



Town of Belmont
Planning Board

RECEIVED
TOWN CLERK
BELMONT, MA

2018 MAY -3 PM 3: 53

APPLICATION FOR A SPECIAL PERMIT

Date: 4/12/18

Planning Board
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Law of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on Cherry Street Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for _____

2 story addition

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner Michelle Y. Oishi

Print Name MICHELLE Y. OISHI

Address 7 CHERRY ST.

BELMONT, MA 02478

Daytime Telephone Number 617-851-5380

April 6, 2018

7 Cherry Street – Proposed Renovation

Project Description

Our family has lived at 7 Cherry Street since 2002 since just before the birth of our son and looks forward to staying here for many more years. For some time we have wanted to add on to the house and feel that this the time to do so. The project will expand onto land currently occupied by our driveway, between our house and existing garage. The addition will increase our current living space by another 532 sf resulting in a combined total of 1892 sf, modest compared to many homes in Belmont.

On the first floor, the side entrance will open to a mudroom with storage, a built-in bench, and a toilet room. This space leads to the kitchen and stairway down to the basement. The new construction will not add basement area as it will simply build a crawlspace on a concrete slab on grade. The family room will occupy the main portion of the addition on the first floor. Opening to the front entry hall, the family room keeps media-viewing separate from the existing living room but allows for circulation around the entire first floor. With the construction of a toilet room and family room that can also be used as a bedroom on the first floor, this project will give us the ability to age-in-place.

On the second floor, the expansion will add a third bedroom or study above the new family room. Storage on the second floor will replace storage currently used in the attic, displaced by deeper insulation. The project will improve the building's energy efficiency by increasing thermal insulation. New mini-split HVAC units will be installed and allow us to better locate the current condenser at the front of the house. The condensers will be located behind the new addition.

Great care has been taken with the design to create an addition that is consistent in its architectural details with the existing house as well as the neighborhood. The existing roof line will be carried through to the new addition. The trim details will also reflect the existing character of the original house. We look forward to creating a home addition that is an asset to the town and that complements the existing neighborhood.

Thank you.

Marc Mamigonian and Michelle Oishi



OFFICE OF COMMUNITY DEVELOPMENT
TOWN OF BELMONT

19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2654
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

March 26, 2018

Mr. Mark Mamigonian
Ms. Michelle Oishi
7 Cherry Street
Belmont, MA 02478

RE: Denial to Construct Two-Story Addition at Side of House


Dear Mr. Mamigonian and Ms. Oishi:

The Office of Community Development is in receipt of your building permit application for the construction of a two-story addition at the side of your home located in a General Residence (GR) Zoning District.

Your application has been denied because it does not comply with the Zoning By-Law. More specifically, Sections 4.2.2 allows minimum rear setback of 16.0'; however, the existing and proposed setbacks are 14.2'.

You may alter your plans to conform to the Zoning By-Law and resubmit for a building permit or you may request a Special Permit from the Planning Board: to alter a nonconforming structure and maintain the side setback. If you choose this option, please call the Office of Community Development at (617)-993-2666 to schedule an appointment with Jeffrey Wheeler, Senior Planner, in order to begin this process.

Sincerely,
On behalf of
Glenn R. Clancy, P.E.
Inspector of Buildings


Ara Yogurtian
Assistant Director



Zoning Compliance Check List

(Registered Land Surveyor)

Property Address: 7 Cherry Street

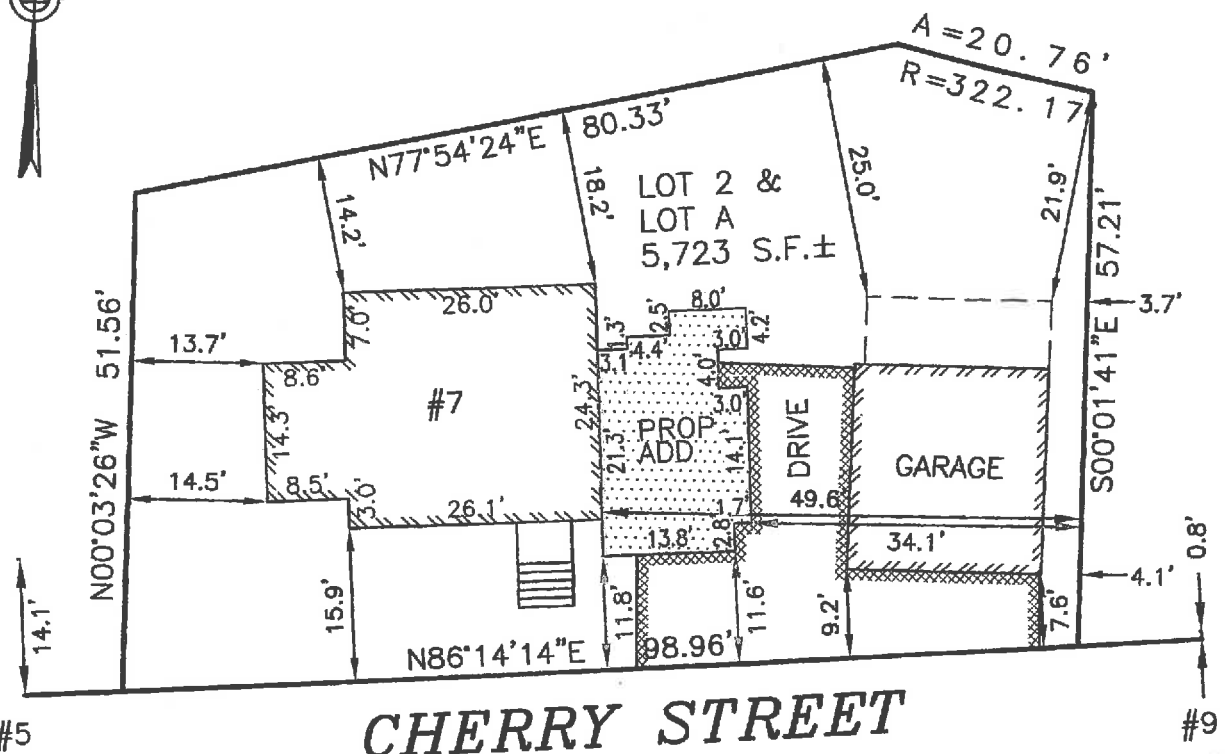
Zone: GR

Surveyor Signature and Stamp: *Bruce Bradford*

Date: 2/23/18

	REQUIRED	EXISTING	PROPOSED
Lot Area	5,000 SF	5,723 SF	5,723 SF
Lot Frontage	50'	98.96'	98.96'
Floor Area Ratio			
Lot Coverage	30% MAX	21.3%	27.1%
Open Space	40% MIN	63%	61%
Front Setback	7.5' AVG	15.9'	11.6'
Side Setback	10'	13.7'	13.7'
Side Setback	10'	49.6'	34.1'
Rear Setback	16'	14.2'	14.2'
Building Height	33' MAX	32.2'	32.3'
Stories	2 1/2	2	2
1/2 Story Calculation			

NOTES:


$$\text{AVERAGE SETBACK} = (14.1 + 0.8) / 2 = 7.5$$

[Handwritten signature]



7 Cherry Street looking north-west



7 Cherry Street looking south-east



7 Cherry Street looking south-west



View from Beech Street



10 Cherry Street



9 Cherry Street



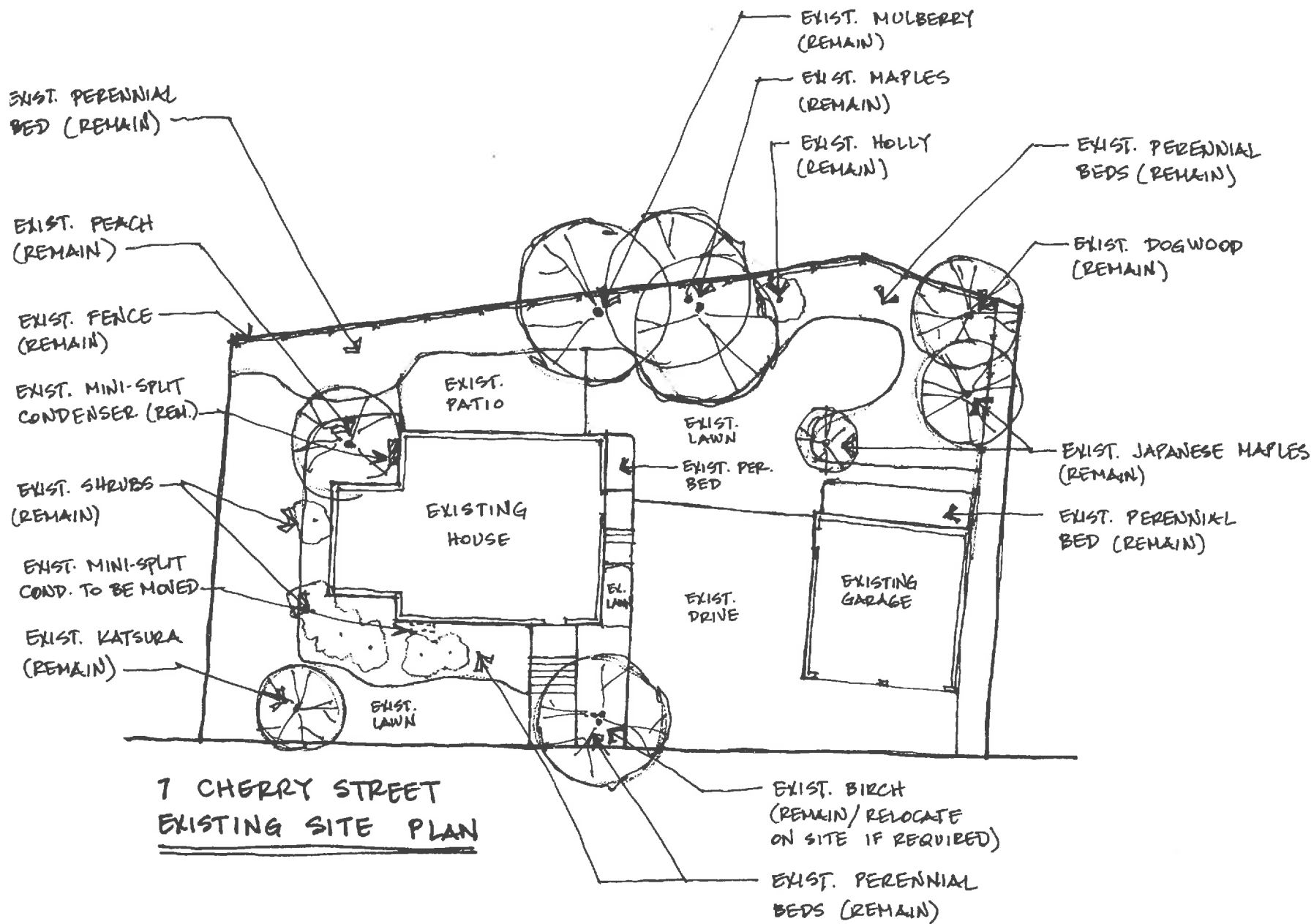
8 Cherry Street (2 Cherry beyond)



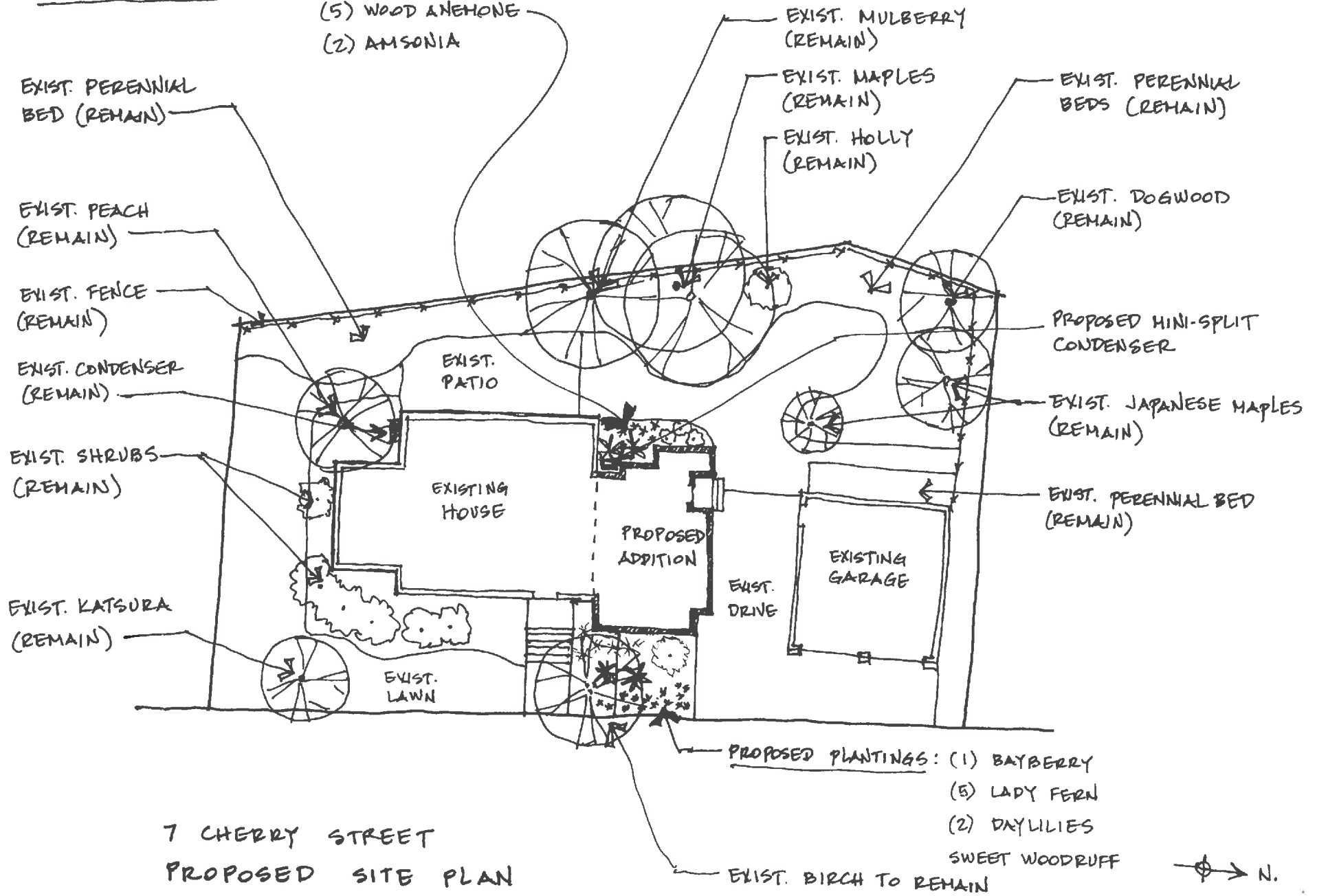
315 Beech Street (7 Cherry beyond)

PROPOSED RENOVATION - 7 CHERRY STREET

April 2018



PROPOSED PLANTINGS:
 (3) LUPINE
 (5) WOOD ANEMONE
 (2) AMSONIA



Proposed Plant List

Front garden

- (2) - Amsonia
- (5) - Wood anemone
- (3) - Lupine

Back garden

- (2) - Daylilies
- (5) - Lady fern
- (1) - Bayberry (or similar)

Plants or their equal will be planted based upon availability at area nurseries. The intent is to use native plants species.

April 6, 2018

Dear Neighbor:

We wish to inform you of our plans to build a modest addition to our home at 7 Cherry Street. We have lived here since 2002 and look forward to staying here for many more years. Our desire is to expand the house on the interior of the lot over part of the existing driveway towards our garage. The project will also insulate both the existing and new structures to improve the building's energy efficiency. The addition will create a family/guest room, mudroom, and powder room on the first floor and a third bedroom on the second floor. The expansion of the first floor will also allow for us to age-in-place by locating a toilet room on the main living level.

Because we are in a General Residence district we are required to apply for a special permit. The Town of Belmont will likely be notifying you about the associated planning board hearing. Our addition meets the current zoning bylaws however our existing house does not conform thereby requiring us to apply for the special permit. If you have any concerns and wish to see the proposed design, we encourage you to contact us.

Sincerely,

Michelle & Marc

Michelle Oishi & Marc Mamigonian
7 Cherry Street
Belmont
t. 617-489-1265

Joan E. Horgan
233 Waverley St.

Clinton Rafkian
10 Cherry St.

Li Zhang
4 Thomas St

Alexandra McLean
9 Cherry St

Lore Seiger
2 Thomas St.



Zoning Compliance Check List (Registered Land Surveyor)

Property Address: 7 Cherry Street

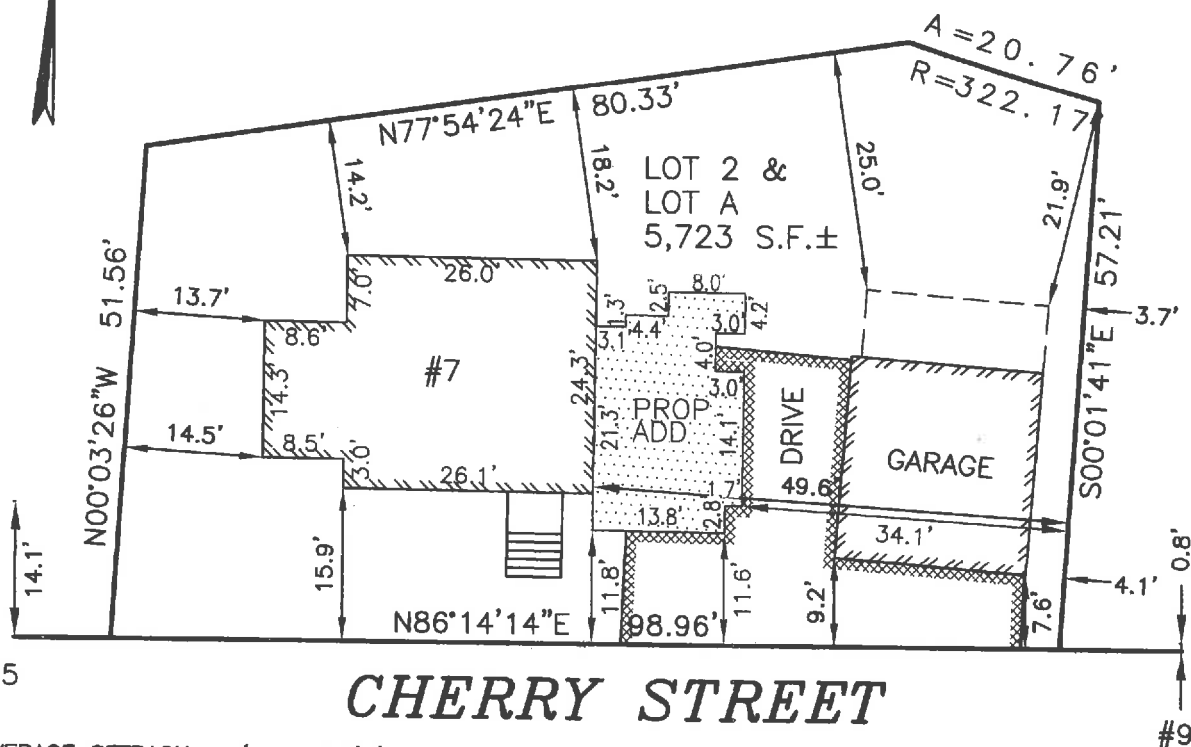
Zone: GR

Surveyor Signature and Stamp: Bruce Bradford

Date: 2/23/18

	REQUIRED	EXISTING	PROPOSED
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Lot Frontage	50'	98.96'	98.96'
Floor Area Ratio			
Lot Coverage	30% MAX	21.3%	27.1%
Open Space	40% MIN	63%	61%
Front Setback	7.5' AVG	15.9'	11.6'
Side Setback	10'	13.7'	13.7'
Side Setback	10'	49.6'	34.1'
Rear Setback	16'	14.2'	14.2'
Building Height	33' MAX	32.2'	32.3'
Stories	2 1/2	2	2
1/2 Story Calculation			

NOTES:



#5

CHERRY STREET

AVERAGE SETBACK = $(14.1 + 0.8) / 2 = 7.5$

#9

ZONING INFORMATION:

ZONE: GR

DEED REFERENCE: BOOK 35683 PAGE 002

PLAN REFERENCE: BOOK 182 PLAN 141

	EXISTING	PROPOSED	REQUIRED/ PERMITTED
LOT AREA	5,723 S.F.	5,723 S.F.	5,000 S.F. MIN.
LOT FRONTAGE	98.96'	98.96'	50' MIN.
SETBACK			
FRONT	15.9'	11.6'	7.5' (AVG)
SIDE	13.7'	13.7'	10' MIN.
SIDE	49.6'	34.1'	10' MIN.
REAR	14.2'	14.2'	16' MIN.
LOT COVERAGE	21.3%	27.1%	30% MAX.
OPEN SPACE	63%	61%	40% MIN.
BUILDING HGT	32.2'	32.3'	33 MAX.
# OF STORIES	2	2	2.5 MAX.

THIS PROPERTY DOES NOT LIE WITHIN THE
WETLANDS OR WETLANDS BUFFER ZONE.

THIS PROPERTY IS LOCATED IN ZONE X
FIRM MAP DATED JUNE 4, 2010
COMMUNITY PANEL NUMBER 25017 C0418 E

Owner MAMIGONIAN & OISHI

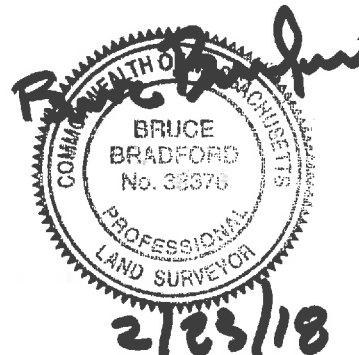
Loc. House No. 7

Lot No. 25-127

App. No. _____

Date JANUARY 10, 2018

Scale: 1 in. = 20 Ft.



ESTABLISHED 1916

EMB

EVERETT M. BROOKS CO.
SURVEYORS & ENGINEERS

49 LEXINGTON STREET
WEST NEWTON, MA 02465

(617) 527-8750

info@everettbrooks.com

PLAN OF LAND IN
BELMONT, MA

7 CHERRY STREET
PROPOSED ADDITION

SCALE: 1 IN. = 20 FT.

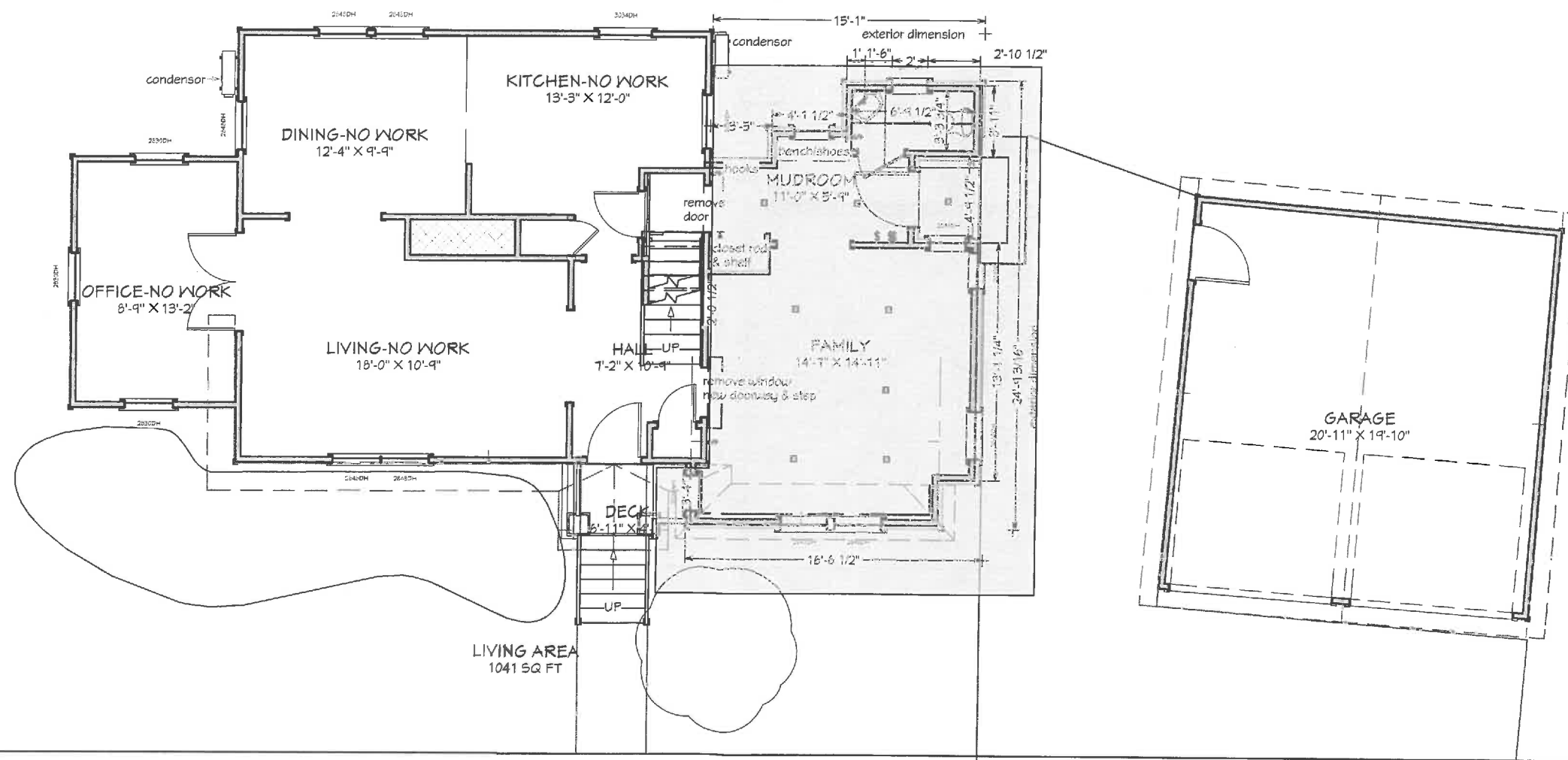
DATE: FEBRUARY 23, 2018

DRAWN: GA

CHECK: BB

PROJECT NO. 24687

COMMUNITY
DEVELOPMENT
MAR 13 PM 12:54



 **PROPOSED SITE PLAN--ADDITION HIGHLIGHTED**
Scale: 1/8" = 1'0"

[illegible]

SHEET TITLE:

Proposed Site Plan

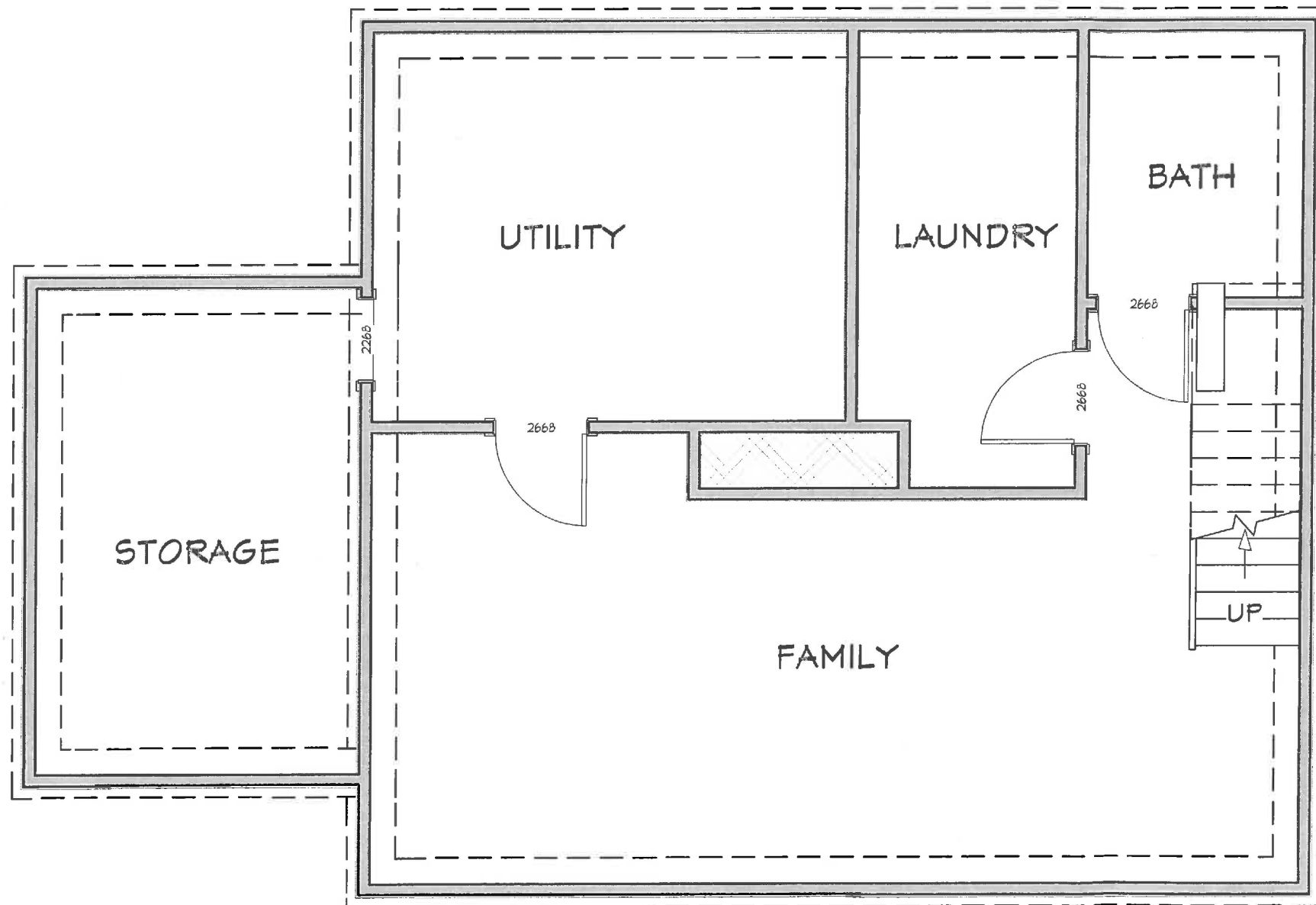
PROJECT DESCRIPTION:
Oishi Mamigonian
7 Cherry Street, Belmont

DRAWINGS PROVIDED BY:
steveworks LLC

DATE:
4/12/18

SCALE:

SHEET:
A-1



A
A-2 EXISTING CONDITIONS BASEMENT
Scale: 1/4" = 1'0"

--

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
Existing Basement Plan

PROJECT DESCRIPTION:
Oishi Mamigonian
7 Cherry Street, Belmont

DRAWINGS PROVIDED BY:
steveworks LLC

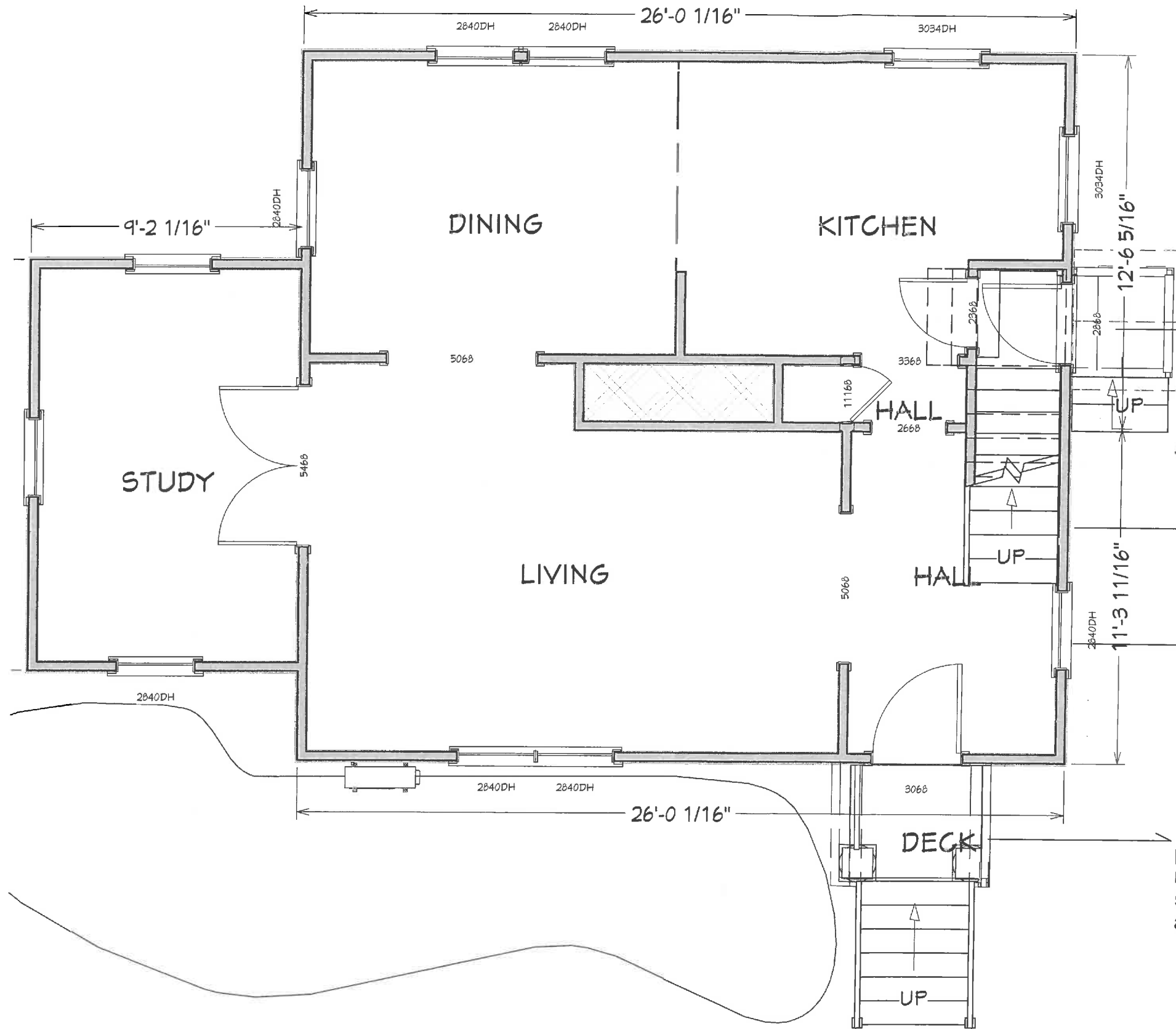
DATE:

4/12/18

SCALE:

SHEET:

A-2



- Remove stoop, stairs, railing, exterior door
- remove shingles from entire side of building
- remove window and framing below
- provide temp support for front porch roof
remove decking; assess condition and remove porch structure if needed
assess condition of column bases; remove if needed

A
A-3 EXISTING CONDITIONS & DEMO, 1st FLOOR
Scale: 1/4" = 1'0"

LIVING AREA
718 SQ FT

E2
Elevation 2

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
Existing Conditions/Demo

PROJECT DESCRIPTION:
Oishi Mamigonian
7 Cherry Street, Belmont

DRAWINGS PROVIDED BY:
steveworks LLC

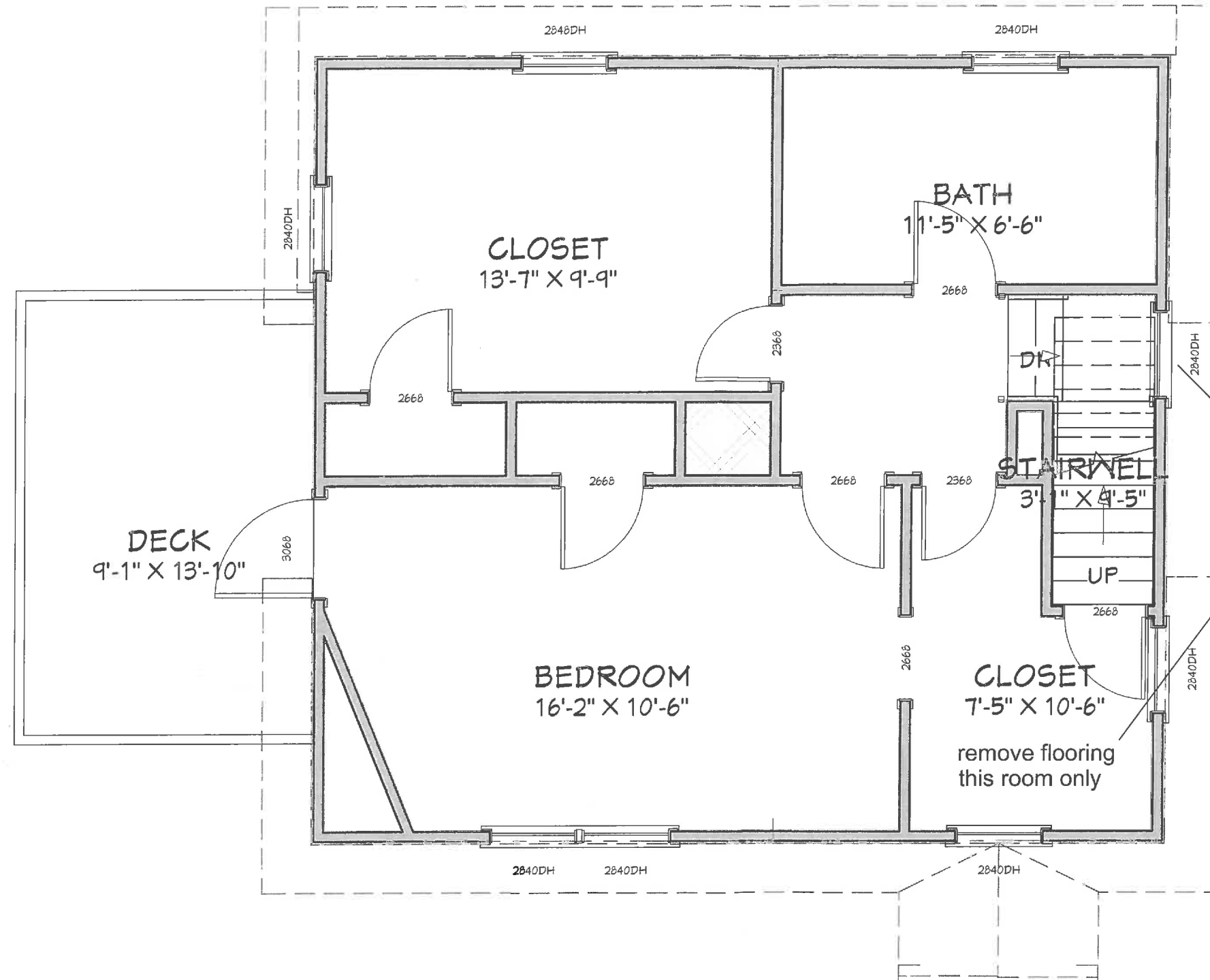
DATE:

4/12/18

SCALE:

SHEET:

A-3



LIVING AREA
582 SQ FT

A
A-4 EXISTING CONDITIONS & DEMO, 2nd FLOOR
Scale: 1/4" = 1'0"

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
Existing Conditions/Demo 2nd Floor

PROJECT DESCRIPTION:
Oishi Mamigonian
7 Cherry Street, Belmont

DRAWINGS PROVIDED BY:
steveworks LLC

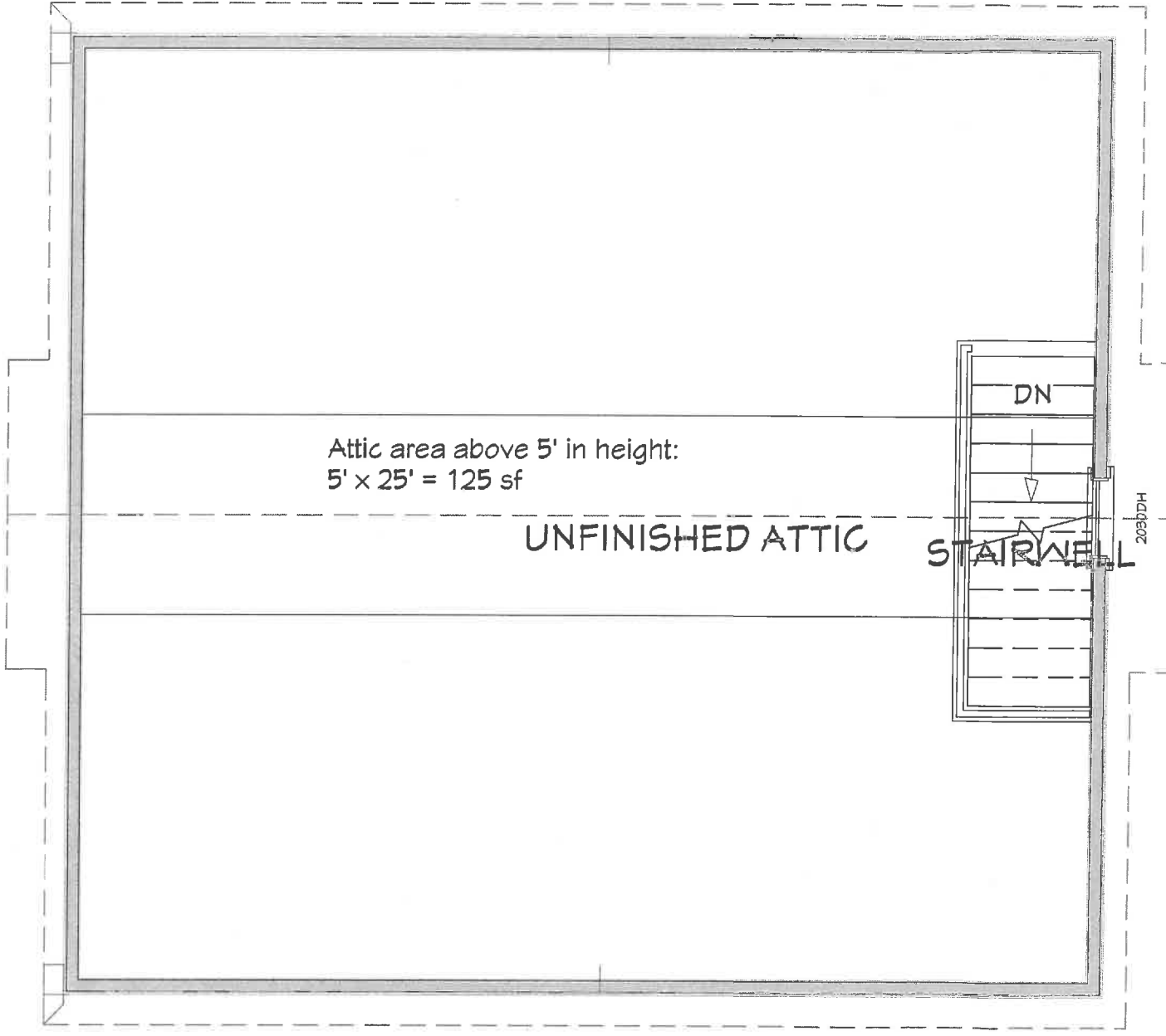
DATE:

4/12/18

SCALE:

SHEET:

A-4



A
A-5 EXISTING CONDITIONS & DEMO, 2nd FLOOR
Scale: 1/4" = 1'0"

--

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
Existing Attic Plan

PROJECT DESCRIPTION:
Oishi Mamigonian
7 Cherry Street, Belmont

DRAWINGS PROVIDED BY:
steveworks LLC

DATE:
4/12/18

SCALE:

SHEET:
A-5

Existing Materials

Siding: Asphalt Shingles
Roof: Asphalt Shingles
Windows: Divided Lite



A
A-6 EXISTING FRONT ELEVATION
Scale: 1/4" = 1'0"

SHEET TITLE:
Existing Front Elevation

PROJECT DESCRIPTION:
Oishi Mamigonian
7 Cherry Street, Belmont

DRAWINGS PROVIDED BY:
steveworks LLC

DATE:
4/12/18

SCALE:

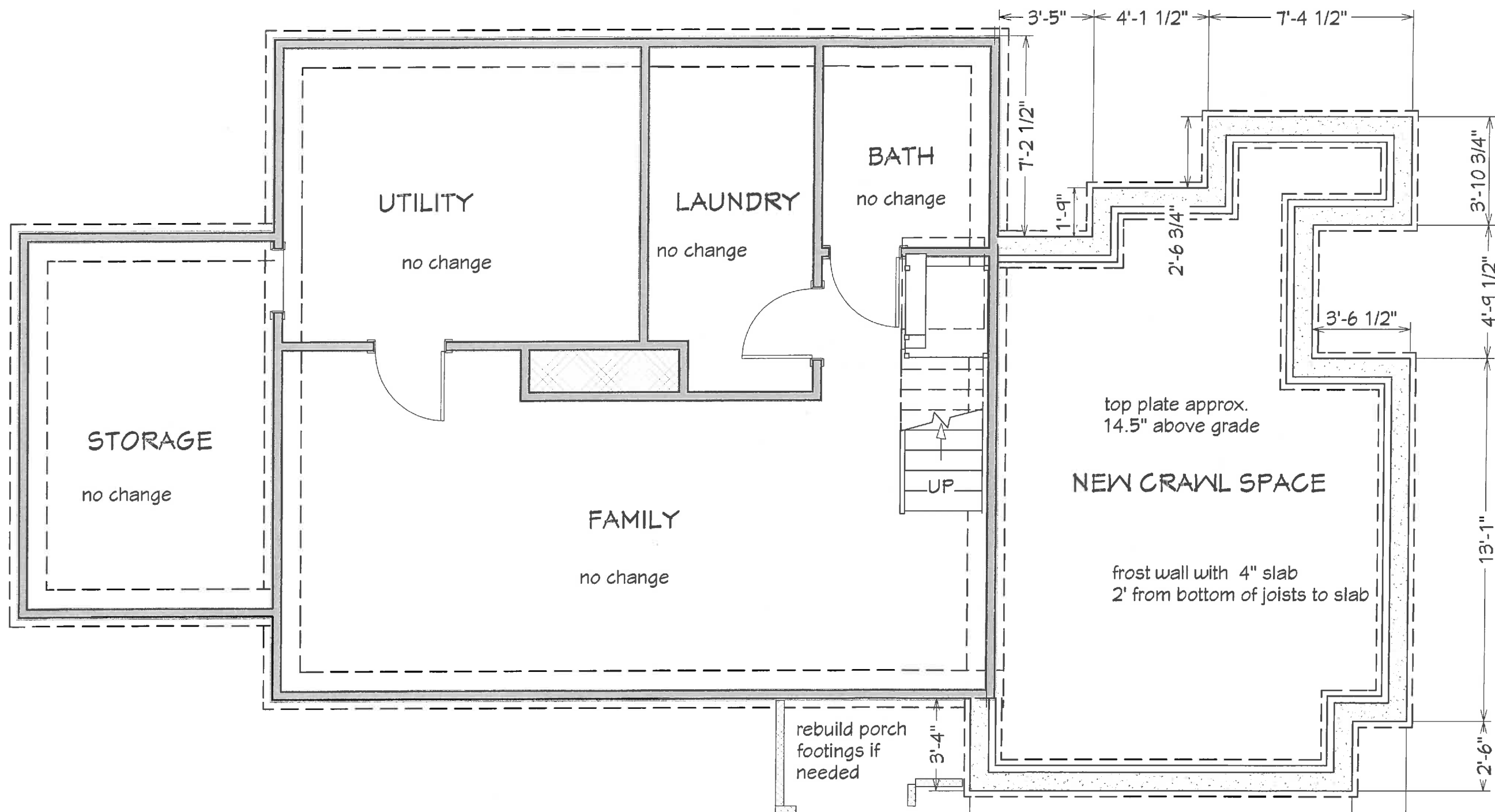
SHEET:
A-6

NO.	DESCRIPTION	BY	DATE



A
A-7 EXISTING SIDE ELEVATION
Scale: 1/4" = 1'0"

NO.	DESCRIPTION	BY	DATE
PROJECT DESCRIPTION:		SHEET TITLE:	
Oishi Mamigorian 7 Cherry Street, Belmont		Existing Elevation/Demo	
DRAWINGS PROVIDED BY:			
steveveworks LLC			
DATE:			
4/12/18			
SCALE:			
SHEET:			
A-7			



A
A-8 **PROPOSED BASEMENT PLAN**
Scale: 1/8" = 1'0"

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
Basement Plan

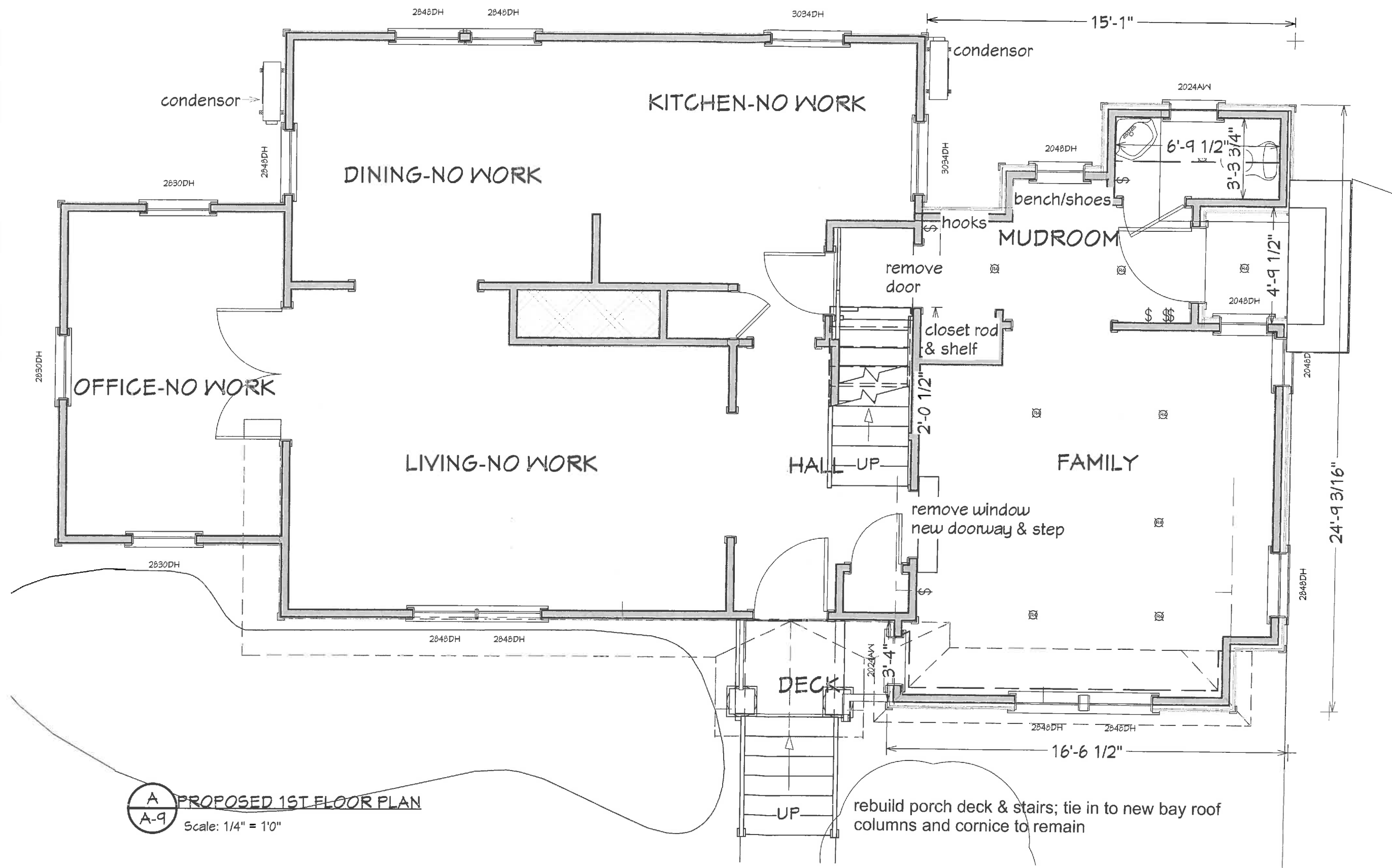
PROJECT DESCRIPTION:
Oishi Mamigonian
7 Cherry Street, Belmont

DRAWINGS PROVIDED BY:
steveworks LLC

DATE:
4/12/18

SCALE:

SHEET:
A-8



PROPOSED 1ST FLOOR PLAN
Scale: 1/4" = 1'0"

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
Proposed 1st Floor Plan

PROJECT DESCRIPTION:
Oishi Mamigonian
7 Cherry Street, Belmont

DRAWINGS PROVIDED BY:
steveworks LLC

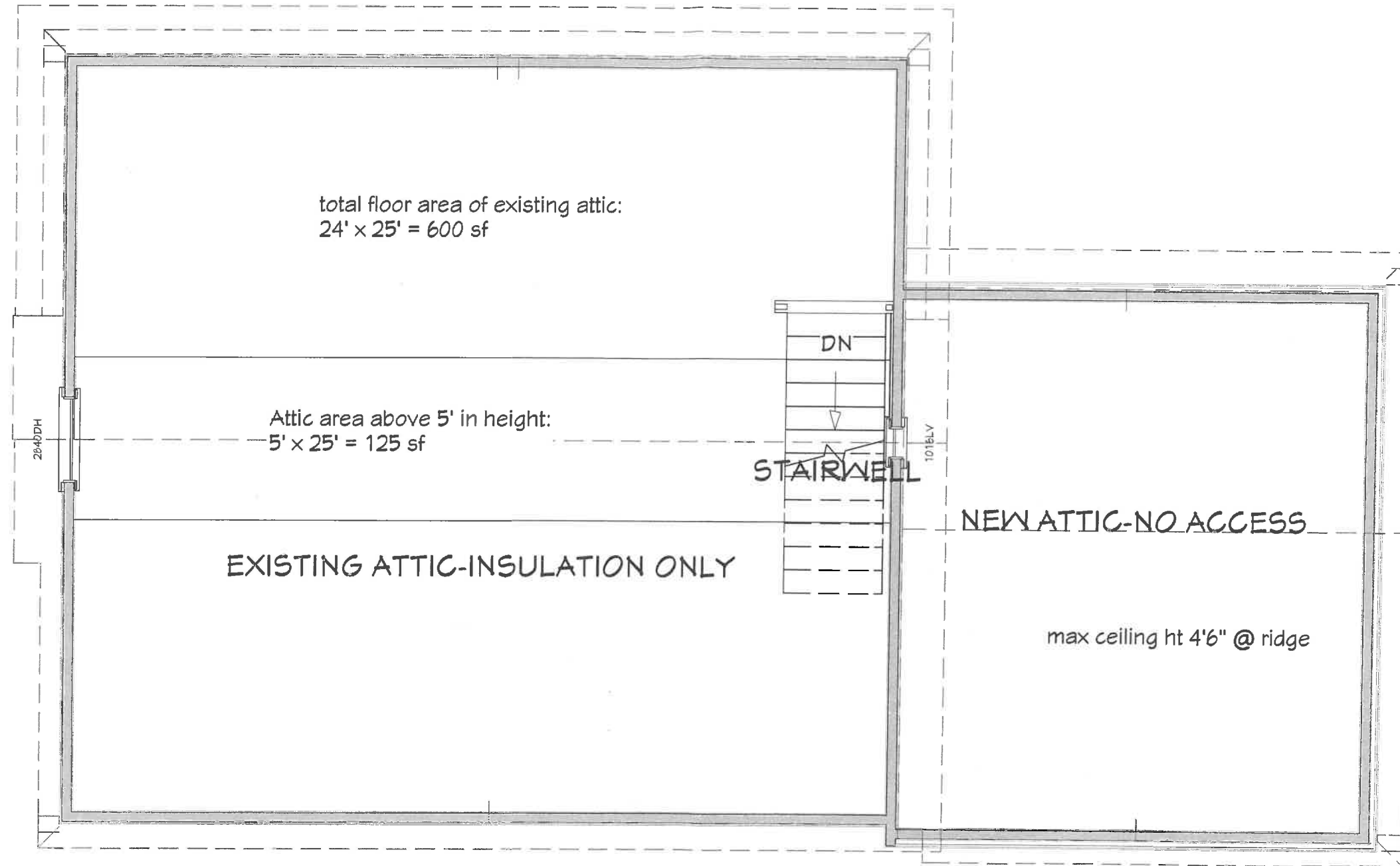
DATE:

4/12/18

SCALE:

SHEET:

A-9



A
A-11 **PROPOSED ATTIC PLAN**
Scale: 1/4" = 1'0"

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NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
Proposed Attic Plan

PROJECT DESCRIPTION:
Oishi Mamigonian
7 Cherry Street, Belmont

DRAWINGS PROVIDED BY:
steveworks LLC

DATE:

4/12/18

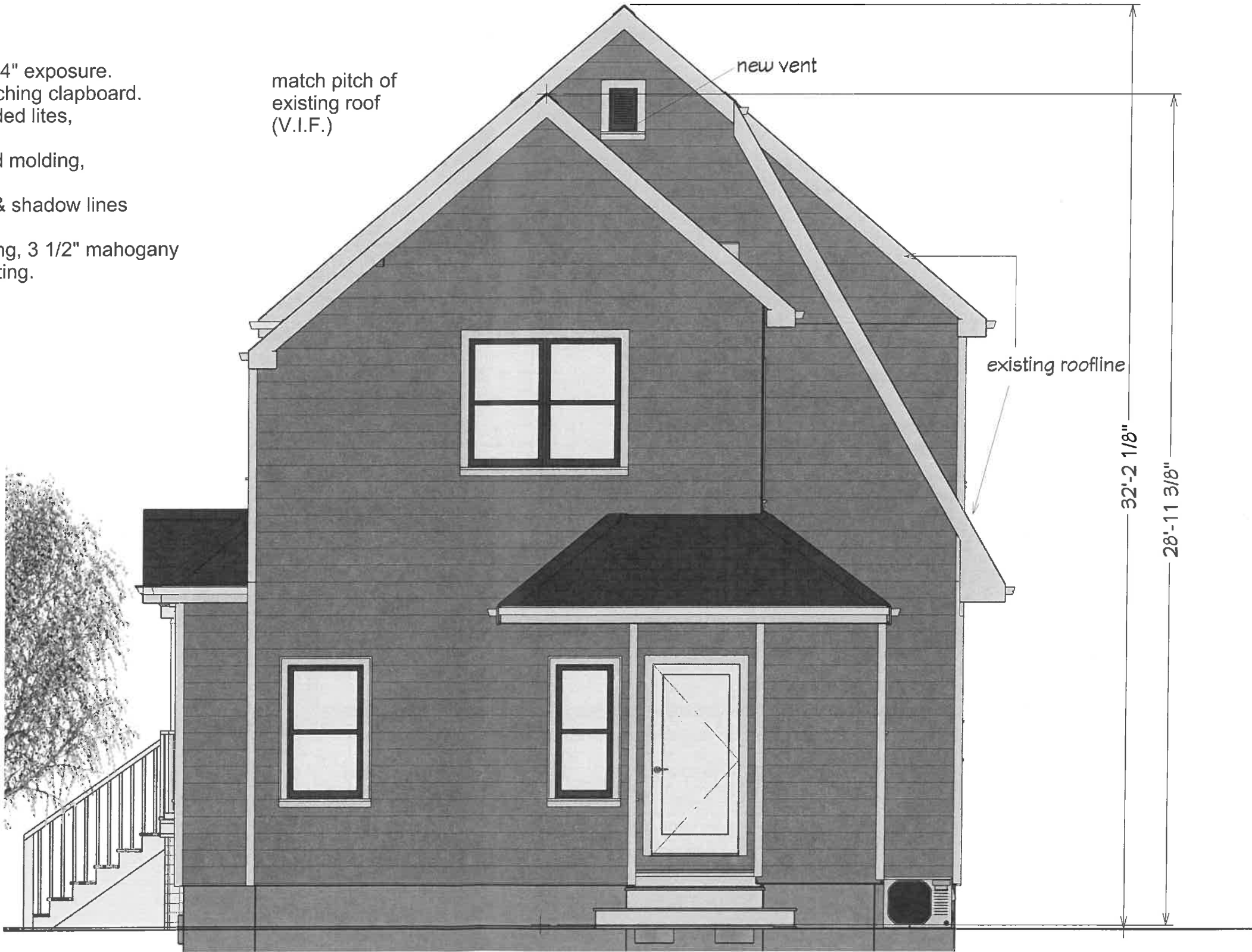
SCALE:

SHEET:

A-11

Materials Selections

Clapboard siding: Hardie Plank or similar, 4" exposure.
Insulate and re-side existing house in matching clapboard.
Double Hung windows with simulated divided lites,
similar to existing.
Window trim: 1x5" flat stock with 3/4" band molding,
similar to existing, historic sill.
Maintain or mimic roof returns, trim stock & shadow lines
wherever practical.
Rebuild front porch in same style as existing, 3 1/2" mahogany
treads, lattice and railings similar to existing.



A
A-12 PROPOSED SIDE 1 ELEVATION
Scale: 1/4" = 1'0"

--

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
Proposed Side Elevation & Materials

PROJECT DESCRIPTION:
Oishi Mamigonian
7 Cherry Street, Belmont

DRAWINGS PROVIDED BY:
steveworks LLC

DATE:

4/12/18

SCALE:

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SHEET:

A-12



proposed addition here

27'-8"

13'-8 1/4"

32'-2 1/8"

29'-0 13/16"

9'-6"

same size window
& sill height
as existing

A
A-13 PROPOSED FRONT ELEVATION
Scale: 1/4" = 1'0"

NO.	DESCRIPTION	BY	DATE
SHEET TITLE: Proposed Front			
PROJECT DESCRIPTION: Oishi Mamigonian 7 Cherry Street, Belmont			
DRAWINGS PROVIDED BY: steve works LLC			
DATE: 4/12/18			
SCALE: 			
SHEET: A-13			



Proposed Addition

A
A-14 **PROPOSED REAR ELEVATION**
Scale: 1/4" = 1'0"

Materials Selections

Clapboard siding: Hardie Plank or similar, 4" exposure (insulate and re-side existing house too).
Double Hung windows with simulated divided lites, similar to existing.
Window trim: 1x5" flat stock with 3/4" band molding, similar to existing, historic sill.
Maintain or mimic roof returns, trim stock & shadow lines wherever practical.
Rebuild front porch in same style as existing, 3 1/2" mahogany treads, lattice and railings similar to existing.

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
Proposed Rear Elevation

PROJECT DESCRIPTION:
Oishi Mamigonian
7 Cherry Street, Belmont

DRAWINGS PROVIDED BY:
steveworks LLC

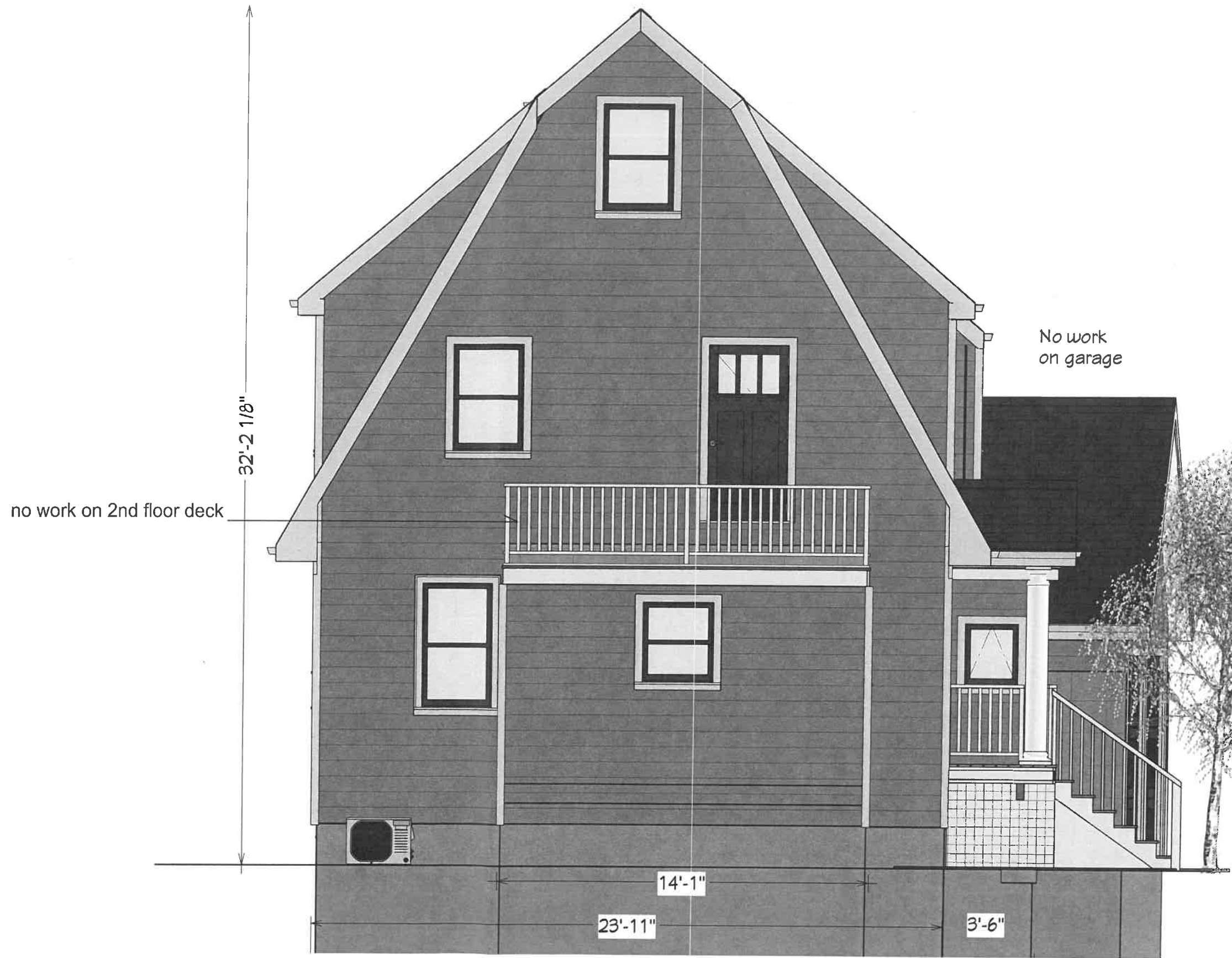
DATE:

4/12/18

SCALE:

SHEET:

A-14



A
A-15 **PROPOSED SIDE 2 ELEVATION**
Scale: 1/4" = 1'0"

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NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
Proposed Side 2

PROJECT DESCRIPTION:
Oishi Mamigonian
7 Cherry Street, Belmont

DRAWINGS PROVIDED BY:
steveworks LLC

DATE:

4/12/18

SCALE:

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SHEET:

A-15
