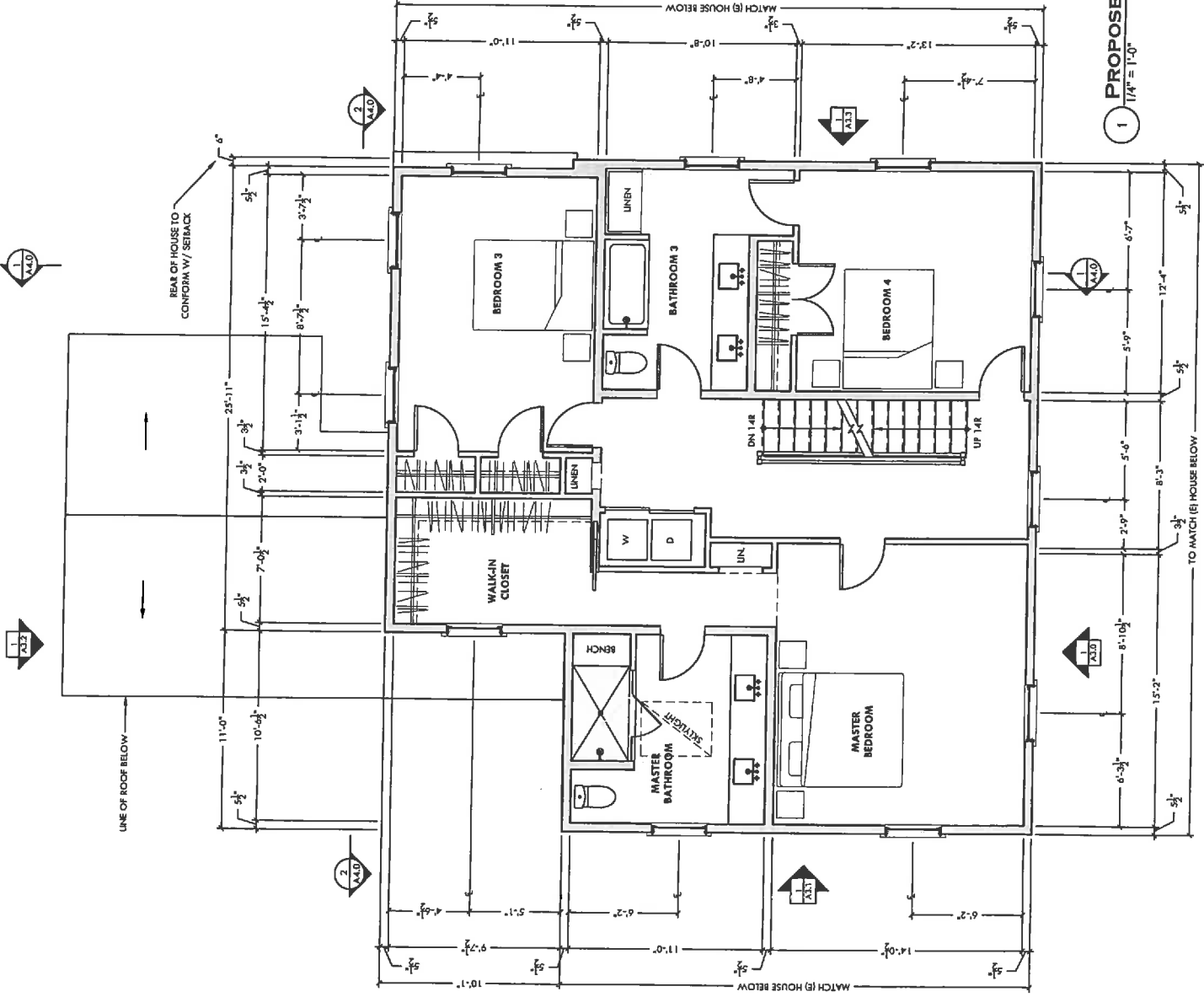
AREA CALCS

SECOND FLOOR (EXISTING) = N/A
SECOND FLOOR (PROPOSED) = 1290 SF

LEGEND

EXISTING WALL TO REMAIN
NEW WALLS

1 PROPOSED SECOND FLOOR PLAN 1/4" = 1'-0"



ISSUE FOR SPECIAL PERMIT

CPD Clifton St.

56 CLAYTON ST.
BELMONT MA 02478

Date:
11/13/18
04/04/19

Scale:
1/8" = 1'-0"
Title:
PROPOSED ATTIC
PLAN
Sheet:
A1.3

1/2 Story Calculations	Allowed	Proposed
Section 1.4 - Story, Half (adj. line of intersection of eave bottom and interior wall surface not to exceed 50% of perimeter of second floor @ 3' AFF)	7'-6"	72'-10"
Section 1.4 - Story, Half (60% of second floor @ 3' head height)	6'-23"	324
Section 1.4 - Story, Half (60% of length of the roofline length of the roofline (Note 3))	38'-1.5"	11'-0"
Section 1.4 - Story, Half (d)	N/A	N/A

Note 1: Perimeter of proposed second floor measured to be approximately 148 feet
Note 2: Length of proposed ridge to be approximately 37'-6"
Note 3: 3' doghouse dormers at approximately 3'-8" wide

AREA CALCS

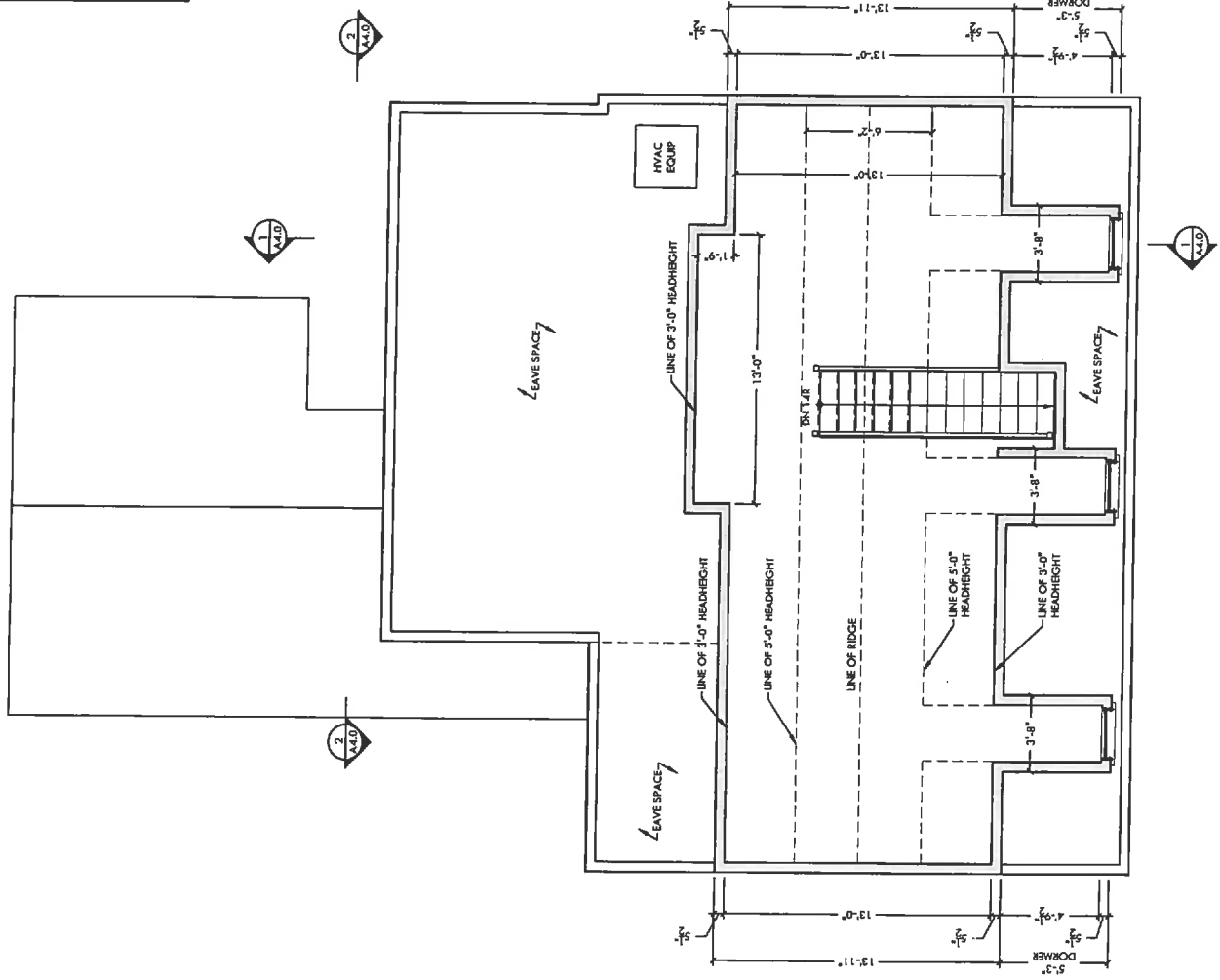
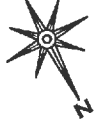
ATTIC (EXISTING) = 544 SF
ATTIC (PROPOSED) = 324 SF
*MEASUREMENTS APPROXIMATED AT 5'-0" HEADHEIGHT, AS PER BELMONT ZONING ORDINANCE

LEGEND

EXISTING WALL TO REMAIN
NEW WALLS

1 PROPOSED ATTIC PLAN

1/4" = 1'-0"



FOLEY FIORE
ARCHITECTURE

216 Cambridge St.
Cambridge, MA 02141
617-252-8092

ISSUE FOR SPECIAL PERMIT

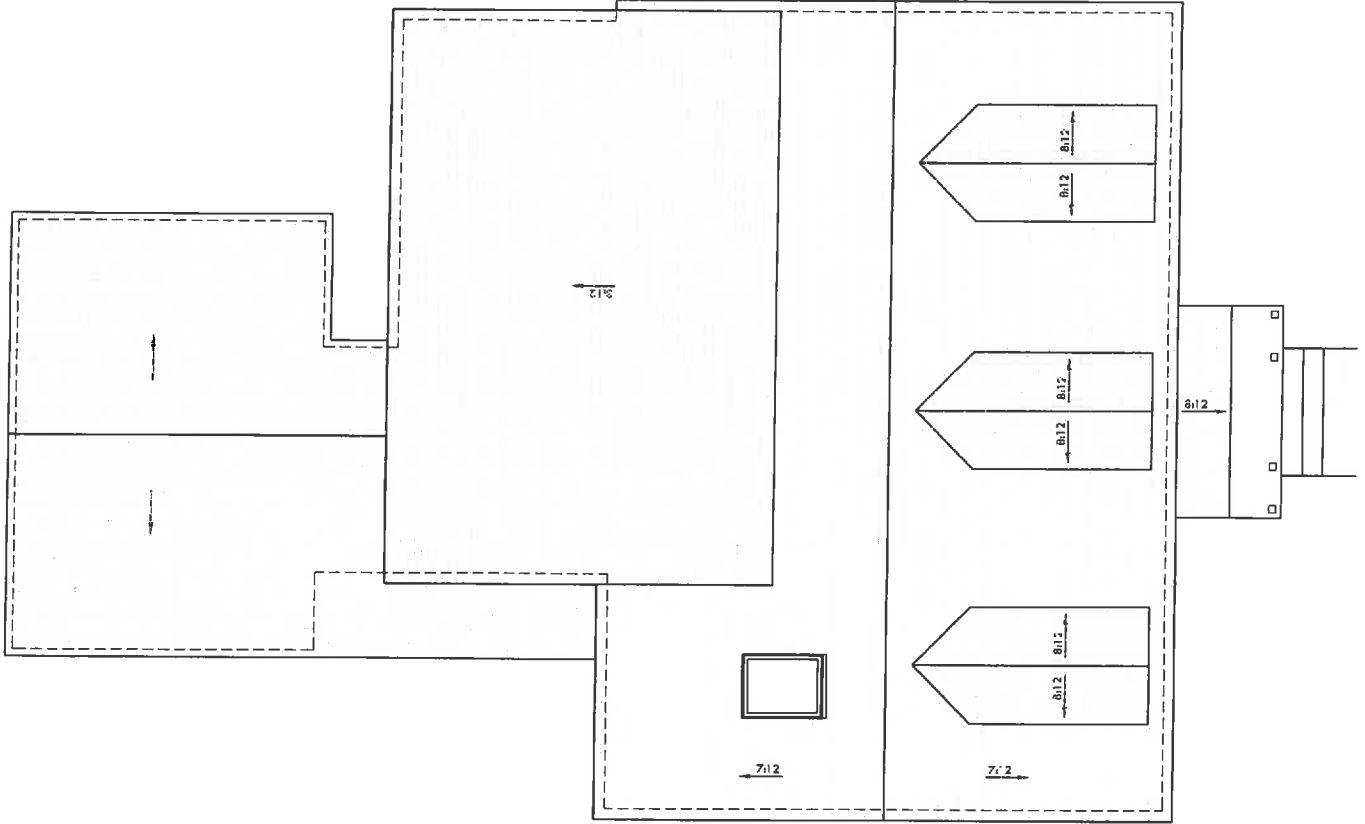
CPD Clapin St.

56 CLAPIN ST.
BELMONT MA 02478

Revised:
11/22/18 Issue for Permit
04/04/19 Special Permit

Scale: 1/4" = 1'-0"

TITLE: PROPOSED ROOF
PLAN
Sheet: A 1.4



LEGEND

EXISTING WALL TO REMAIN
NEW WALLS

1 PROPOSED ROOF PLAN
1/4" = 1'-0"



ISSUE FOR SPECIAL PERMIT

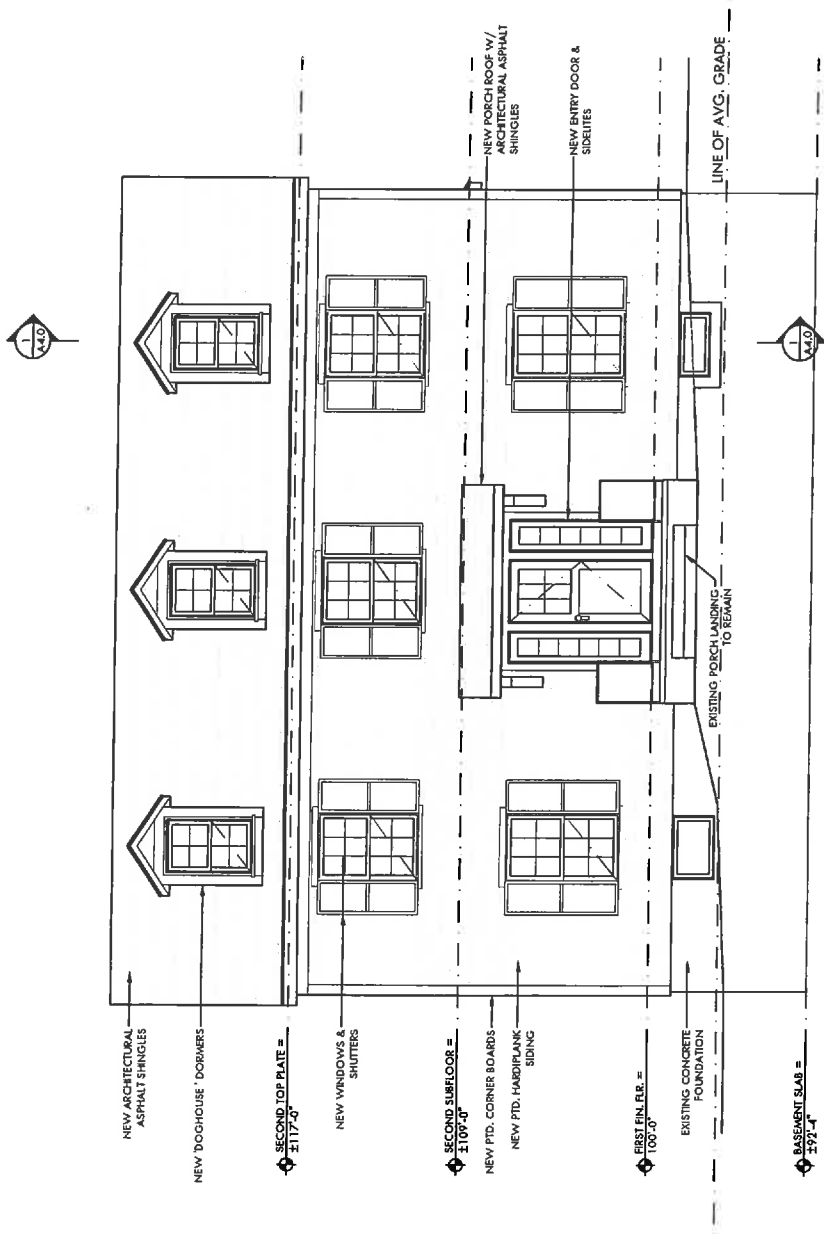
CPD Clifton St.

56 CLARKIN ST.
BELMONT MA 02478

Date: 7.11.18
Revision: Issue for Permit
04.01.19 Special Permit

Scale: AS NOTED

Title: PROPOSED NORTH
ELEVATION
Sheet: A3.0



1 PROPOSED NORTH ELEVATION
1/4" = 1'-0"

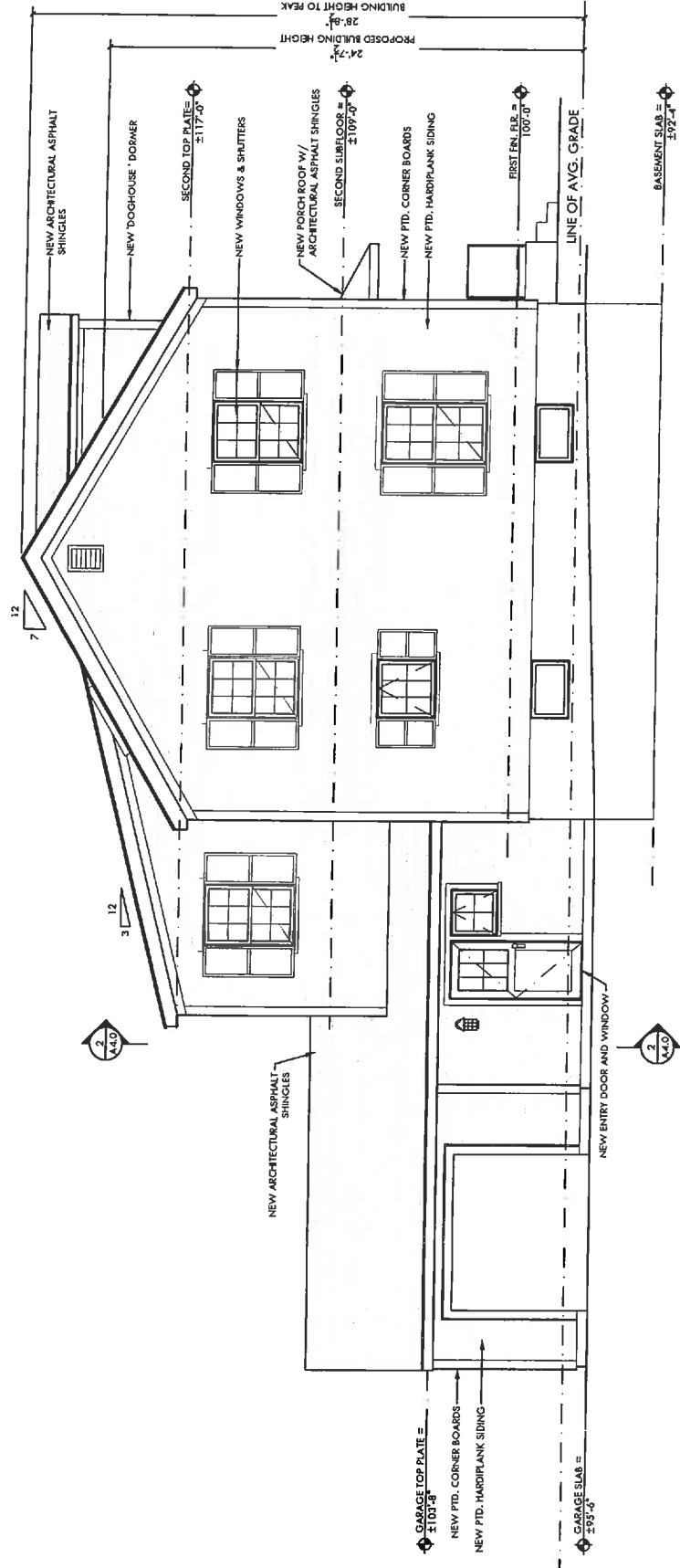
ISSUE FOR SPECIAL PERMIT

CPD Claplin St.

56 CLAPLIN ST.
BELMONT MA 02478

Date: 11/2/18
Revision: Issue for Permit
04/04/19 Special Permit

Scale: AS NOTED
Title: PROPOSED WEST
ELEVATION
Sheet: A3.1



1 PROPOSED WEST ELEVATION
1/4" = 1'-0"

ISSUE FOR SPECIAL PERMIT

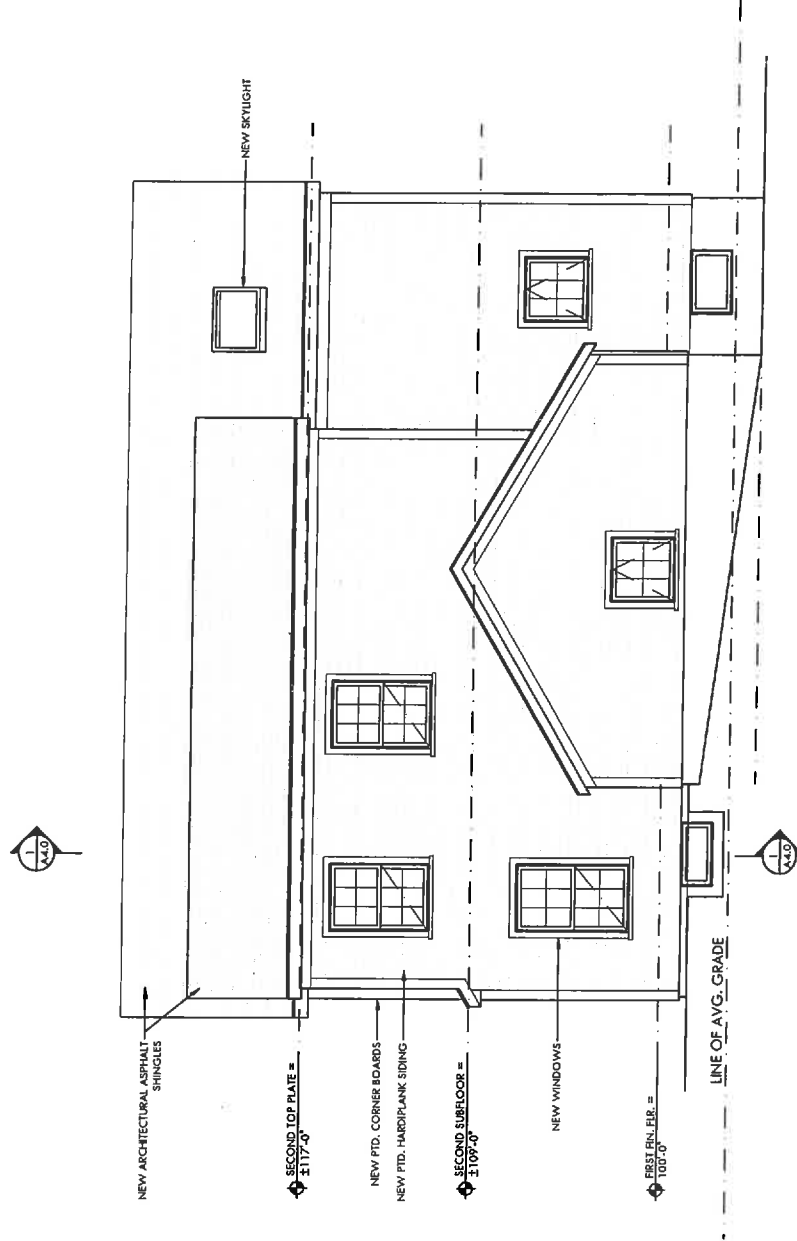
CPD Clifton St.

56 CLARKIN ST.
BELMONT MA 02478

Date: 11.12.16
Revision: Issue for Permit
04.01.19 Special Permit

Scale: AS NOTED
Title: PROPOSED SOUTH
ELEVATION

Sheet: A3.2



1 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

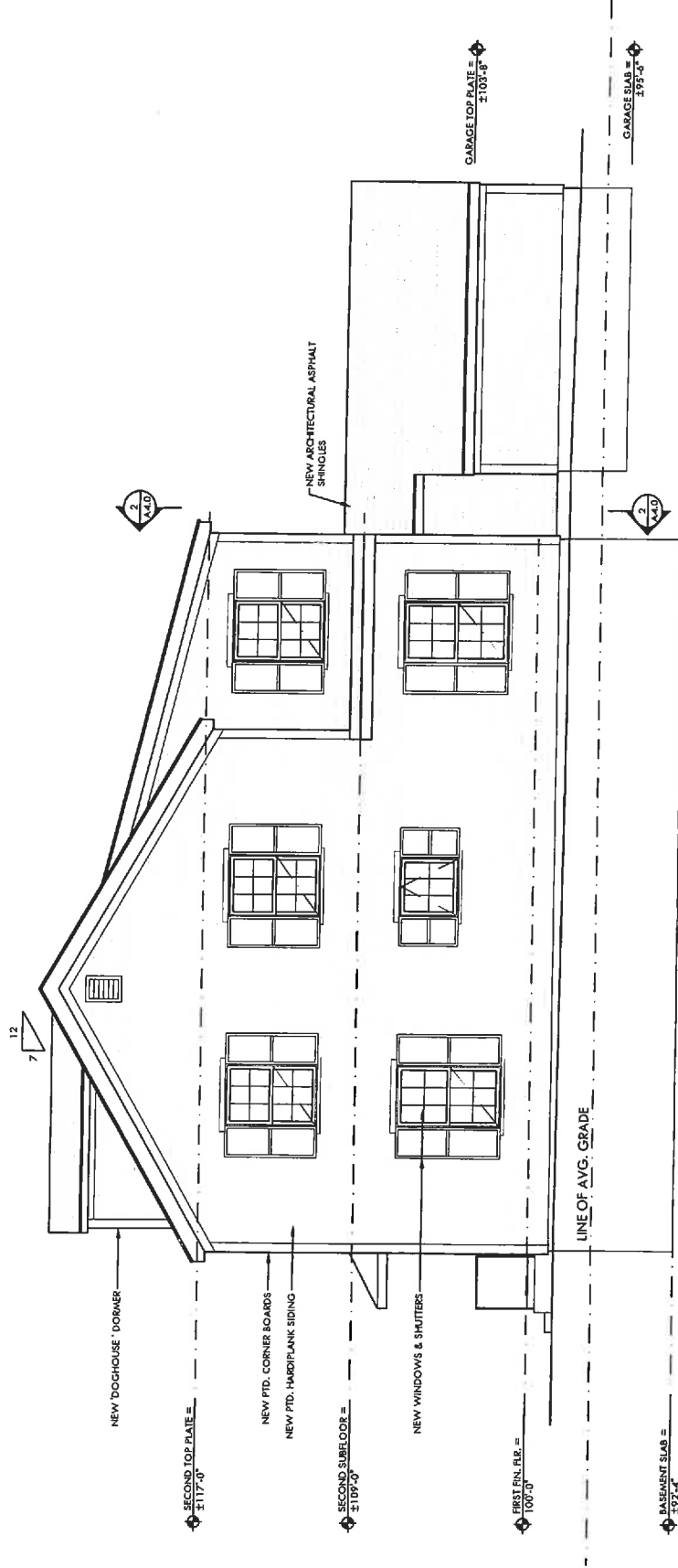
ISSUE FOR SPECIAL PERMIT

CPD Clifton St.

55 CLIFTON ST.
BELMONT MA 02478

Date: 11.22.18
Revisions:
04.04.19 Issue for Permit
Special Permit

Scale: AS NOTED
Title: PROPOSED EAST
ELEVATION
Sheet: A3.3



1 PROPOSED EAST ELEVATION
1/4" = 1'-0"

ISSUE FOR SPECIAL PERMIT

CPD Claffin St.

56 Claffin St.
Bedmont MA 02478

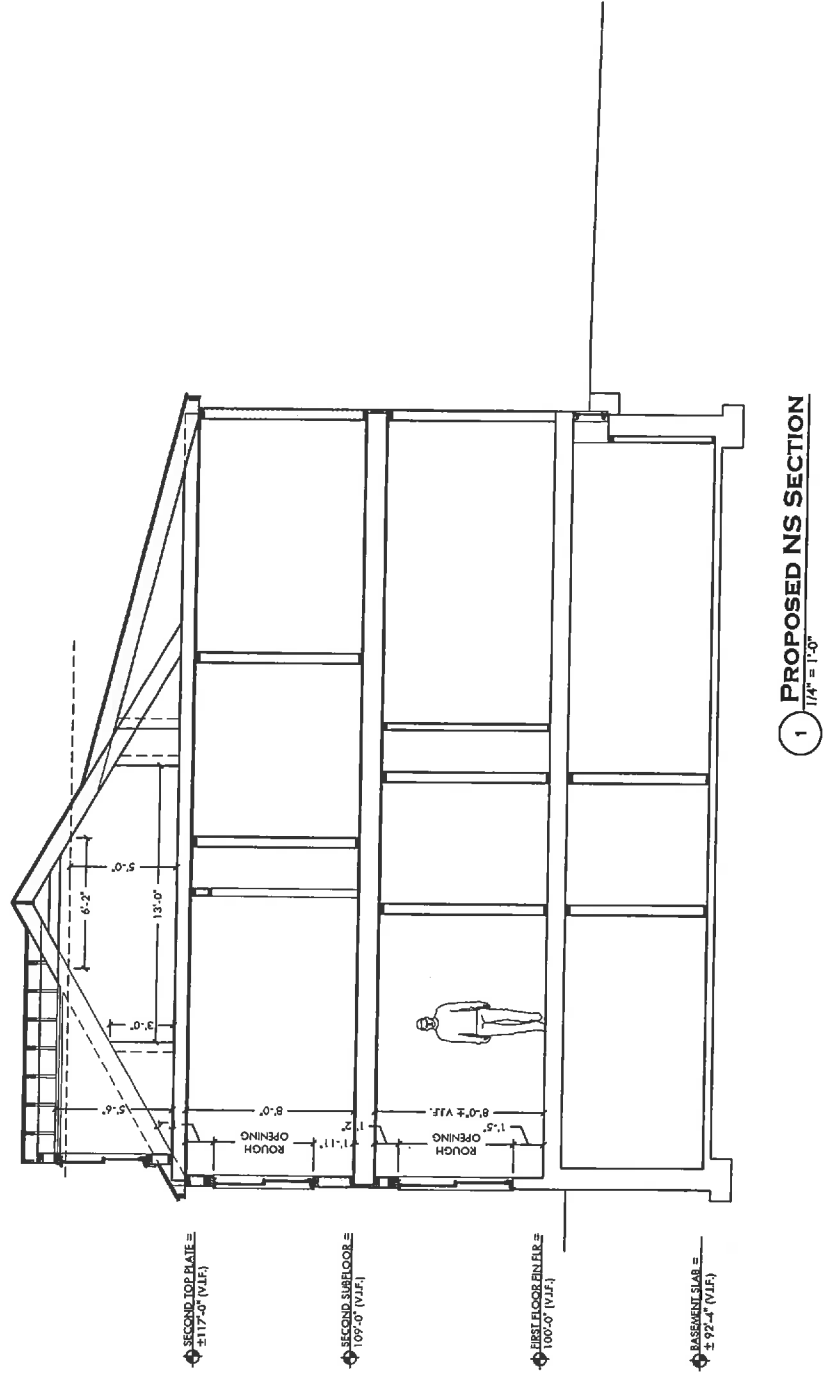
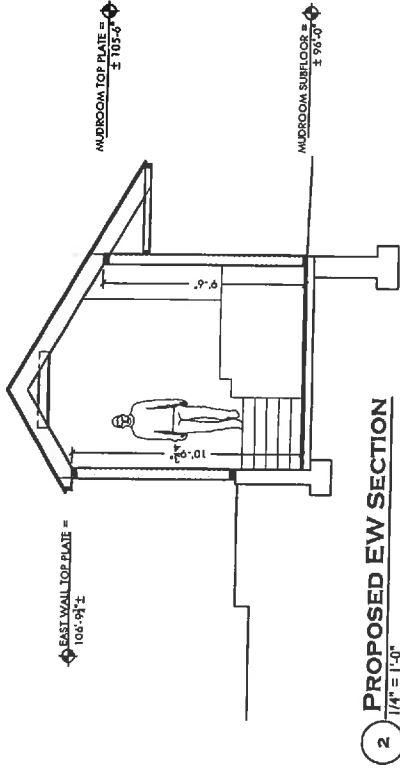
Date:
11.12.18
04.04.19

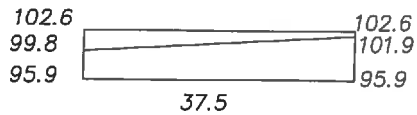
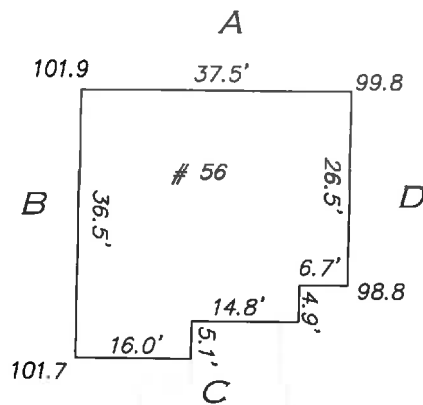
Revision:
Issue for Permit
Special Permit

Scale:
AS NOTED

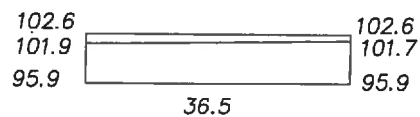
Title:
PROPOSED
CROSS SECTION

Sheet:
A4.0

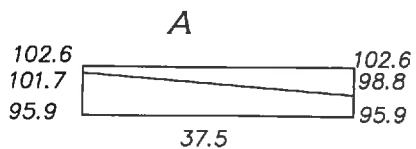




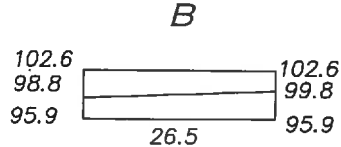
EXPOSED AREA=65.6 S.F.
TOTAL SEGMENT AREA=251.3 S.F.



EXPOSED AREA= 40.1 S.F.
TOTAL SEGMENT AREA=244.6 S.F.



EXPOSED AREA=88.1 S.F.
TOTAL SEGMENT AREA=251.3 S.F.



EXPOSED AREA=87.5 S.F.
TOTAL SEGMENT AREA=177.6 S.F.

$$\frac{\text{EXPOSED AREA}}{\text{TOTAL SEGMENT AREA}} \times 100 = \frac{281.3}{924.8} \times 100 = 30.4\%$$

69.6% OF BASEMENT UNDERGROUND
THEREFOR BASEMENT IS NOT A STORY

BASEMENT CALCULATIONS
56 CLAFLIN STREET
BELMONT MASS.
SCALE: 1" = 20' DECEMBER 4, 2018
Prepared By
EDWARD J. FARRELL
PROFESSIONAL LAND SURVEYOR
110 WINN STREET ~ SUITE 203 ~ WOBURN,
MA.
(781)-933-9012

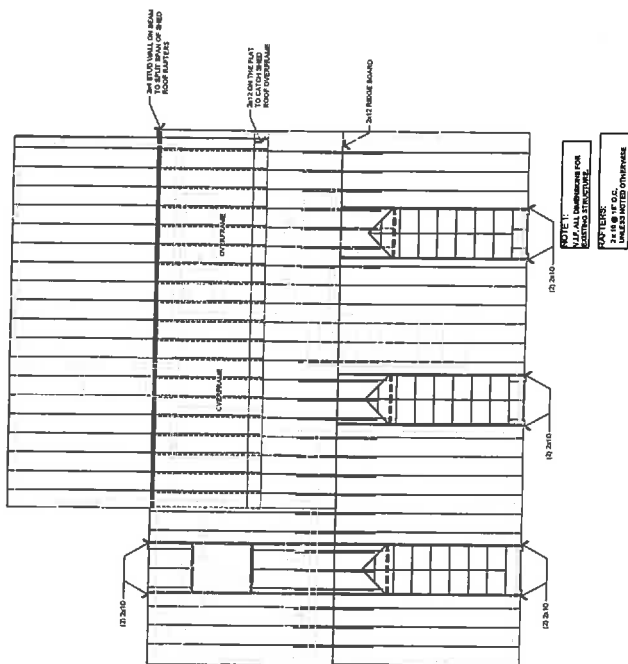
DATE	AS NOTED	BY	REMARKS

R.C. SMITH CONTRACTORS
56 CLAFLIN ST.
BELMONT MA 02478

TESTA TECHNOLOGIES
Structural Engineering

**181 WORCESTER STREET
NATICK, MA 01760
P. 1-508-995-2420**

AT 1005	
	01/03/2019
	02/23/2019
	03/11/2019
	04/02/2019
	04/04/2019



5 ROOF FRAMING PLAN
SCALE: $1/4" = 1'-0"$



DESIGNABLE FOR
STRUCTURE

DOING JACKS
AND STUD
AND OTHERWISE

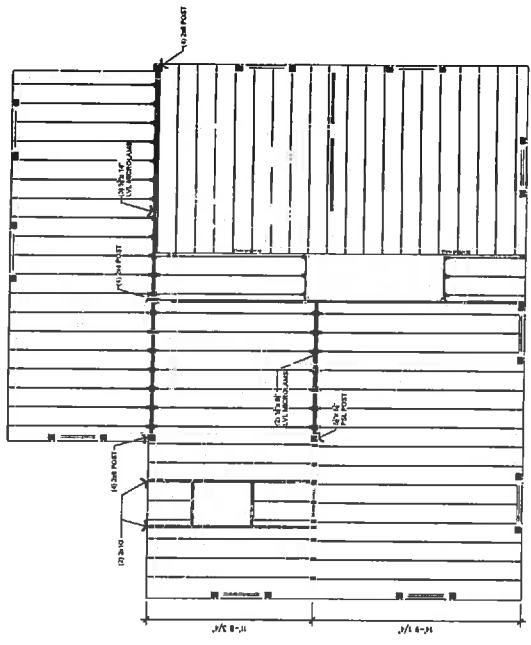
4 THIRD FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

IF ALL DIMENSIONS FOR EXISTING STRUCTURE.

HEADERS:

(2) 2x8 W/ DOUBLE JACKS AND SINGLE KING STUD UNLESS NOTED OTHERWISE

ALL FLOOR JOINTS TO BE 2x10 UNLESS NOTED OTHERWISE



S.1



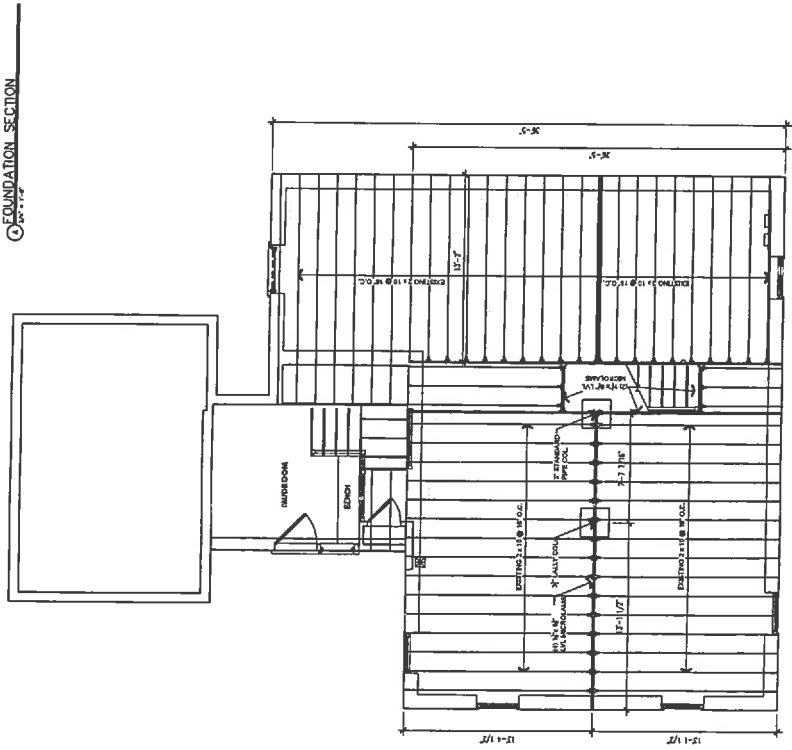
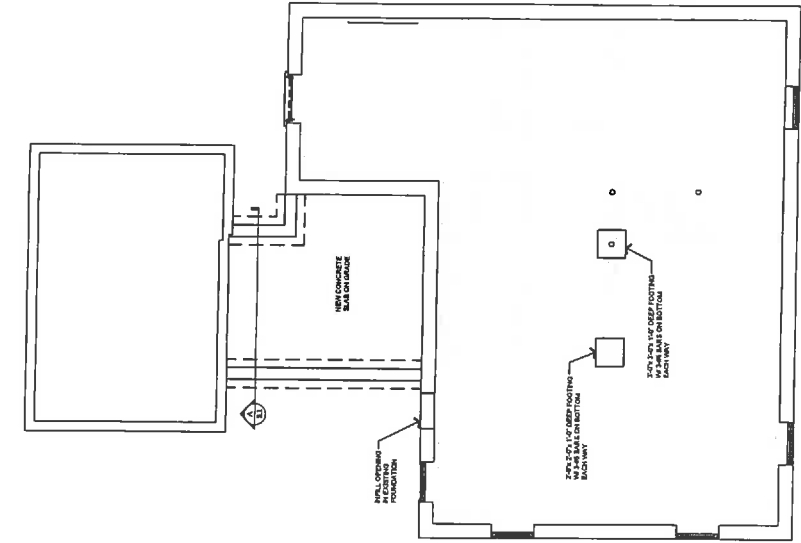
NOTE: 1. Dimensions for existing structure.

EXISTING FOUNDATION
NEW FOUNDATION

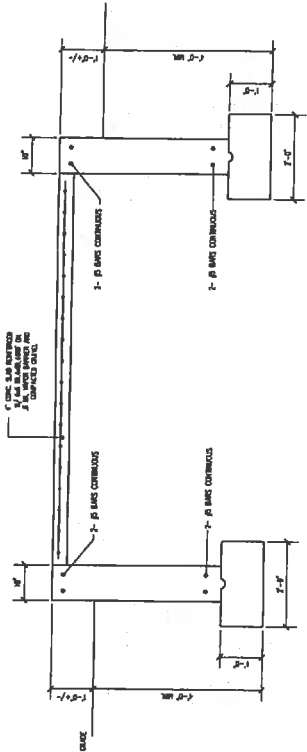
1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

NOTE: 1. Dimensions for existing structure.

2 FIRST FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



FOUNDATION SECTION
SCALE: 1/4" = 1'-0"



FOOT NOTES
R.C. SMITH CONTRACTORS
56 CLAPLIN ST.
BELMONT MA 02478

FOUNDATION &
FIRST FLOOR
FRAMING PLAN

DATE	DESCRIPTION
01/04/2018	AS NOTED
02/28/2018	REVISIONS
03/14/2018	REVISIONS
04/02/2018	REVISIONS
04/02/2018	REVISIONS
01/04/2018	REVISIONS
02/28/2018	REVISIONS
03/14/2018	REVISIONS
04/02/2018	REVISIONS
04/02/2018	REVISIONS

USA ENGINEERING
181 WORCESTER STREET
WATUCK, MA 01567
TEL: 508-252-2525

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CPD Clifton St.

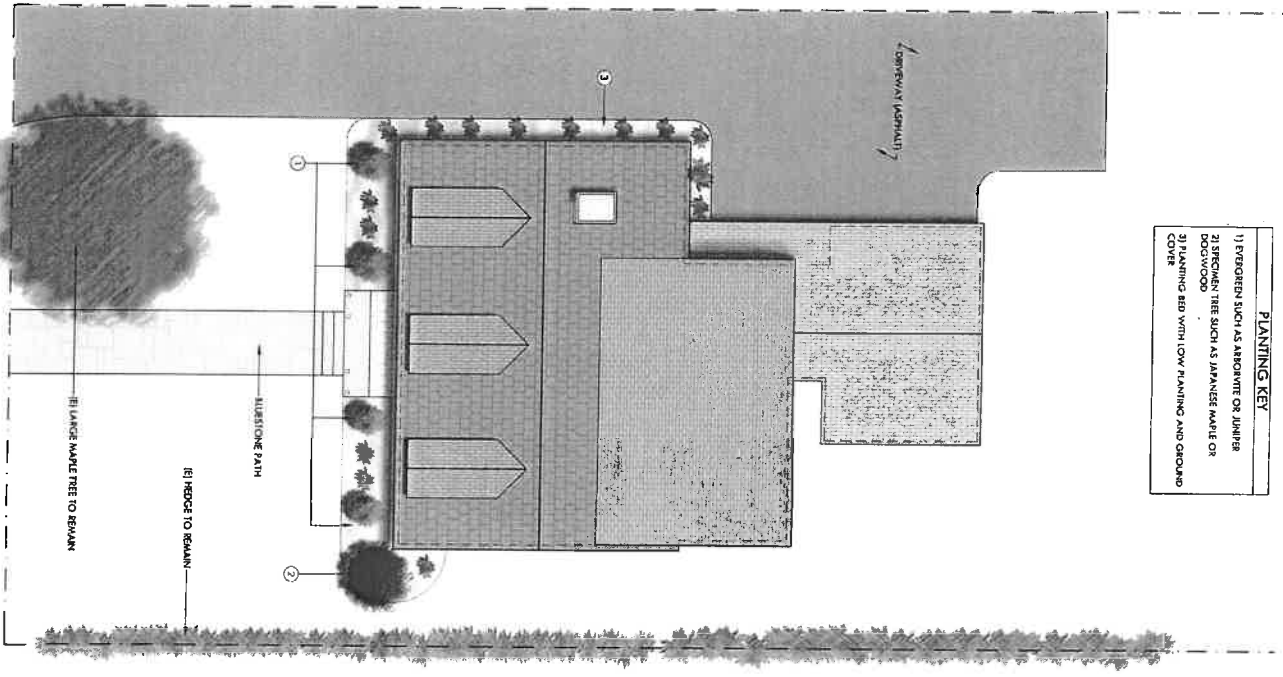
56 CLIFTON ST.
BURLINGTON, MA 02478

Date: 11/2/14
Revised: 04/04/15
Drawn by: [Name]
Special Permit

Scale:
1/8" = 1'-0"

Title:
PROPOSED LANDSCAPE
PLAN
Sheet: L1.0

PLANTING KEY	
1)	PERGOLETS SUCH AS ARBORETE OR JUNIPER
2)	SPECIMEN TREE SUCH AS JAPANESE WHITE OAK
3)	PLANTING BED WITH LOW PLANTING AND GROUND COVER



1 PROPOSED LANDSCAPE PLAN
1/8" = 1'-0"

