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BELMONT, MA

Case #19-07

2019 APR 11 AM 11:27

NOTICE OF PUBLIC HEARING BY THE
PLANNING BOARD
ON APPLICATION FOR A SPECIAL PERMIT

Notice is hereby given that the Belmont Planning Board will hold a public hearing on **TUESDAY, MAY 7, 2019, at 7:00 PM** in the **Board of Selectmen's Meeting Room, Town Hall, 455 Concord Ave.**, to consider the application of **JAIME MURPHY AND SABRINA TAN** for a SPECIAL PERMIT under Section 1.5.4 A of the Zoning By-Laws to ALTER A NONCONFORMING STRUCTURE (required: front setback – 20', side setback – 10'; existing: front setback – 8.6', side setback – 5.3'; proposed: front setback – 9.3', side setback – 5.2') **IN ORDER TO INCREASE THE SIZE OF THE STRUCTURE BY MORE THAN 300 SF at 22 CLYDE STREET** located in a General Residence Zoning District.

Planning Board



Town of Belmont
Planning Board

COMMUNITY
DEVELOPMENT
APR 11 2019

APPLICATION FOR A SPECIAL PERMIT

Date: 2/4/2019

Planning Board
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Law of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 22-24 Clyde Street Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for Rear addition and dormer

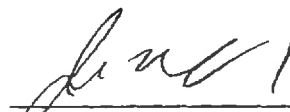
on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner

Print Name

Address

Daytime Telephone Number


Jaime Murphy

17 Harding Ave

Belmont, MA 02478

617 899-8596 / 617 899-4968


Chen S Tan

August 20, 2014

Request for Special Permit

Submitted by Jaime Murphy and C. Sabrina Tan
Owners of
22-24 Clyde St, Belmont MA, 02478

February 1, 2019

Dear Board Members,

We first moved to Belmont in 2008. We have lived in our condo at 17 Harding Avenue in the Cushing Square section of Belmont for the past 11 years. Knowing little about Belmont when we first moved here, the past 11 years has taught us much about this community. When we moved here, it was just the 2 of us, since then we have had 3 children who are now 10, 8, and 6-year-old boys. One cannot have children and raise them in a town like Belmont and not come to love this community, which is why we have always demonstrated a strong commitment to supporting this Town. We are both physicians in academia, and professors at Harvard and Boston University. Despite our demanding jobs, we have devoted time to serving our community. Sabrina ran KidSpace, the children's cooperative in-door playground at the Payson Park church for 4 years. She currently coaches our 8- and 6-year old's soccer team for Second Soccer and has served as the VP of fundraising at the Butler PTA for the past 3 years. She also started ran a book club for Belmont Moms for the last 8 years. Jaime coaches the 4th grade Travel Soccer team. He is also the Pack Master of Pack 384, which covers all CubScout activity and members for the Butler and Wellington half of Belmont, and serve as a Town Meeting Member for Precinct 5.

Now that our family has grown, we find it straining in our current condo. Given our commitment to this community, we have been searching for a single family that was large enough to not only accommodate our family of 5 as well as our frequent guests. Sabrina's parents are in their mid-seventies and live in Chicago, they visit their grandkids frequently, and as they get on in years, we need to look forward to a home which may need to accommodate them full time as well. - As such, we have been looking for such a home in Belmont. The simple truth is that with the limited inventory in Belmont we simply cannot afford the type of home that would fit our needs. Given our desire to remain in this community we started to explore other means.

We have owned the property at 22-24 Clyde Street in Belmont since 2012. It is a very modest 2-family in a neighborhood of mixed 1 and 2 family homes. The proposal before the board is one which would effectively convert this property to a single-family home. We

are proposing a rear addition, essentially enclosing the rear 2 story porch and raising the ridge line to add a modest dormer. The additions and alterations will not increase any existing non-conformity regarding setbacks. The proposed work also complies with all current zoning requirements regarding building height, basement definition, lot coverage ratio and all 2 1/2 story requirements outlined in the town bylaws. We would remove the Bulky 2 story front porch and the aluminum siding. This would result in a much more aesthetically pleasing exterior consistent with typical New England architecture and in keeping with the character of the neighborhood. We are asking the planning board of appeals to grant us a special permit for this proposed alteration.

Houses in the Neighborhood

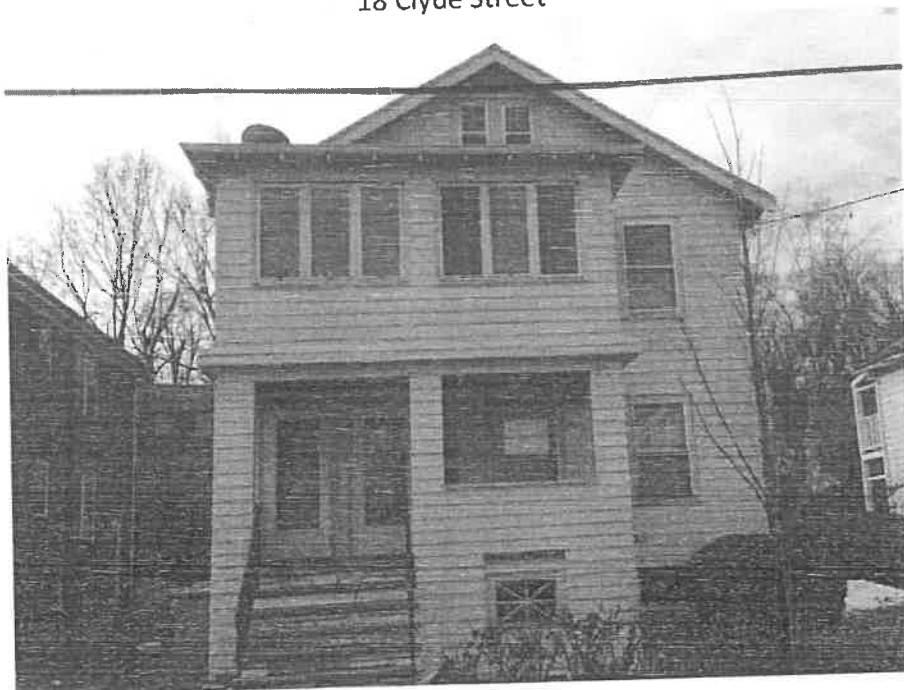
9 Clyde Street



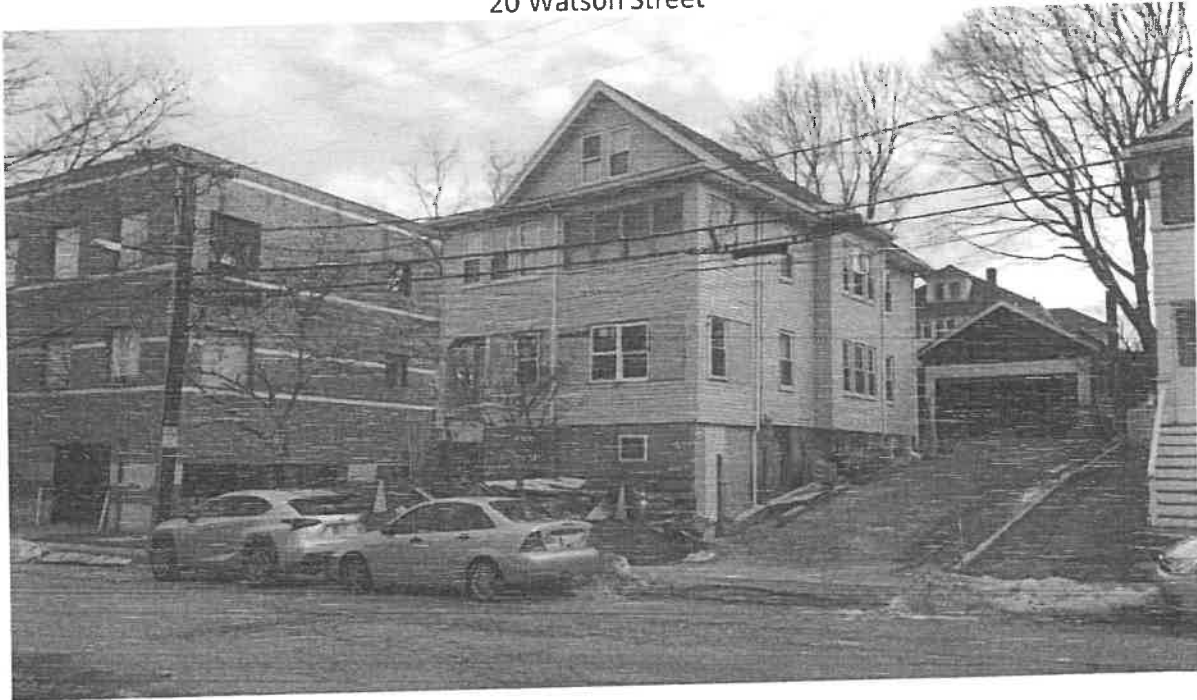
15 Clyde Street



18 Clyde Street



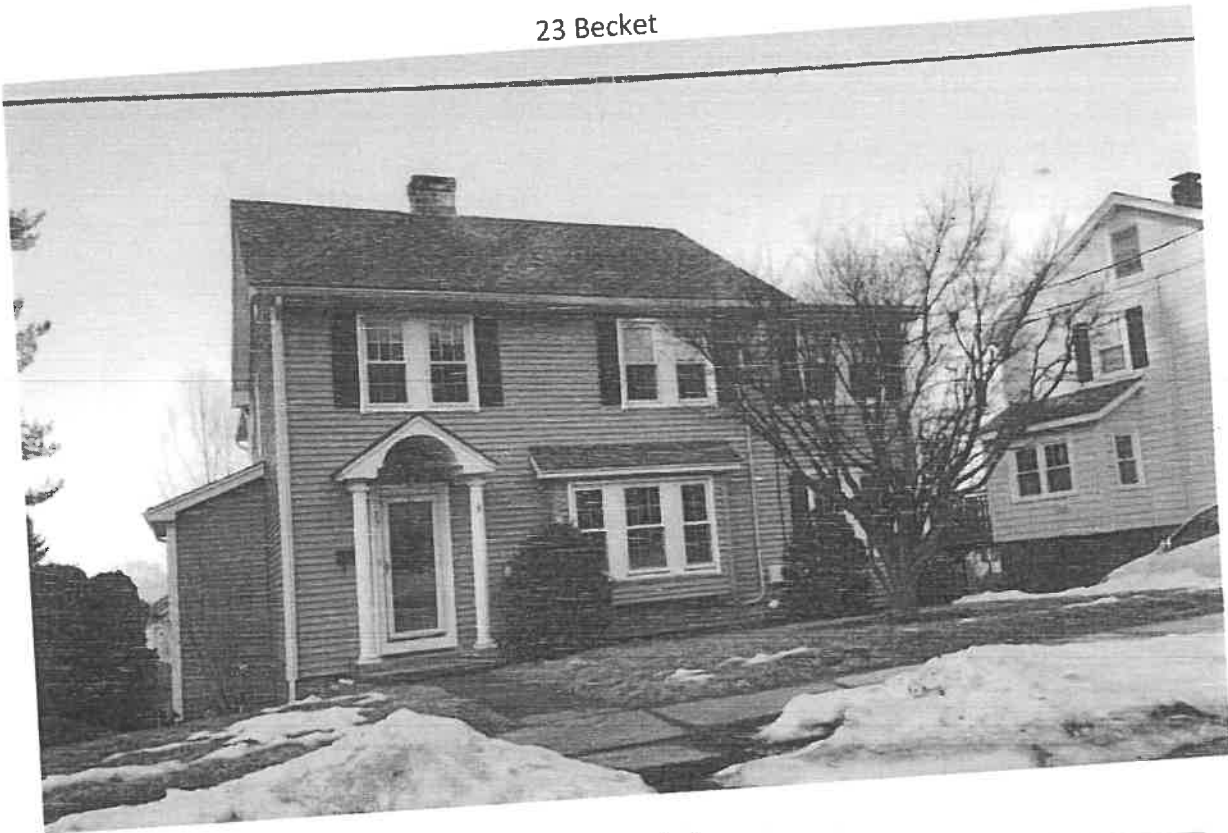
20 Watson Street



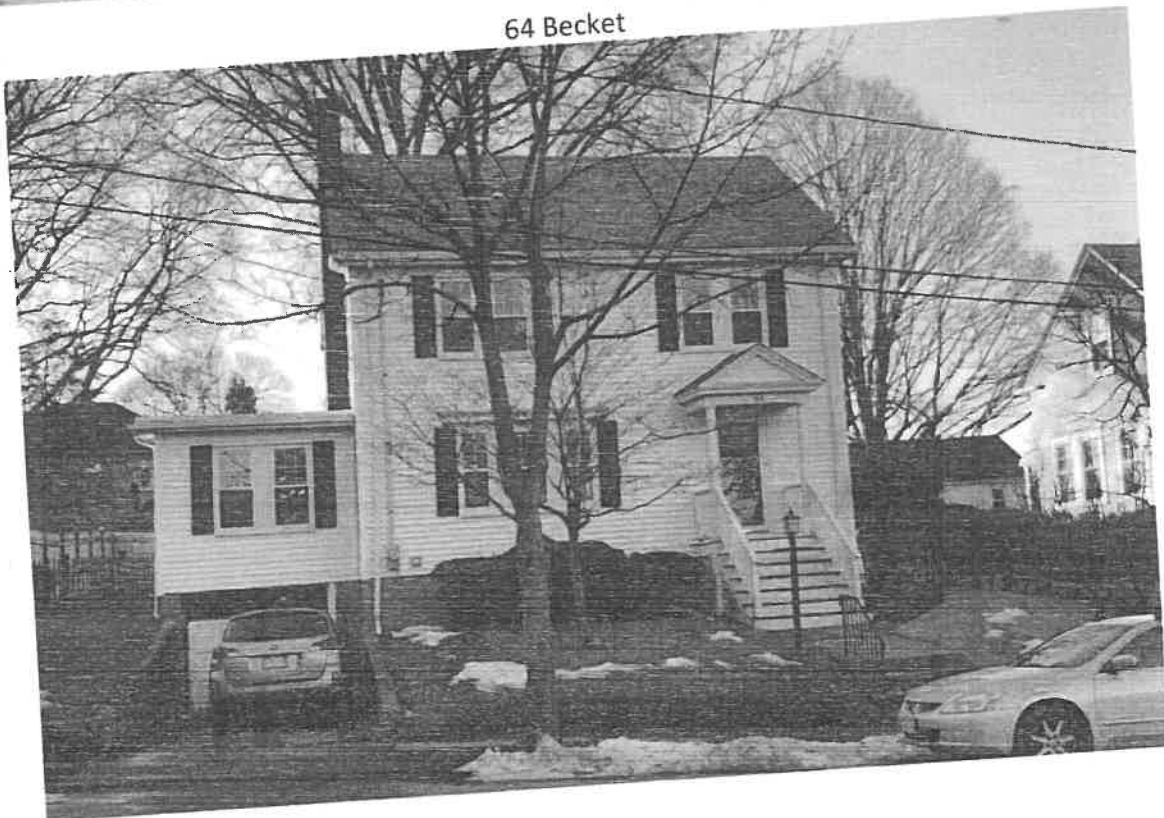
23 Clyde Street



23 Becket



64 Becket



38 Clyde





OFFICE OF COMMUNITY DEVELOPMENT
TOWN OF BELMONT

19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2664
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

January 10, 2019

Jaime Murphy and Chen Tan
22-24 Clyde Street
Belmont, MA 02478

RE: Denial to Construct Front open Porch, a Dormer and a Two Story Rear Addition

Dear Mr. Jaime and Ms. Chen:

The Office of Community Development is in receipt of your building permit application for the construction of a front open porch, a dormer and a two story rear addition located in a General Residence (GR) Zoning District.

Your application has been denied because it does not comply with the Zoning By-Law. More specifically, 1. Section 1.5.4 A of the Zoning By-Law allows extensions or alteration exceeding 300 square feet to non-conforming structures in the GR zoning district by a Special Permit from the Planning Board, 2. Minimum required front setback is 20.0' and 3. Minimum required side setback is 10.0'.

1. The proposed changes to the structure are allowed by a Special Permit.
2. The existing front setback is 8.6' and the proposed is 9.3'.
3. The existing side setback is 5.3' and the proposed is 5.2'.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request three (3) Special Permits from the Planning Board. If you choose this option, please contact the Office of Community Development to schedule an appointment with Jeffrey Wheeler, Senior Planner at (617) 993-2650 in order to begin the process.

Sincerely,

Glenn R. Clancy, P.E.
Inspector of Buildings

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A10	EXISTING AND PROPOSED LEFT ELEVATIONS

SCOPE OF WORK:

CONVERT TWO FAMILY HOME TO A SINGLE FAMILY HOME.
FINISH PART OF THE ATTIC PER BELMONT ZONING
REQUIREMENTS

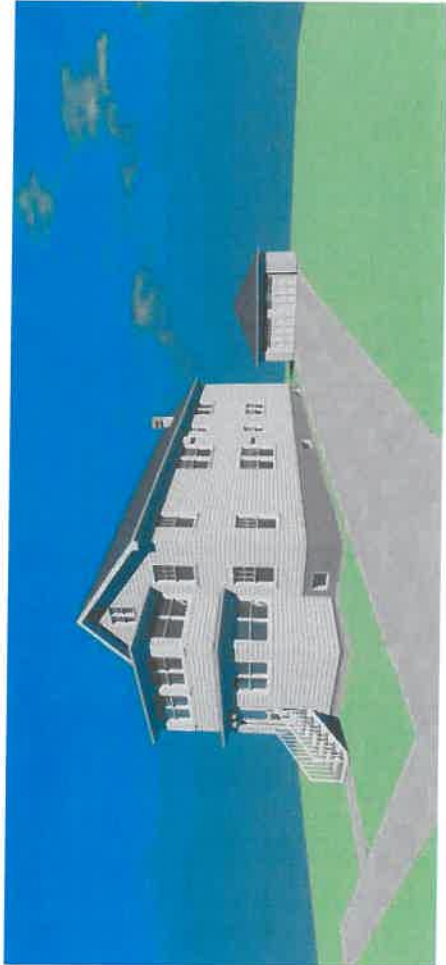
NOTE:

THESE PLANS ARE SCHEMATIC DESIGN ONLY AND DO NOT
CONTAIN ENOUGH INFORMATION FOR PULLING A PERMIT.
CONSTRUCTION DRAWINGS TO FOLLOW ONCE THE
SCHEMATIC DESIGN IS APPROVED BY THE CLIENTS.

DESIGN BUILD CONTRACTOR:

**DISHINGTON
CONSTRUCTION INC.**
Design - Build - Remodel

THE RENDERINGS ARE FOR VISUALIZATION PURPOSES ONLY - MAY DIFFER SLIGHTLY FROM ACTUAL



EXISTING FRONT RIGHT RENDERING



PROPOSED FRONT RIGHT RENDERING

**PROPOSED SITE: 22 CLYDE STREET
BELMONT, MA 02478**

DESIGN BUILD

**DISHINGTON
CONSTRUCTION INC.**
200 N. Main Street
Natick, MA 01750
(888) 794-2350
dishingtonconstruction.com

These plans are
schematic design only
and do not contain
enough information for
pulling a permit. The
client must obtain a
building permit from the
local authority having
jurisdiction over the
project. The client must
follow once the
schematic design is
approved by the client.

These schematic design
plans are not to be used
for construction. The
client must obtain a
building permit from the
local authority having
jurisdiction over the
project. The client must
follow once the
schematic design is
approved by the client.

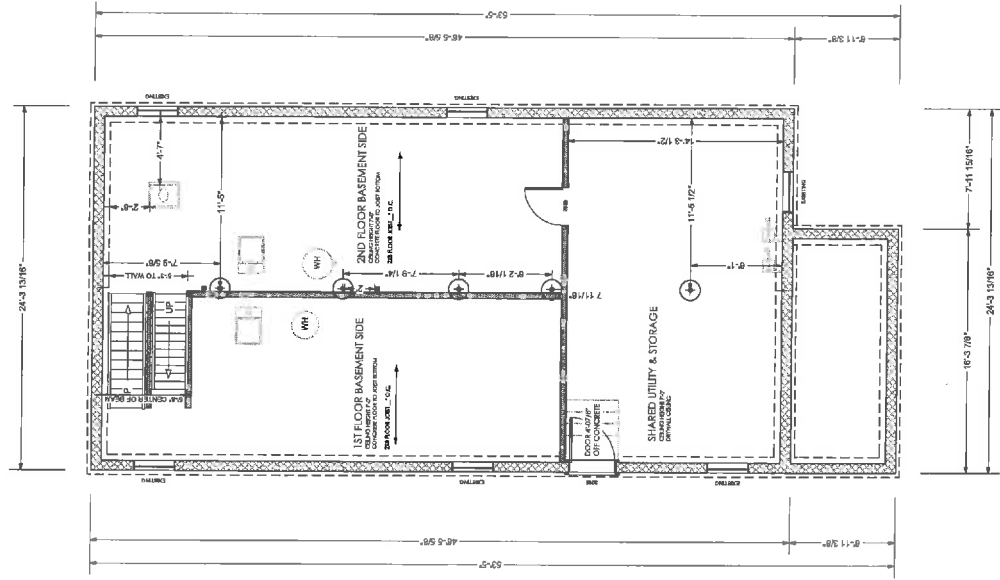
TITLE PAGE

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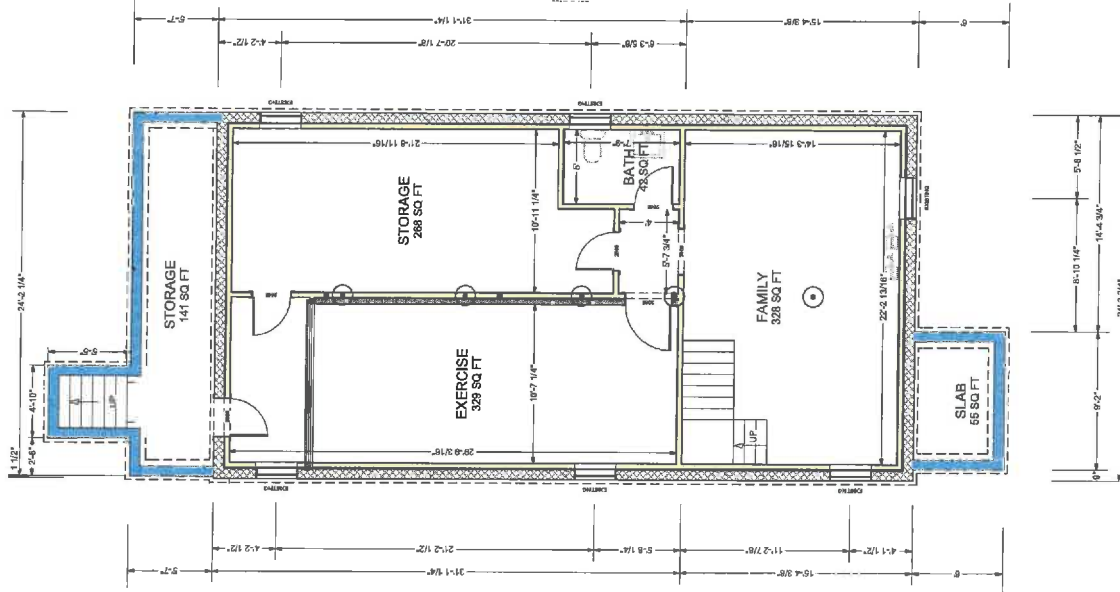
PROJECT ADDRESS:
22 CLYDE STREET
BELMONT, MA 02478
REV DATE: 3/5/2019

SHEET:
A1

DIMENSIONS :
 -ALL EXISTING INTERIOR DIMENSIONS ARE FROM SURFACE TO SURFACE
 -ALL EXISTING EXTERIOR DIMENSIONS ARE TO EXTERIOR WALL SURFACES
 -ALL PROPOSED DIMENSIONS ARE TAKEN FROM STUD TO STUD



A EXISTING FOUNDATION PLAN
 SCALE: 1/8" = 1'-0"



B PROPOSED FOUNDATION PLAN
 SCALE: 1/8" = 1'-0"

DESIGN BUILD
DIAMOND CONSTRUCTION INC.
 200 N. Main Street
 Natick, MA 01760
 (866) 764-3300
 diamondconstruction.com

These plans are schematic design only and do not contain enough information for construction drawings to follow once the design is approved by the client.

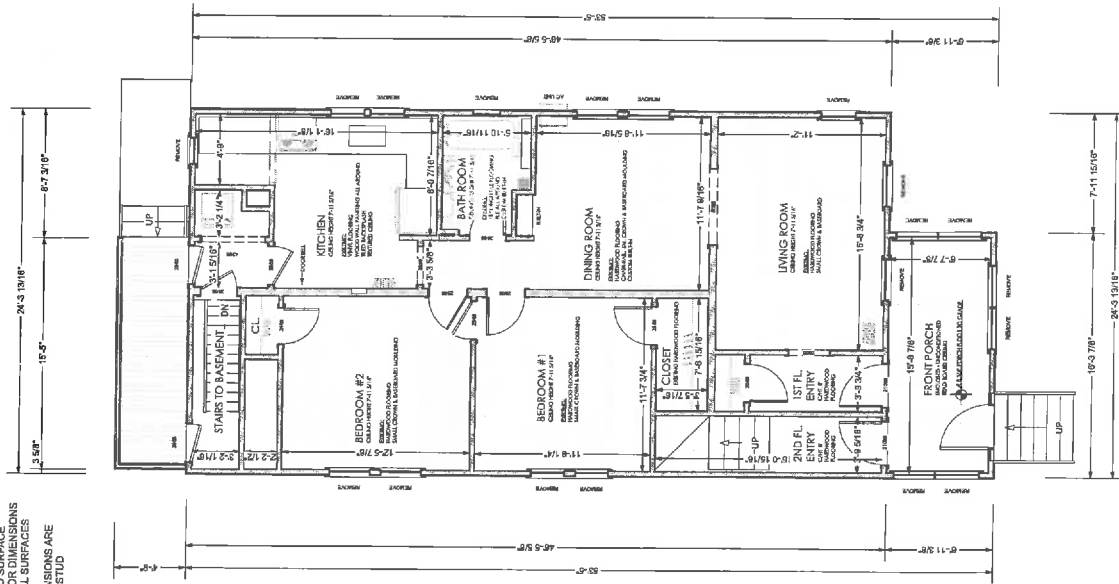
These schematic design drawings are not to be used for construction or for any other purpose without the express written consent of Diamond Construction.

EXISTING AND PROPOSED FOUNDATION PLANS
 SHEET TITLE:

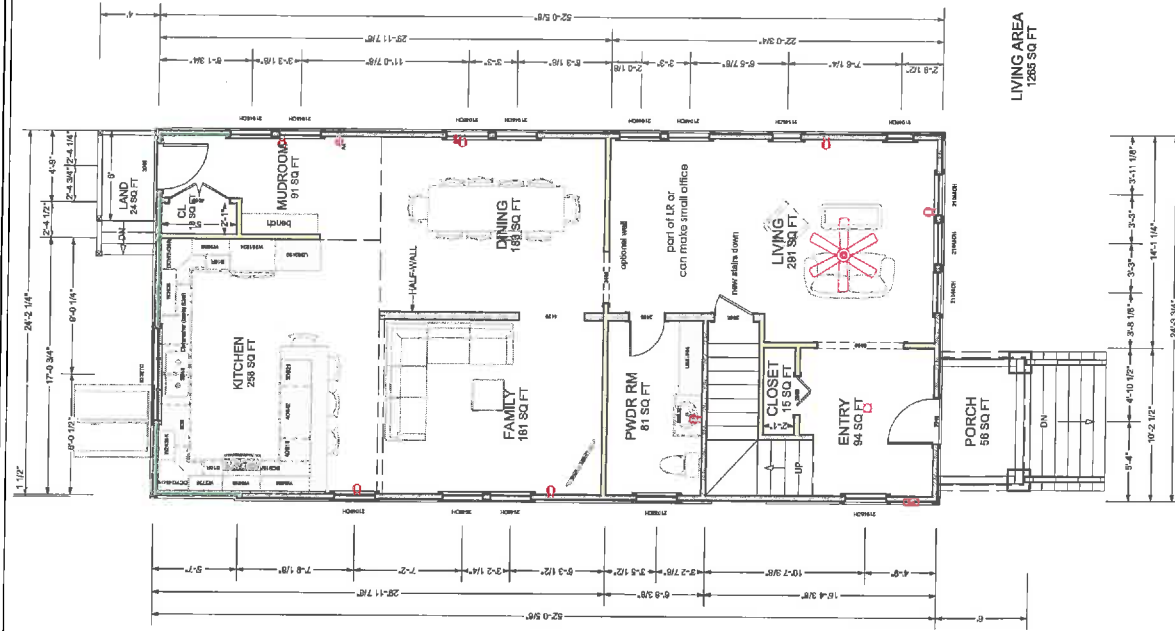
PROJECT ADDRESS:
 22 CLYDE STREET
 BELMONT, MA 02478
REV DATE: 3/5/2019

SHEET:
A2

DIMENSIONS:
 -ALL EXISTING INTERIOR DIMENSIONS
 -ALL EXISTING EXTERIOR DIMENSIONS
 -ALL EXISTING EXTERIOR WALL SURFACES
 -ALL PROPOSED DIMENSIONS ARE
 TAKEN FROM STUD TO STUD



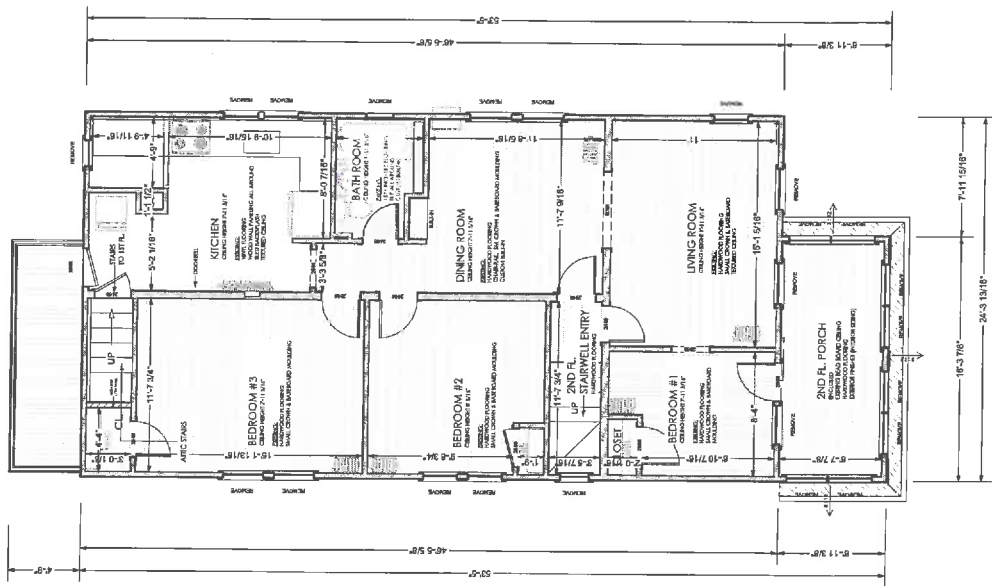
A EXISTING FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"



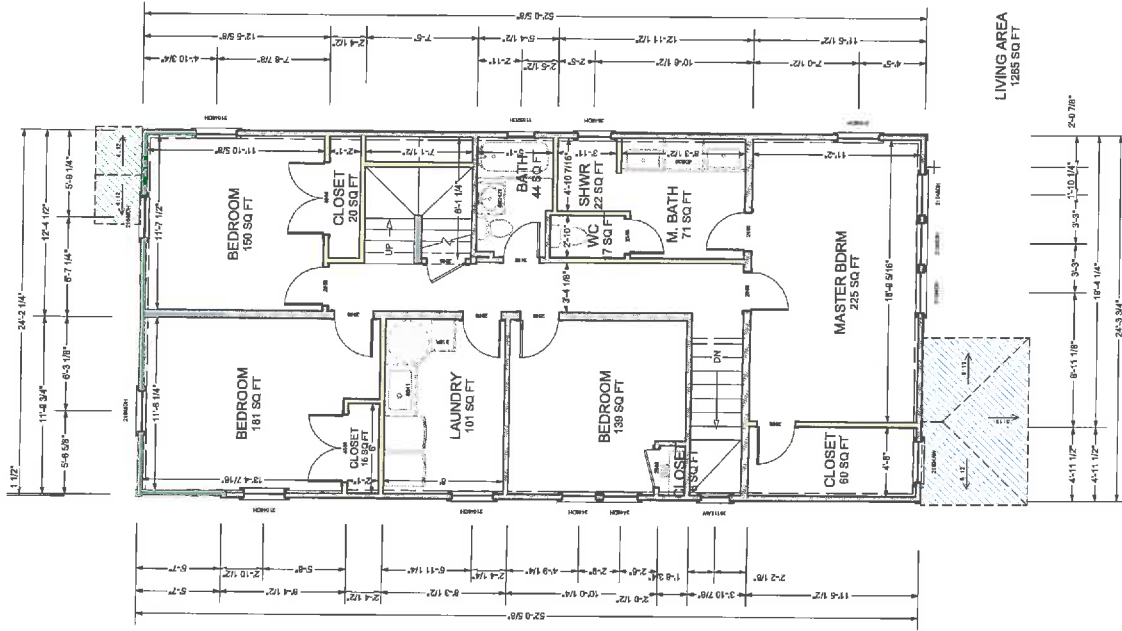
B PROPOSED FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

DESIGN BUILD DELINTECH CONSTRUCTION INC. 385 N. Main Street Belmont, MA 02458 (860) 764-3330 info@delintechconstruction.com	These plans are schematic and are not to be used for construction without the approval of the architect. They are not to be used for construction without the approval of the architect.	These schematic design drawings are property of Delintech Construction Inc. and may not be distributed, copied, or used in any way without the written consent of Delintech Construction.	SHEET TITLE: EXISTING AND PROPOSED FIRST FLOOR PLANS	PROJECT ADDRESS: 22 CLYDE STREET BELMONT, MA 02478	REV DATE: 3/5/2019	SHEET: A3
				PROJECT ADDRESS: 22 CLYDE STREET BELMONT, MA 02478		

DIMENSIONS:
 - ALL EXISTING INTERIOR DIMENSIONS
 - ALL EXISTING EXTERIOR DIMENSIONS
 - ALL EXISTING WALL SURFACES
 - ALL PROPOSED DIMENSIONS ARE
 TAKEN FROM STUD TO STUD



A EXISTING SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"



B PROPOSED SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

DESIGN BUILD
 CONSTRUCTION INC.
 200 N. Main Street
 North, MA 02478
 (978) 764-3350
 designbuildconstruction.com

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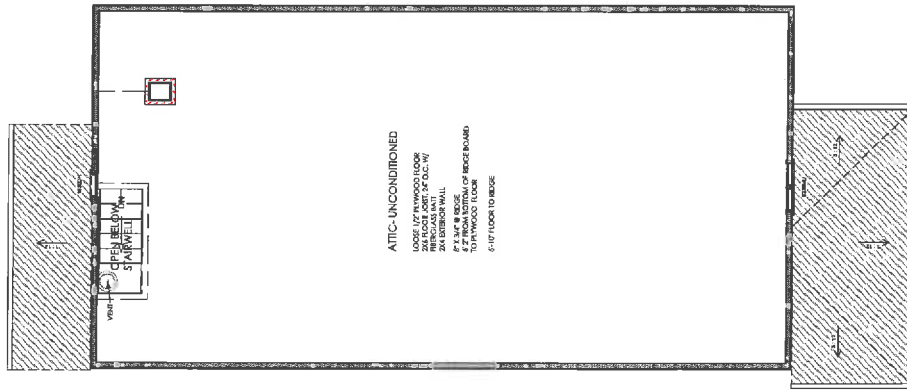
**EXISTING AND PROPOSED
 SECOND FLOOR PLANS**

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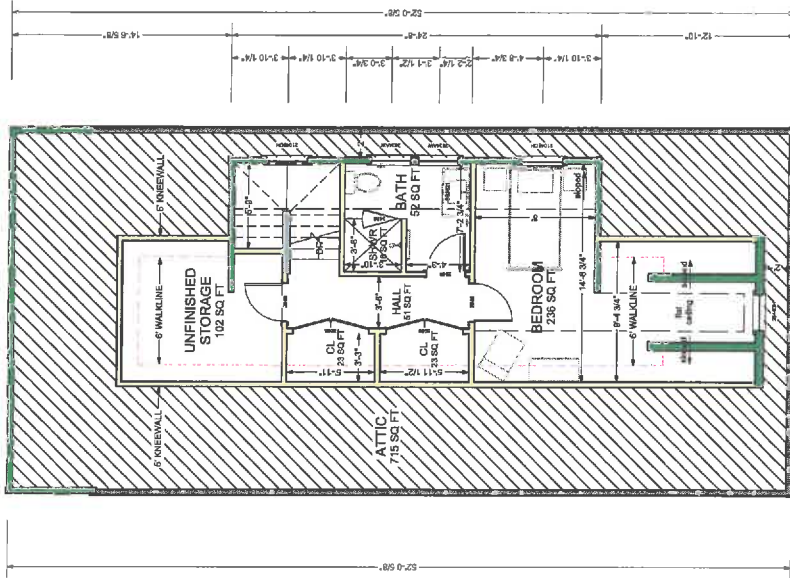
PROJECT ADDRESS:
 22 CLYDE STREET
 BELMONT, MA 02478
 REV DATE: 3/5/2019

SHEET:
A4

DIMENSIONS :
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A EXISTING ATTIC PLAN
 SCALE: 1/8" = 1'-0"



LIVING AREA
 408 SQ. FT.

B PROPOSED ATTIC PLAN
 SCALE: 1/8" = 1'-0"

DESIGN BUILD

DESIGN BUILD CONSTRUCTION, INC.
 200 N. Main Street
 Needham, MA 02478
 (617) 552-1100
 info@designbuildconstruction.com

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EXISTING AND PROPOSED ATTIC PLANS

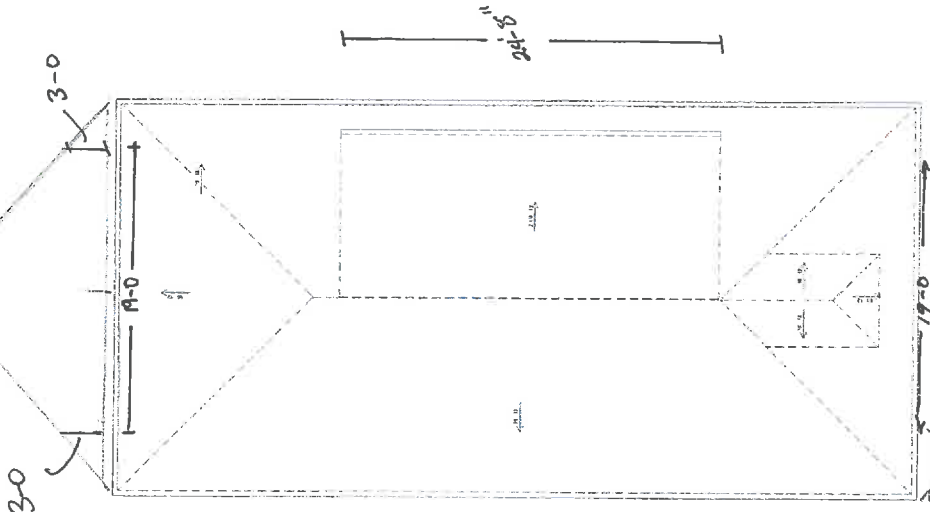
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 22 CLYDE STREET
 BELMONT, MA 02478

SHEET:
A5

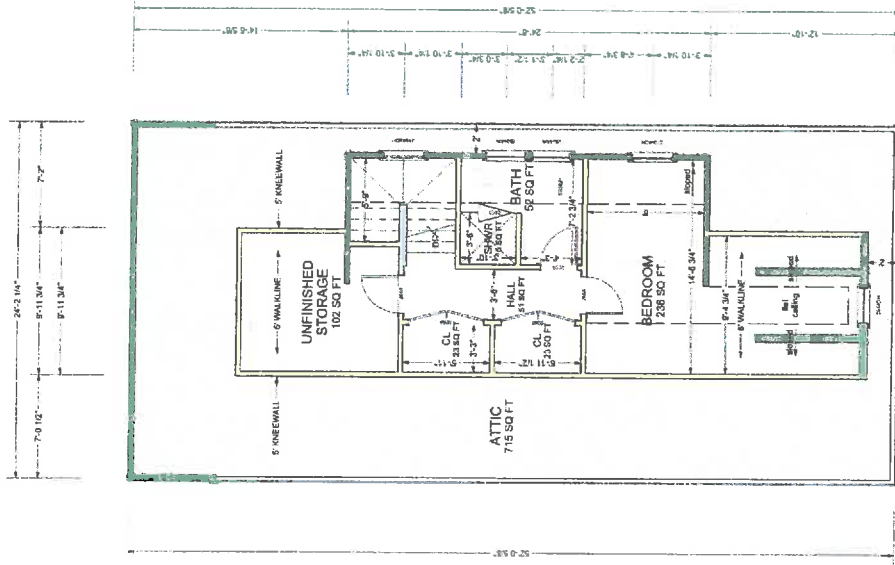
REV DATE: 3/6/2019

A ATTIC CALC. DETAILS
SCALE: 1/8" = 1'-0"

- Half story area calcs---
2nd floor area=1324.55 sf
- Allowable: max 794.73 sf w/ ceiling height of 5' or greater based on 60% of 1324.55 2nd floor
- Actual proposed 507 sf or 38% of 2nd flr w/ ceiling height of 5' or greater
- Half story perimeter calcs---
Second floor perimeter 157'-6"
- Allowable max 78'-9" w/ rafter bottoms @ 3' or greater (based on 50% of 157'-6")
- Actual: 19'-0" + 19'-0" + 24'-8" = 62'-8"
- Dormer length calcs---
Actual Wall length of dormer side 54'-5 5/8"
- Allowable Max 40'-11" (based on 75% of 54'-5 5/8")
- Actual dormer length 24'-8"



B PROPOSED ROOF PLAN
SCALE: 1/8" = 1'-0"



LIVING AREA
405 SQ. FT.

B PROPOSED ATTIC PLAN
SCALE: 1/8" = 1'-0"

DESIGN BUILD
DORRINGTON
CONSTRUCTION INC.
220 N. Main Street
Burlington, MA 02478
(800) 764-2300
(419) 650-0000
dorringtonconstruction.com

These plans are only
schematic drawings
and do not contain
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construction drawings to
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plans are approved
by the state.

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intended to be used
for construction
or updated (electronically
or hard copy) under any
circumstances without the
express written consent of
Dorrington Construction.

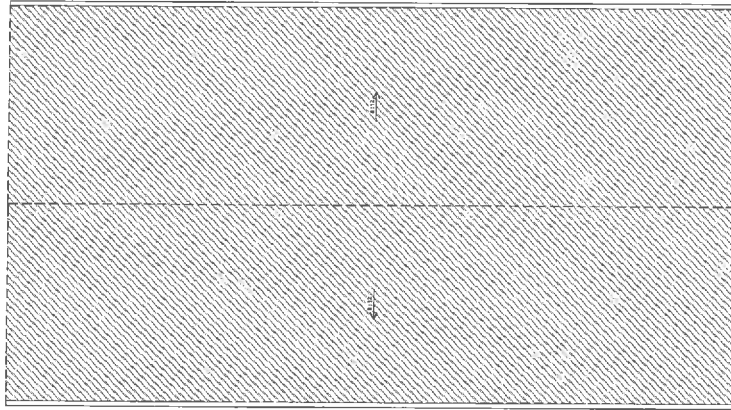
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EXISTING AND PROPOSED
ATTIC PLANS

PROJECT ADDRESS:
22 CLYDE STREET
BELMONT, MA 02478

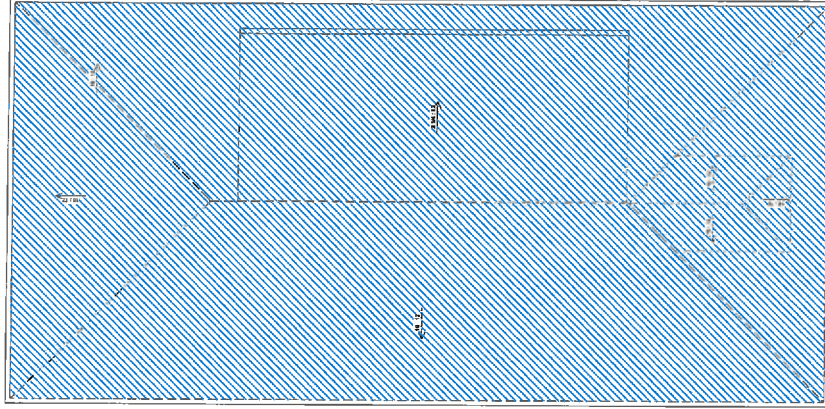
REV DATE: 3/5/2019

SHEET:
A5.1

DIMENSIONS :
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A EXISTING ROOF PLAN
 SCALE: 1/8" = 1'-0"



B PROPOSED ROOF PLAN
 SCALE: 1/8" = 1'-0"

**EXISTING AND PROPOSED
 ROOF PLANS**

SHEET TITLE:

PROJECT ADDRESS:
 22 CLYDE STREET
 BELMONT, MA 02478
REV DATE: 3/5/2019

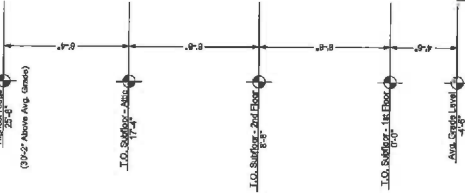
SHEET:
A6

DESIGN BUILD

DMERINGTON CONSTRUCTION, INC.
 200 N. Main Street
 Norcia, MA 01760
 (888) 764-3330
 dd@dmconstruction.com

These plans are schematic in nature and do not contain enough information for construction drawings to follow once the structural steel is approved by the client.

These schematic design drawings are prepared by Dimerington Construction and may not be distributed or used for any other project without the written consent of Dimerington Construction.



A EXISTING FRONT ELEVATION
SCALE: 1/8" = 1'-0"

(32' 1" Eyer Above Avg. Grade)

Finish 1st Floor

Finish 2nd Floor

Finish 1st Floor

Finish 2nd Floor

Finish 1st Floor

Finish 2nd Floor

Finish 1st Floor

Finish 2nd Floor

Finish 1st Floor

Finish 2nd Floor

DESIGN BUILD
DISHINGTON
CONSTRUCTION, INC.
200 N. Main Street
Needham, MA 01949
(888) 704-3390
disingtonconstruction.com

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construction drawings to
follow upon the
approval of the plans.
The plans are to be
approved by the client.

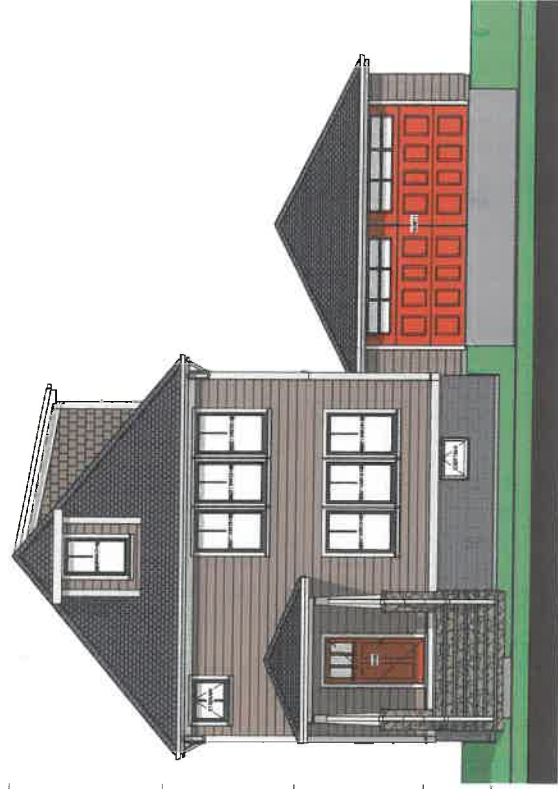
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project and may not be distributed
or used for any other purpose
without the written consent of
Dishington Construction.

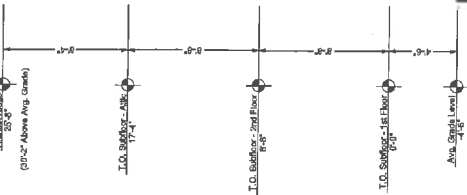
**EXISTING AND PROPOSED
FRONT ELEVATIONS**
SHEET TITLE:

PROJECT ADDRESS:
22 CLYDE STREET
BELMONT, MA 02478
REV DATE: 3/5/2019

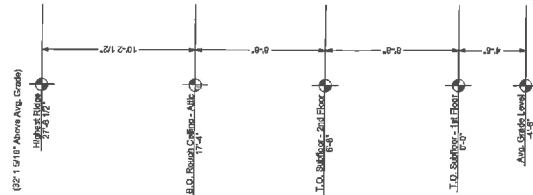
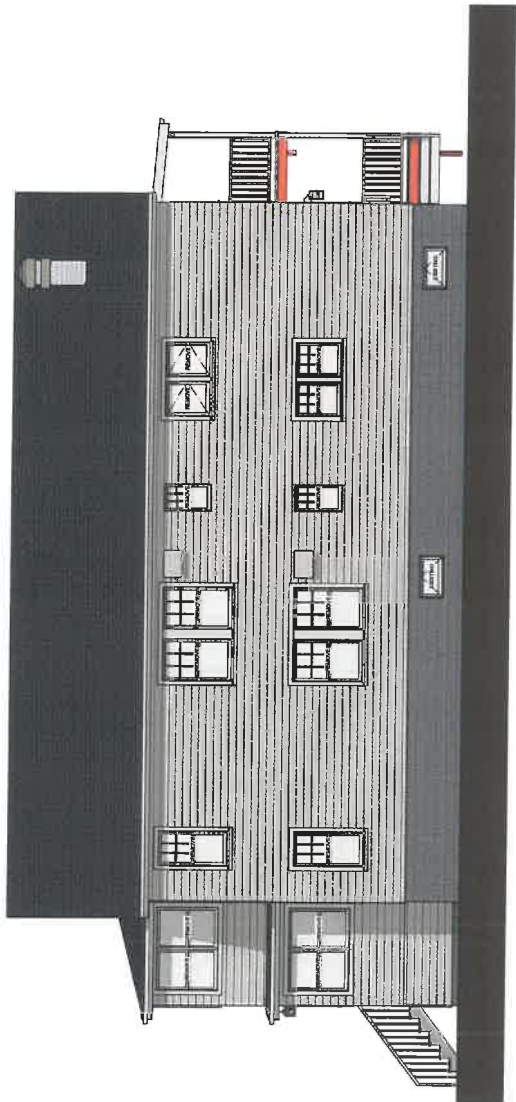
SHEET:
A7

B PROPOSED FRONT ELEVATION
SCALE: 1/8" = 1'-0"

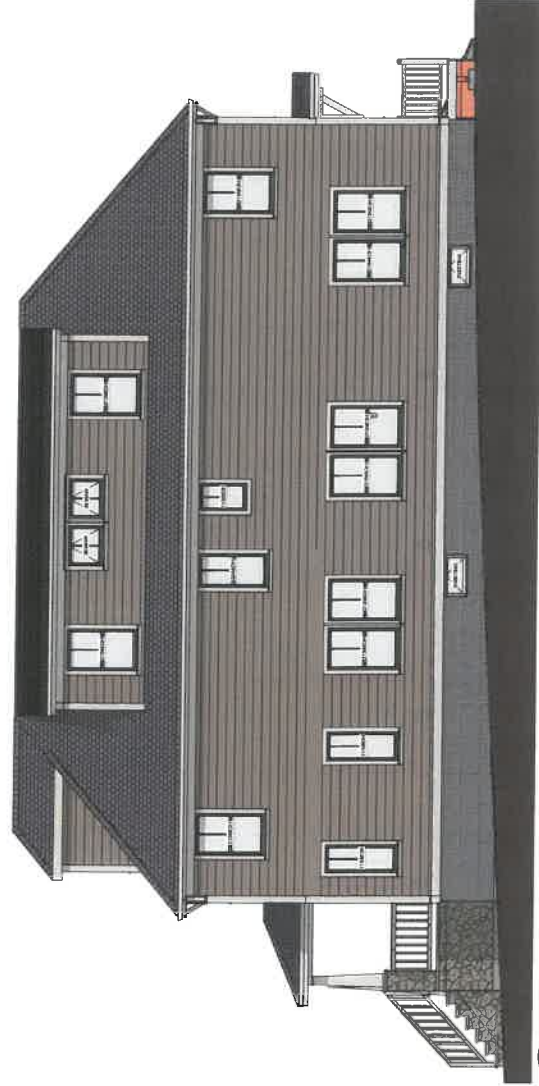




A EXISTING RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



B PROPOSED RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



DESIGN BUILD
DISTINGUISH CONSTRUCTION INC.
200 N. Main Street
Belmont, MA 02478
(888) 764-3330
distinguishconstruction.com

These plans are schematic and do not contain enough information for construction. They are for informational purposes only and should not be used for construction without the approval of the architect.

These schematic design drawings are preliminary and may not be distributed or used for construction or any other purpose without the written consent of Distinguish Construction.

EXISTING AND PROPOSED RIGHT ELEVATIONS
SHEET TITLE:

PROJECT ADDRESS:
22 CLYDE STREET
BELMONT, MA 02478
REV DATE: 3/6/2019

SHEET:
A8

DESIGN BUILD

DEMBINGTON CONSTRUCTION INC.
 300 N. Main Street
 Natick, MA 01760
 (888) 764-3320
 dcm@demingtonconstruction.com

These plans are schematic design only and do not contain enough information for construction. They are to be used only as a guide to follow once the schematic design is approved by the client.

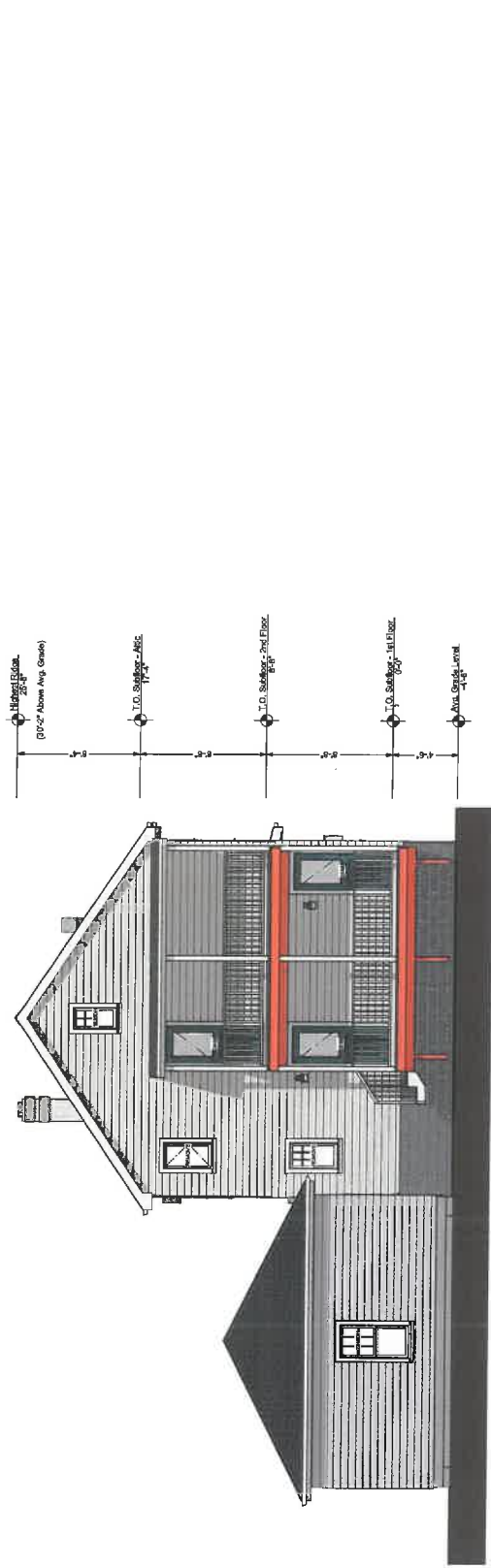
This schematic design is not to be used for construction. It is intended to provide a general idea of the proposed design and may not be detailed enough to construct. It is not to be used for construction without the approval of the architect.

EXISTING AND PROPOSED REAR ELEVATIONS

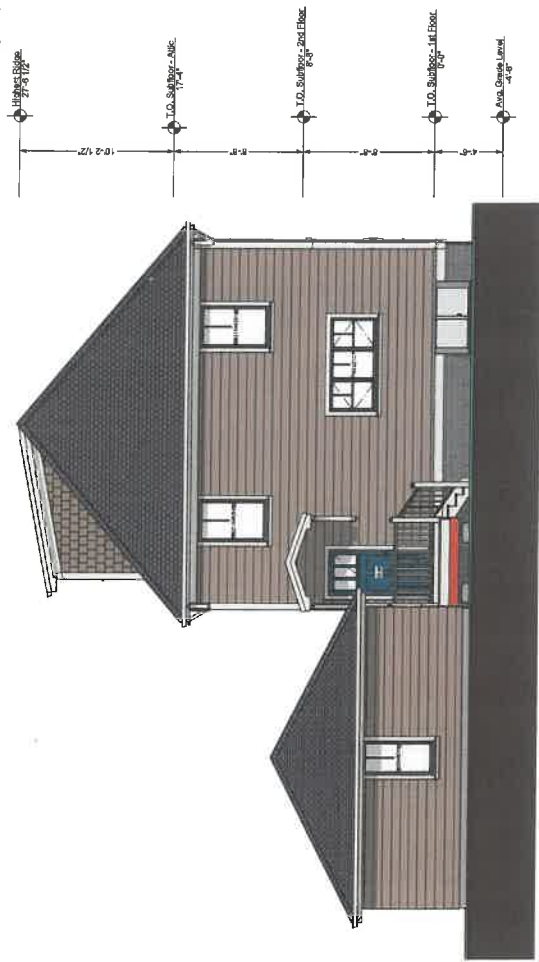
SHEET TITLE

PROJECT ADDRESS:
 22 CLYDE STREET
 BELMONT, MA 02478
 REV DATE: 3/5/2019

SHEET:
A9



A EXISTING REAR ELEVATION
 SCALE: 1/8" = 1'-0"



B PROPOSED REAR ELEVATION
 SCALE: 1/8" = 1'-0"

DESIGN BUILD

DEFINITION
CONSTRUCTION DOCUMENTS
200 N. Main Street
Natick, MA 01760
(888) 764-3390
d@definingconstruction.com

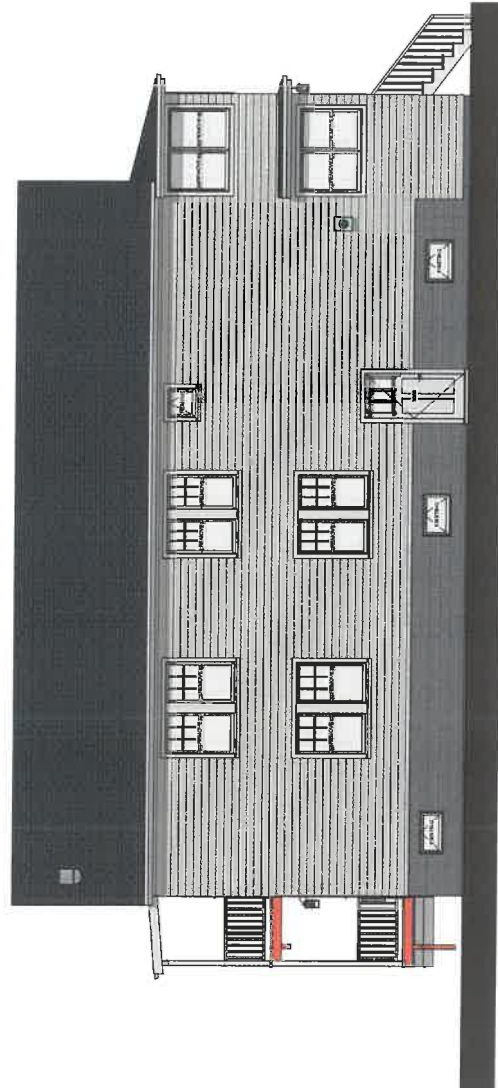
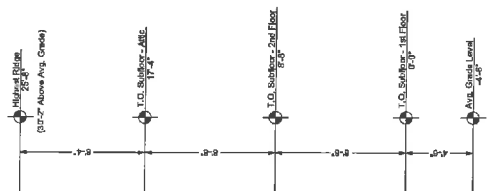
These plans are schematic design only and do not contain enough information for construction. They are to be used for conceptual planning only. Follow once the construction documents are approved by the client.

This schematic design is not intended to be used for construction. It is a conceptual drawing only and is not intended to be used for construction. It is a conceptual drawing only and is not intended to be used for construction.

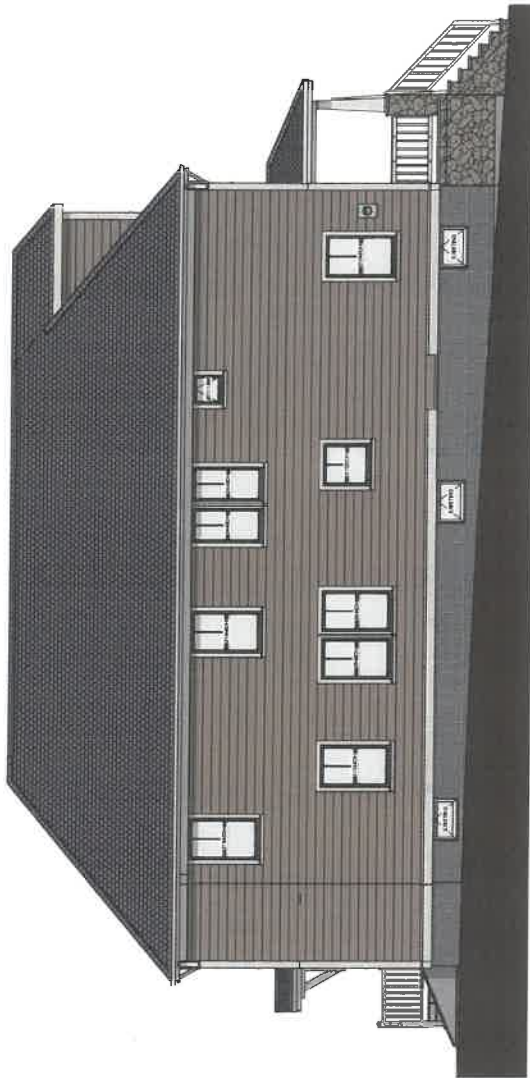
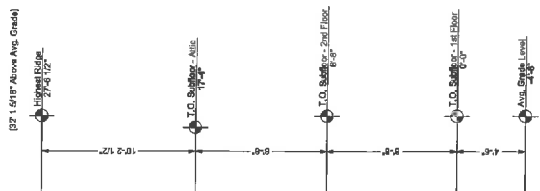
SHEET TITLE:
EXISTING AND PROPOSED
LEFT ELEVATIONS

PROJECT ADDRESS:
22 CLYDE STREET
BELMONT, MA 02478
REV DATE: 3/5/2019

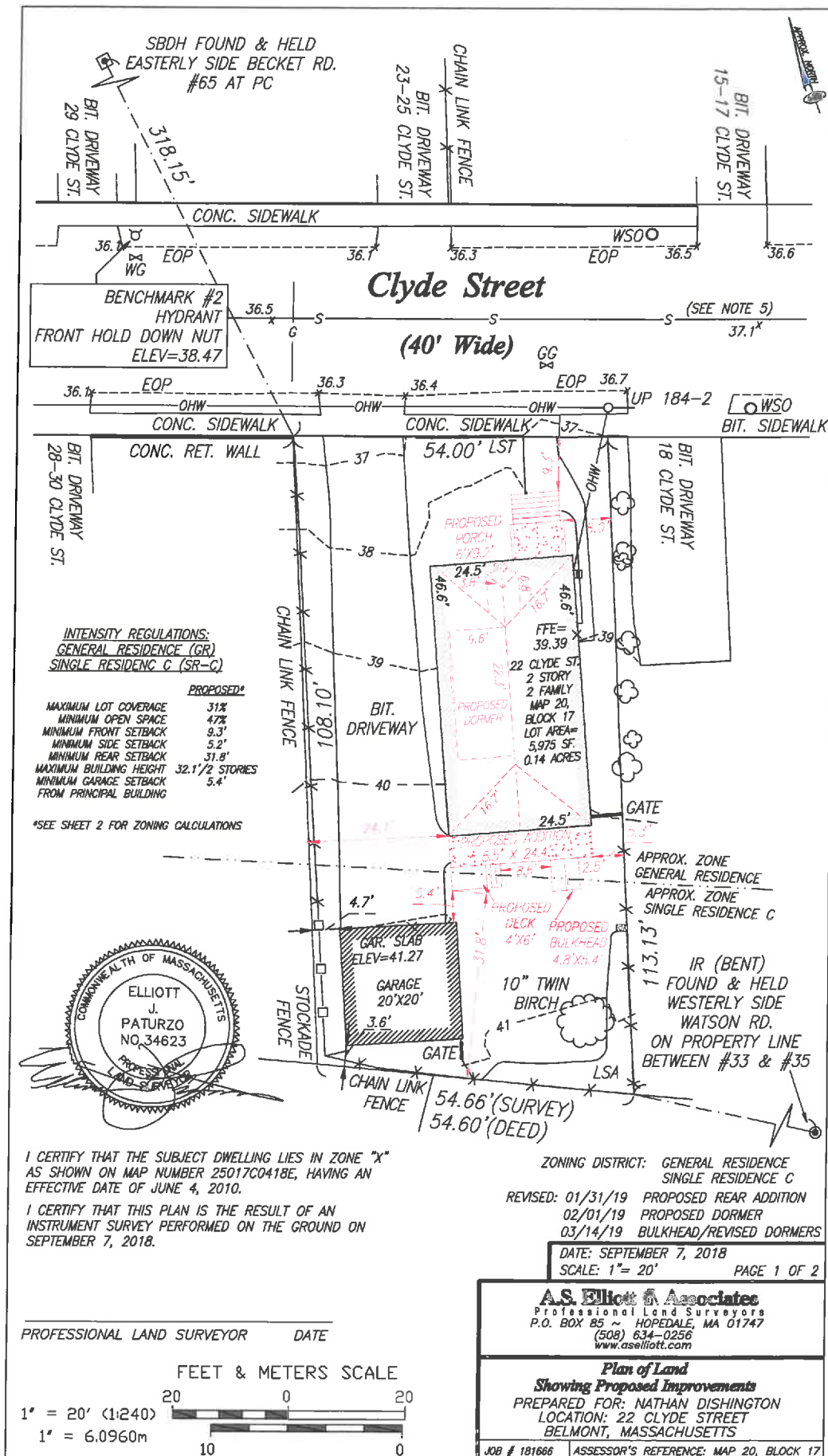
SHEET:
A10



A EXISTING LEFT ELEVATION
SCALE: 1/8" = 1'-0"



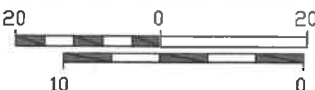
B PROPOSED LEFT ELEVATION
SCALE: 1/8" = 1'-0"



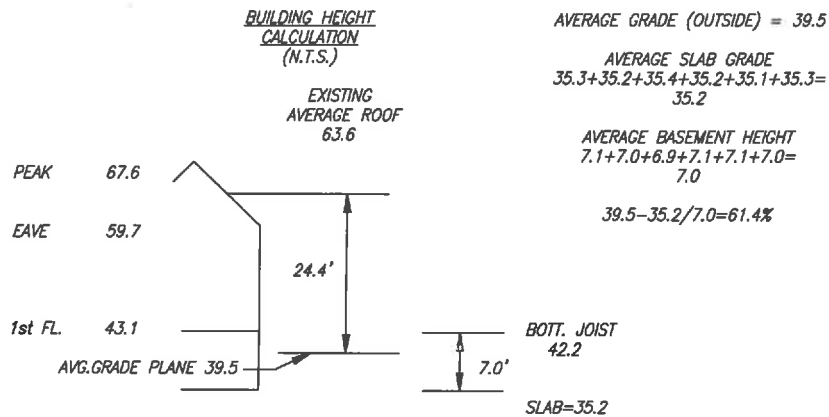
PROFESSIONAL LAND SURVEYOR DATE

FEET & METERS SCALE

1" = 20' (1:240)
 1" = 6.0960m



AVERAGE GRADE PLANE:
 $(38.3+38.9+39.7+40.1+40.7+38.5+38.9+40.0+40.4)/9=39.5$



TOWN OF BELMONT, MASSACHUSETTS INTENSITY REGULATIONS:
GENERAL RESIDENCE (GR)/SINGLE RESIDENCE C (SR-C)

	GENERAL RESIDENCE REQUIRED	SINGLE RESIDENCE C REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	7,000 S.F.	9,000 S.F.	5,975 S.F.	N/A
MINIMUM LOT FRONTAGE	70'	75'	54'	N/A
MINIMUM LOT AREA PER DWELLING UNIT	3,500 S.F.	---	2,988 S.F.	N/A
MAXIMUM FLOOR AREA RATIO	---	---	---	---
MAXIMUM LOT COVERAGE	30%	25%	29%	30%
MINIMUM OPEN SPACE	40%	50%	49%	47%
MINIMUM FRONT SETBACK	20'	25'	8.6'	9.3'
MINIMUM SIDE SETBACK	10'	10'	5.3'	5.3'
MINIMUM REAR SETBACK	20'	30'	38.1'	31.8'
MINIMUM BUILDING HEIGHT	33'/2.5 STORIES	30'/2.5 STORIES	28.4' ± 2 STORIES	32.1' ± 2 STORIES
MINIMUM GARAGE SETBACK FROM PRINCIPAL BUILDING	5'	5'	14.9'	5.4'
MINIMUM GARAGE SIDE SETBACK	5'	5'	4.7'	N/A
MINIMUM GARAGE REAR SETBACK	5'	5'	3.6'	N/A
MAXIMUM GARAGE AREA	660 S.F.	660 S.F.	404 S.F.	N/A
MAXIMUM GARAGE HEIGHT	15'	15'	16.1' ±	N/A
MAXIMUM GARAGE REAR YARD COVERAGE	40%	40%	20%	N/A

LOT COVERAGE CALCULATION:

DWELLING	1,143 S.F.
PROPOSED ADDITION	+ 135 S.F.
PROPOSED FRONT PORCH AND STAIRS	+ 96 S.F.
PROPOSED REAR DECK AND STAIRS	+ 34 S.F.
GARAGE	+ 404 S.F.
TOTAL LOT COVERAGE	1,812 S.F.
TOTAL LOT AREA	± 5,975 S.F.
LOT COVERAGE PERCENTAGE	0.30 (30%)

OPEN SPACE CALCULATION:

TOTAL LOT AREA	5,975 S.F.
DWELLING	- 1,143 S.F.
PROPOSED ADDITION	- 135 S.F.
PROPOSED FRONT PORCH AND STAIRS	- 96 S.F.
PROPOSED REAR DECK AND STAIRS	- 34 S.F.
PROPOSED BULKHEAD	- 26 S.F.
GARAGE	- 404 S.F.
DRIVEWAY	- 1,309 S.F.
TOTAL OPEN SPACE	2,828 S.F.
TOTAL LOT AREA	± 5,975 S.F.
OPEN SPACE PERCENTAGE	0.47 (47%)

NOTES

- SUBJECT TO ANY STATEMENT OF FACT AN UP-TO-DATE ABSTRACT OF TITLE WOULD DISCLOSE.
- SUBJECT TO ALL RIGHTS, EASEMENTS, COVENANTS OR RESTRICTIONS OF RECORD.
- UNDERGROUND UTILITIES, STRUCTURES AND FACILITIES, IF ANY, HAVE BEEN SHOWN FROM SURFACE LOCATIONS AND MEASUREMENTS OBTAINED FROM A FIELD SURVEY AND RECORD LOCATIONS. THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER UTILITIES WHICH THE EXISTENCE OF ARE NOT KNOWN. SIZE, TYPE AND LOCATION OF ALL UTILITIES AND STRUCTURES MUST BE VERIFIED BY PROPER AUTHORITIES PRIOR TO ANY AND ALL CONSTRUCTION. CALL, TOLL FREE, DIG SAFE CALL CENTER AT 1-888-344-7233 SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION.
- ELEVATIONS SHOWN ON THIS PLAN REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- LOCATION OF SEWER LINE IS TAKEN FROM THE TOWN OF BELMONT GIS TOWN BASE MAP, AND IS SHOWN GRAPHICALLY.

REFERENCES

DEED REF: MIDDLESEX COUNTY REGISTRY OF DEEDS
 (SOUTHERN DISTRICT)
 BOOK 58528, PAGE 309

PLAN REF: PLAN ENTITLED "PLAN OF BRIGHT & RICHARDSON LANDS, BELMONT, MASS.", PREPARED BY WHITMAN & HOWARD, CIVIL ENGINEERS, DATED NOVEMBER 27, 1925, PLAN NUMBER 829 (A, B, C)

LEGEND

- SBH STONE BOUND DRILL HOLE
- IR IRON ROD
- EOP EDGE OF PAVEMENT
- ±36.3 SPOT ELEVATION
- WG WATER GATE
- WSO WATER SHUT-OFF
- ICV IRRIGATION CONTROL VALVE
- GG GAS GATE
- GP GAS PILE
- UP UTILITY POLE
- OWW OVERHEAD WIRES
- EM ELECTRIC METER
- LST LANDSCAPE TIMBER RET. WALL
- BUSH BUSH
- FFE FIRST FLOOR ELEVATION
- PC POINT OF CURVATURE

ZONING DISTRICT: GENERAL RESIDENCE
 SINGLE RESIDENCE C

REVISED: 01/31/19 PROPOSED REAR ADDITION
 02/01/19 PROPOSED DORMER
 03/14/19 BULKHEAD/REVISED DORMERS

DATE: SEPTEMBER 7, 2018

SCALE: 1"= 20'

PAGE 2 OF 2

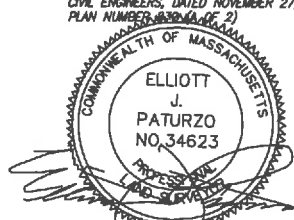
A.S. Elliott & Associates
 Professional Land Surveyors
 P.O. BOX 85 ~ HOPEDALE, MA 01747
 (508) 634-0256
 www.aelliott.com

Plan of Land
Showing Proposed Improvements
 PREPARED FOR: NATHAN DISHINGTON
 LOCATION: 22 CLYDE STREET
 BELMONT, MASSACHUSETTS

JOB # 181666

ASSESSOR'S REFERENCE: MAP 20, BLOCK 17

PROFESSIONAL LAND SURVEYOR DATE



Zoning Compliance Check List

Properties Located within the GR Zoning Districts

(To be Completed by a Registered Land Surveyor)

Property Address: 22 Clyde Street

Surveyor Signature and Stamp: _____

Date: 3/14/19



Per §4.2 of the Zoning By-Law

		REQUIRED		EXISTING		PROPOSED	
Lot Area (sq. ft.)		7,000 s.f.		5,975+/- s.f.		N/A	
Lot Frontage (feet)		70'		54'		N/A	
Lot Area/Unit (sq. ft./d.u.)		3,500 s.f.		N/A		2,988 s.f.	
Lot Coverage (% of lot)		30%		25%		30%	
Open Space (% of lot)		40%		50%		47%	
Setbacks: (feet)	➤ Front ^(a)	20'		8.6'		9.3'	
	➤ 2nd Front Door (25%)	N/A		N/A		N/A	
	➤ Side/Side	10'	10'	5.3'	24.1'	5.3'	24.1'
	➤ Rear	20'		38.1'		31.8'	
Building Height:	➤ Feet	33'		28.4'		32.1'	
	➤ Stories	2.5		2.5		2.5	
1/2 Story (feet) (Per §1.4)	➤ Perimeter (50%)	Max. 71.1 s.f.		N/A		63.8'	
	➤ Area (60%)	Max. 686 s.f.		N/A		213 s.f.	
	➤ Length (75%)	Max. 35'		N/A		22.3'	

Per §6D of the Zoning By-Law

HVAC:	Prohibited in Front Yard and Side and Rear Setbacks		
Front Doors:	Both Must Face Street ^(b)		
		STANDARD	PROPOSED
Curb Cut (One per 70' Frontage) ^(c)		Existing	N/A

^(a) Front setback is equal to the average front setbacks of the abutting properties on either side.

^(b) The second unit's front door may be allowed to face the side yard only if the existing structure is historically or architecturally significant.

^(c) A second curb cut may be allowed where the Applicant can demonstrate that creating a second curb cut is harmonious with the surrounding neighborhood.

SUBMIT CALCULATIONS for all of the requirements listed above on a separate piece of paper(s) to verify how they were calculated

March 14, 2019

Dear Neighbors,

We wish to inform you of our plan to remodel our home at 22 Clyde Street. Because we are in a general residence district we are required to apply for special permit from the town planning board. All proposed modifications to the home meet existing zoning bylaws, however, since our home is a pre-existing nonconforming home, we are required to apply for this special permit. As a result, the town of Belmont will likely be notifying you about the upcoming planning board hearing.

We have owned the property at 22-24 Clyde Street in Belmont since 2012. It is a very modest 2-family in a neighborhood of mixed 1 and 2 family homes. The proposal before the board is one which would effectively convert this property to a single-family home. We are proposing to remove the Bulky 2 story front porch and replace that with a rear addition, essentially enclosing the rear 2 story porch and raising the ridgeline to add a modest dormer facing our driveway. The additions and alterations will not increase any existing non-conformity regarding setbacks. The proposed work also complies with all current zoning requirements regarding building height, basement definition, lot coverage ratio and all 2 1/2 story requirements outlined in the town bylaws. We will also remove the aluminum siding. This would result in a much more aesthetically pleasing exterior, consistent with typical New England architecture and in keeping with the character of the neighborhood.

If you have any question or concerns, please contact us.

Warm Regards,



Sabrina Tan & James Murphy
17 Harding Avenue
Belmont, MA, 02478
617-484-1304