

RECEIVED  
TOWN CLERK  
BELMONT, MA

CASE NO. 18-10

2018 APR 25 PM 3:33

NOTICE OF PUBLIC HEARING BY THE  
PLANNING BOARD

ON APPLICATION FOR FOUR SPECIAL PERMITS

Notice is hereby given that the Belmont Planning Board will hold a public hearing on TUESDAY, MAY 8, 2018, at 7:00 PM in the Board of Selectmen's Meeting Room, Town Hall, 455 Concord Ave., to consider the application of XIWEN LU for FOUR SPECIAL PERMITS under Section 1.5.4 of the Zoning By-Laws to ALTER A NONCONFORMING STRUCTURE (front setback: Carleton Road: 20.0' allowed; 15.3' existing and proposed; front setback: Branchaud Road: 20.0' allowed: 12.5' existing and proposed; side setback: 10.0' allowed; 6.7' existing and proposed; number of stories: 2-1/2 allowed; 3-1/2 existing and proposed) IN ORDER TO CONSTRUCT A TWO-STORY ADDITION at the front of the home facing Carleton Road at 49 CARLETON ROAD located in a General Residence Zoning District.

Planning Board



Town of Belmont  
Planning Board

RECEIVED  
TOWN CLERK  
BELMONT, MA

2018 APR 25 PM 3:33

## APPLICATION FOR A SPECIAL PERMIT

Date: 2/19/18

Planning Board  
Homer Municipal Building  
19 Moore Street  
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Law of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 49 Carleton Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for the construction of a two story front addition on a single family home with existing non-conforming front and side setbacks.

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner

Print Name

Xiwen Lu

Address

49 Carleton Rd.

Daytime Telephone Number

617-816-4988



OFFICE OF COMMUNITY DEVELOPMENT  
TOWN OF BELMONT

19 Moore Street  
Homer Municipal Building  
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division  
(617) 993-2664  
Engineering Division  
(617) 993-2665  
Planning Division  
(617) 993-2666

December 28, 2017

Xiwen Lu  
49 Carleton Road  
Belmont, MA 02478

RE: Denial to Construct 2-Story Addition

Dear Xiwen Lu:

The Office of Community Development is in receipt of your building permit application for a 2-story addition at the front of your home (portion of your home facing Carleton Road), located in the General Residence (GR) Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Law (Zoning By-Law). More specifically, Section 4.2.2 of the Zoning By-Law requires a minimum 20.0' front and 10' side setbacks in the General Residence Zoning District. However, the existing and proposed side setbacks to your home are 15.3' (front setback) and 6.7' (side setback) and is therefore nonconforming.

You may alter your plans to conform to the Zoning By-Law and resubmit for a building permit or you may request two (2) Special Permits from the Planning Board under Section 1.5.4 to alter a non-conforming structure. If you choose this option, please call the Office of Community Development at (617)-993-2666 to schedule an appointment with Jeffrey Wheeler, Senior Planner, in order to begin this process.

Sincerely,

Glenn R. Clancy, P.E.  
Inspector of Buildings

## **Belmont Planning Board**

### **Special Permit Narrative Statement**

#### **49 Carleton Road**

Xiwen Lu and Zhilong Hou of 49 Carleton Road seek special permit relief in order to construct a two story front addition on a single family home with existing non-conforming front and side setbacks(15.3 existing and proposed front setbacks with 22.8 required, 6.7 existing and proposed side setbacks with 10' required).

The Lu-Hou family purchased their home at 49 Carleton Road in 2012. At that time, they did not yet have children. They now have two young children (possibly more in the future), and their parents often visit them for several weeks at a time. The current home is a 1,572 sf (TLA) two story home with three bedrooms. The proposed 292 sf addition would increase the TLA to 1,864 sf with four bedrooms.

Due to the long narrow proportion of the site, combined with the fact that it is a corner lot, much of the existing home is already non-conforming. At the beginning of the design process, the Lu-Hous and their architect explored different options to add the needed fourth bedroom. We considered creating a walk-up third floor bedroom, but that extra flight of stairs would have been too isolated from their young children and problematic for their elderly parents; the space would have required a large dormer in order to meet building code for the head height at the stair; the dormer would have also required a special permit; and it would have had a more dramatic and potentially undesirable impact on the neighborhood. We also considered a rear addition, however that would also have required a special permit and really did not work in terms of the interior layout (would have to travel through one bedroom to get to the new bedroom).

The proposed addition will have a minimal impact and will be consistent with the architecture and scale of the neighborhood (see attached photographs). The proposed 292 sf of living space is essentially an extrapolation of an existing massing with a hip roof, filling in the corners and adding a second floor above an existing one story front study. On both the Branchaud Road front setback and the side setback, the proposed addition does not project as far into the setback as the existing structure – existing structure is currently 12.5' from Branchaud Road and proposed addition would be 16.6'; existing structure is currently 6.7' from side property line and proposed addition would be 8.7'. On Carleton Road front setback, the proposed structure would not change the current setback. The proposed front porch will be a marked improvement. The current front entry has a concrete steps and landing that are turned to the side. The proposed front entry will have a brick landing and steps oriented toward the street as are the front steps of all of the other homes in the vicinity with one exception. The proposed front entry will have side lites, trim details and lighting to celebrate the entry, again similar to many examples in the neighborhood. Other material improvements include Hardie siding (to replace the current vinyl siding), Andersen double-hung windows, and architectural roof shingles.

The Lu-Hou family has shared these plans with and received enthusiastic support from many neighbors including abutters. The proposed design is in harmony with the neighborhood vernacular and the size of the proposed home is modest compared to many in the neighborhood. The proposed design is in keeping with the intent of Town Meeting and the Planning Board Special permit criteria (Section 1.5.4.B) and is not substantially detrimental to the neighborhood. In fact, we believe that the proposed home represents a significant improvement to the property and therefore the neighborhood as a whole.

Thank you for your consideration on this matter.

**49 Carleton Road— existing conditions**



Front elevation – Carleton Road



Rear elevation



Front elevation – Branchaud Road



Side elevation

## 49 Carleton Road – neighborhood context



47 Carleton Road



41 Carleton Road



37 Carleton Road



24 Carleton Rd

**49 Carleton Road– neighborhood context**



**3 Carleton Road**



**9 Carleton Road**



**44 Warwick Road**



**56 Raleigh Road**



**49 Carleton Road— neighborhood context**



52 Raleigh Road



39 Raleigh Road



45 Raleigh Road



36 Bellevue Road



**49 Carleton Road– neighborhood context**



49 Raleigh Road



53 Raleigh Road



30 Bellevue Rd



56 Carleton Road

# Zoning Compliance Check List

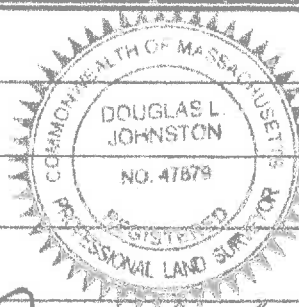
## (Registered Land Surveyor)

Property Address: 49 CARLTON RD, BELMONT Zone: GA

Surveyor Signature and Stamp: \_\_\_\_\_ Date: 2-18-18

	REQUIRED	EXISTING	PROPOSED
Lot Area	5,000 S.F.	6,099 S.F.	6,099 S.F.
Lot Frontage	50'	47.86'	47.86'
Floor Area Ratio	N/A		
Lot Coverage	30%	15.6%	16.9%
Open Space	40%	73.9%	72.6%
Front Setback	22.8'	15.3'	15.3'
Carlton Road			
Front Setback	22.8'	12.5'	12.5'
Branchaud Road			
Side Setback	10'	6.7'	6.7'
Rear Setback	26.3'	76.6'	76.6'
Building Height	33'	32.03'	32.03'
Stories	2-1/2	3-1/2	3-1/2
1/2 Story Calculation See notes			

### NOTES:



*Douglas L. Johnston*  
2/18/18

DLJ GEOMATICS  
276 NORTH STREET  
WEYMOUTH, MA 02191  
781-812-0457

LANDSURV@COMCAST.NET  
WWW.DLJGEO.COM

NOVEMBER 11, 2017

49 CARLETON RD.

BELMONT, MA 02478

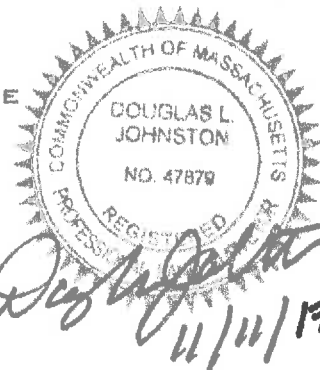
**BASEMENT CALCULATIONS:**

THE FOUNDATION WALLS ARE 7.00' HIGH. THERE ARE FOUR SEGMENTS.

SEGMENT	LENGTH:	AREA:	AREA BELOW GRADE:
A	24.6'	172.20 S.F.	95.20 S.F.
B	28.6'	200.20 S.F.	104.96 S.F.
C	24.6'	172.20 S.F.	74.29 S.F.
D	28.6'	200.20 S.F.	92.09 S.F.
TOTAL		744.80 S.F.	366.54 S.F.

$366.54/744.80 = 49.21\%$

49.21% OF THE TOTAL FOUNDATION WALL IS BELOW GRADE



17 CARLETON RD.  
BELMONT

SEG "A"

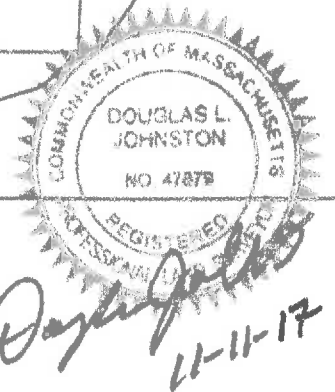
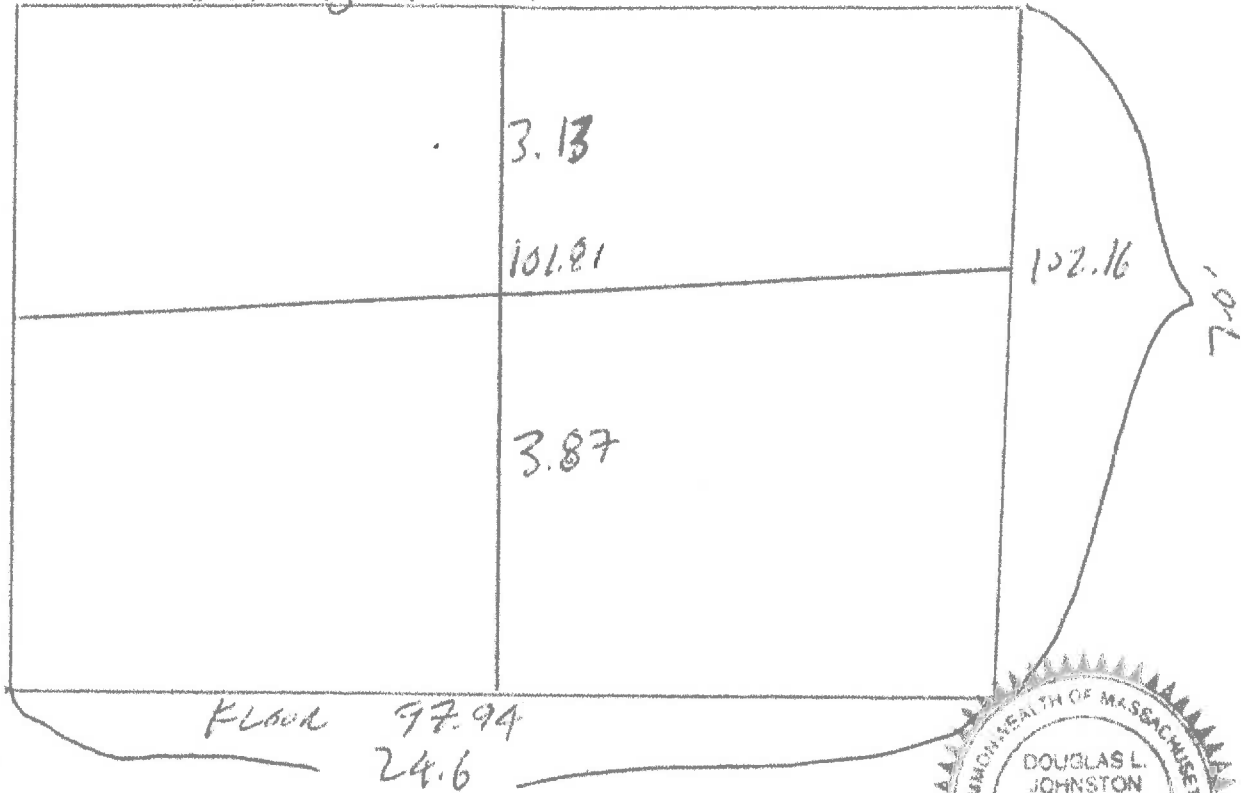
24.6 TOTAL  
FACE  
OF  
WALL  
 $\times 7.0$   
172.2

4.6 BELOW  
GRADE  
3.87 101.45  
95.20

75.2 = 65.3  
172.2

55.3%  
Below grade

CEILING = 104.94



SEG "B"

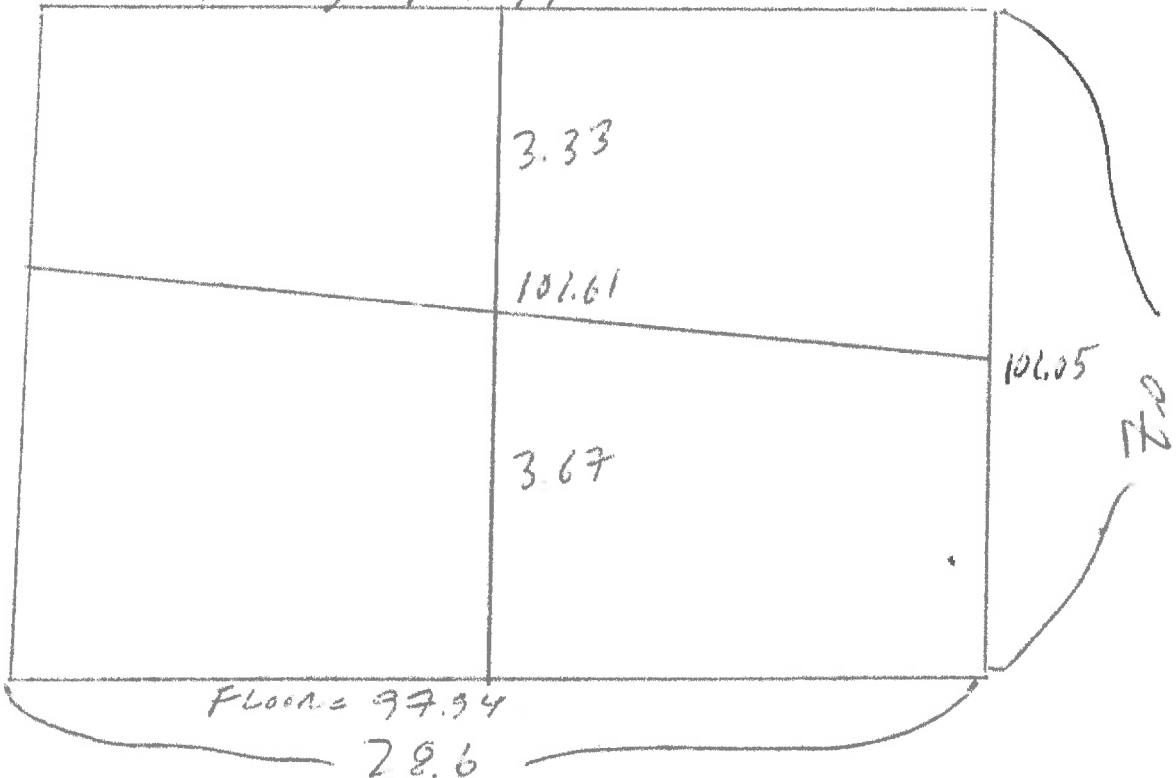
8.6 TOTAL  
FACE  
OF  
WALL  
 $\times 7.0$   
206.2

8.6 BELOW  
GRADE  
3.67 102.16  
104.96

104.96 52.4  
206.2

52.4%  
Below grade

CEILING = 104.94



49 CARLETON RD.  
BELMONT

SEG 'C'

4.6  
7.0  
72.2

TOTAL  
FACE  
OF  
WALL

101.05

4.6  
3.02  
74.29

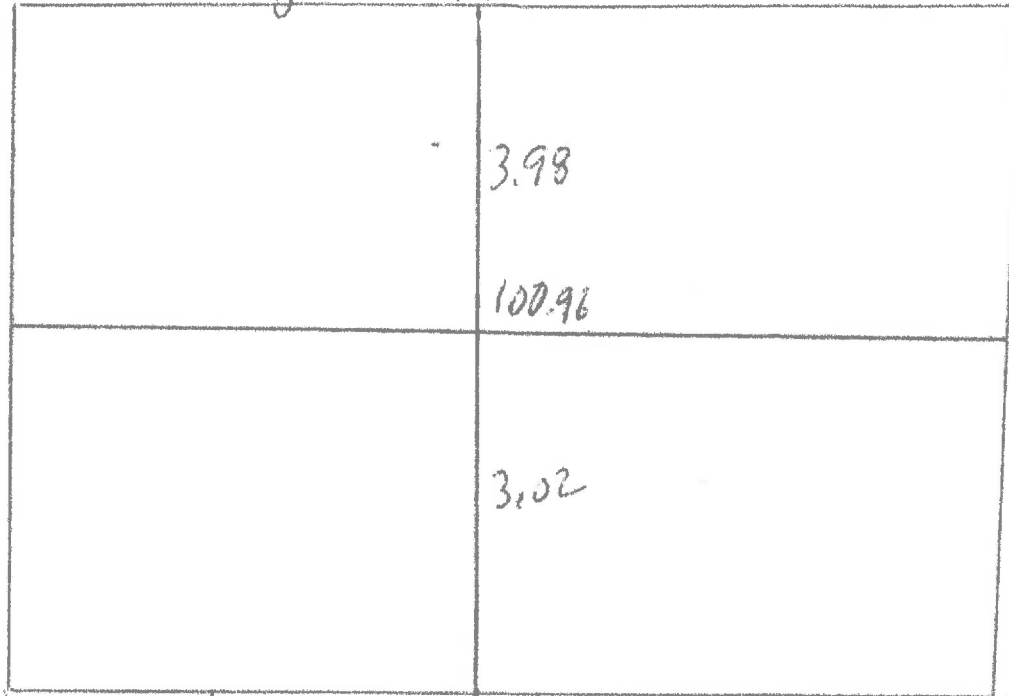
REMAIN  
GRADE

74.29 = 43.5

172.2

43.5%  
Below  
grade

CEILING = 104.94



3.98

100.96

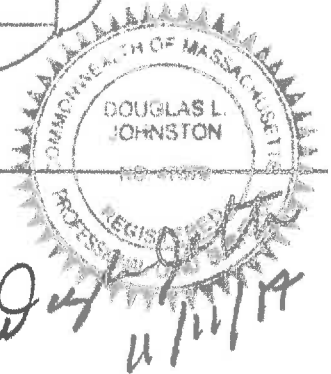
3.02

FLOOR = 97.94

24.6

106.86

7.0



SEG 'D'

8.6  
7.0  
100.2

TOTAL  
FACE  
OF  
WALL

100.86

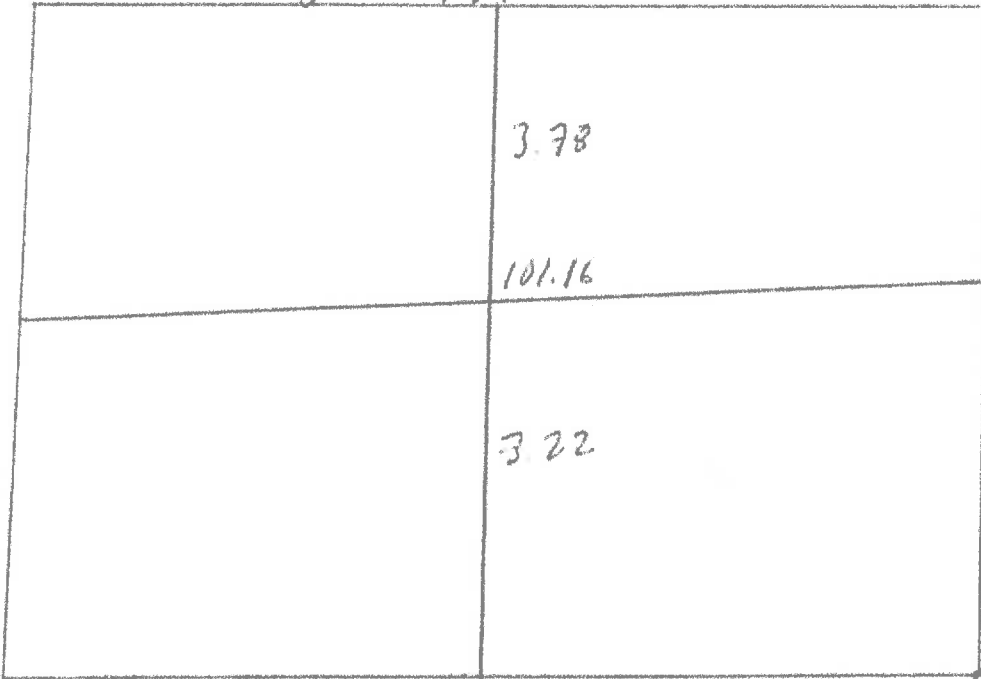
8.6  
3.22  
92.09

92.09 = 46

200.2

46%  
Below  
grade

CEILING = 104.94



3.78

101.16

3.22

FLOOR = 97.94

28.6

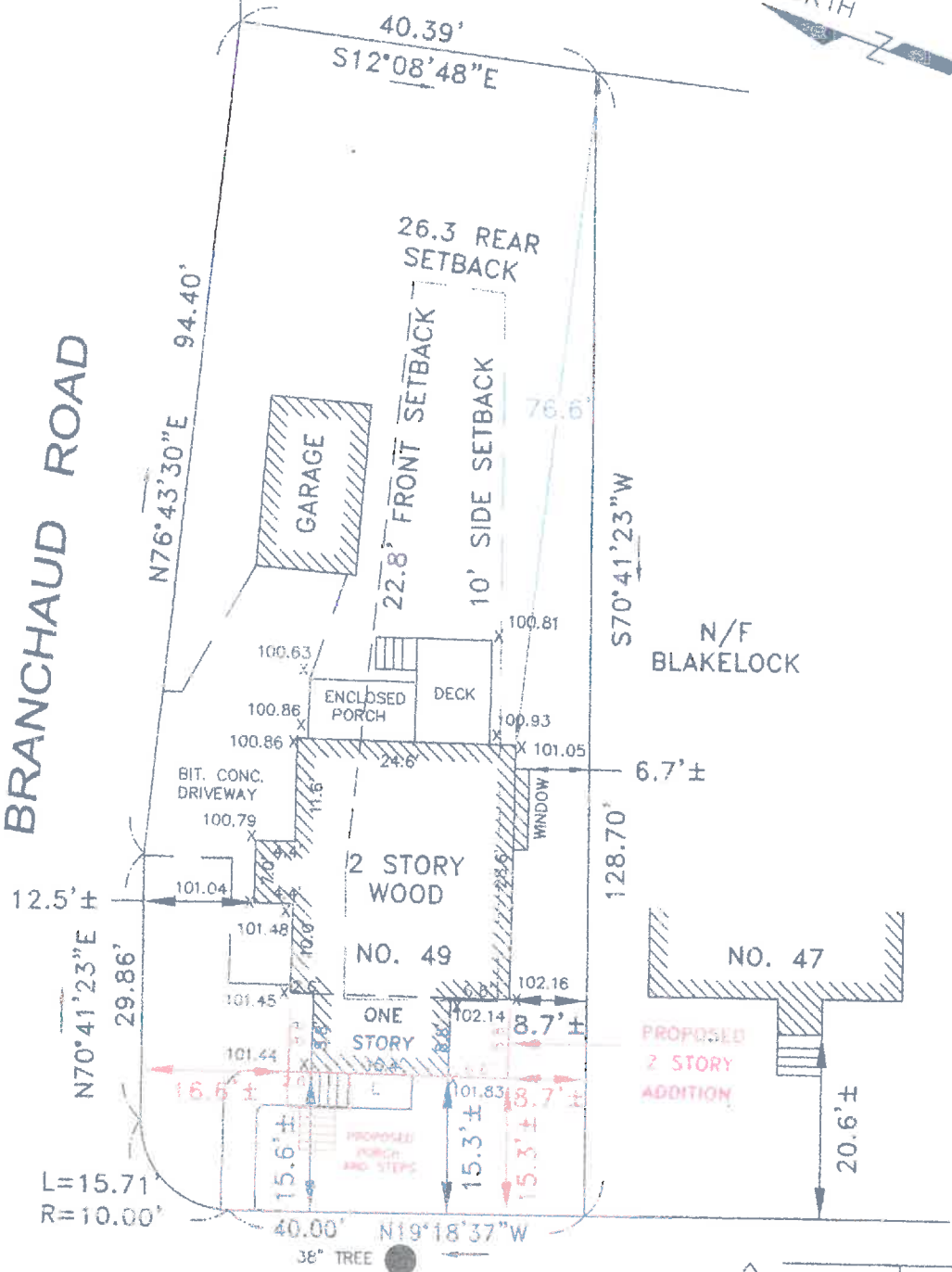
101.45

7.0

BRANCHAUD ROAD

N/F  
TOWN OF BELMONT

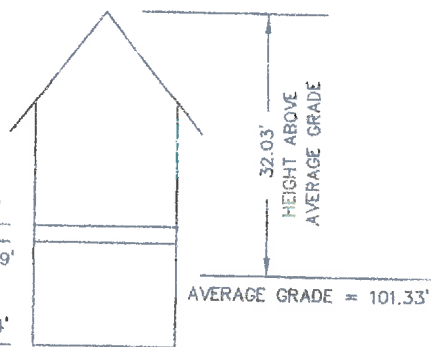
NORTH



LOT = 6,099 S.F.±  
BUILDING = 735 S.F.±  
GARAGE = 217 S.F.±  
DRIVEWAY = 638 S.F.±  
EXISTING BLDG. COV. = 15.6%  
PROPOSED NET ADDITION = 81 S.F.±  
PROP. BLDG. COV. = 16.9%  
EXISTING OPEN SPACE = 73.9%  
PROP. OPEN SPACE = 72.6%

CARLETON ROAD

TOP OF CEILING = 104.94'  
TOP OF FOUNDATION = 104.69'  
BASEMENT FLOOR = 97.94'



( IN FEET )  
1 inch = 20 ft.

- NOTES
1. SEE DEED RECORDED IN MIDDLESEX COUNTY REGISTRY OF DEEDS IN DEED BOOK 21445, PAGE 199.
  2. SEE PLAN RECORDED IN MIDDLESEX COUNTY REGISTRY OF DEEDS IN PLAN BOOK 280, PLAN 43.
  3. SUBJECT PARCEL IS LOCATED IN GENERAL RESIDENCE ZONE.
  4. SUBJECT PARCEL IS LOCATED IN FLOOD ZONE X AS SHOWN ON PANEL 25017C0418E WITH AN EFFECTIVE DATE OF JUNE 4, 2010.
  5. ONE PUBLIC SHADE TREE IS LOCATED WITHIN THE LIMITS OF THE PROPERTY FRONTAGE OF THE SUBJECT PROPERTY.

CERTIFIED PLOT PLAN  
IN BELMONT, MA  
SCALE: 1"=20' NOVEMBER 9, 2017  
DLJ GEOMATICS  
PROFESSIONAL LAND SURVEYING  
276 NORTH STREET  
WEYMOUTH, MA 02191  
(781) 812-0457  
49 CARLETON RD BELMONT.dwg

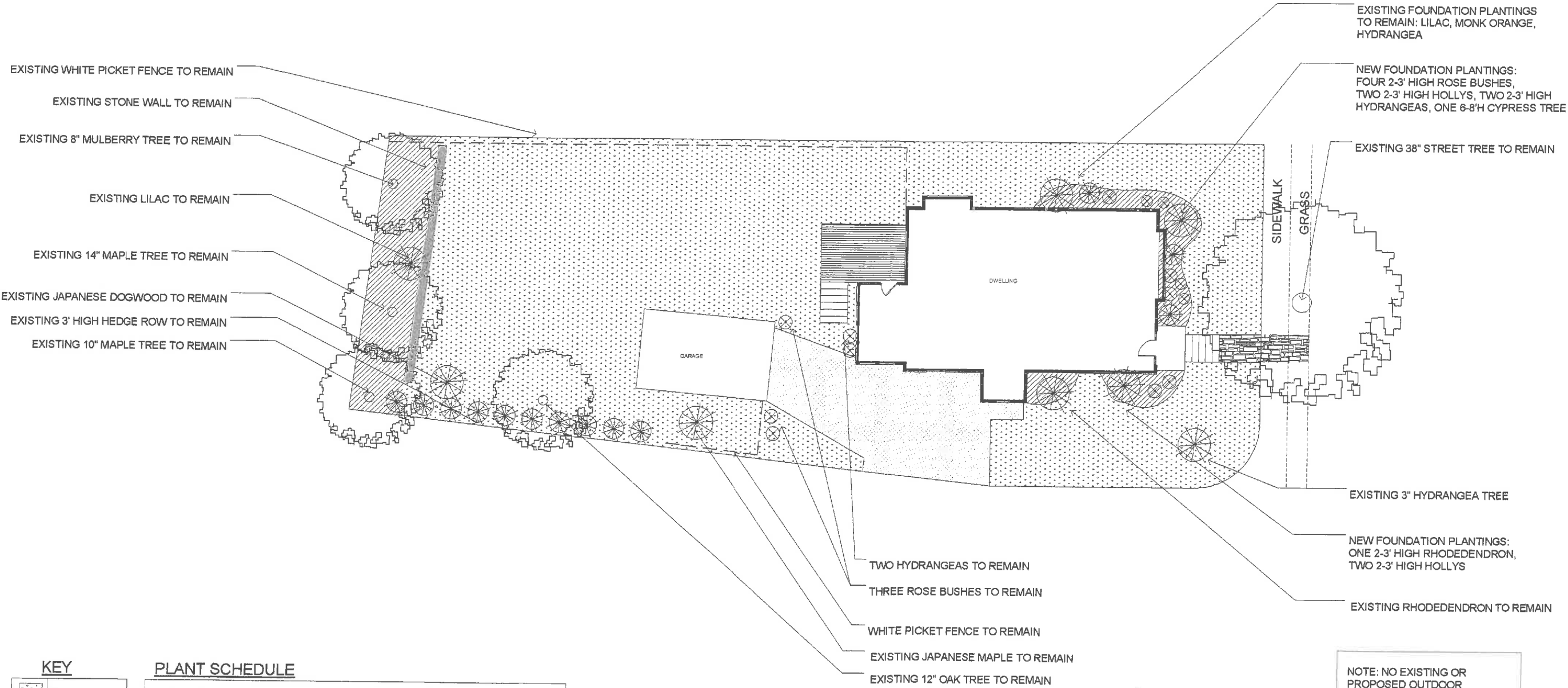
*Dayle Johnston*



2-18-18

PROFESSIONAL LAND SURVEYOR DATE





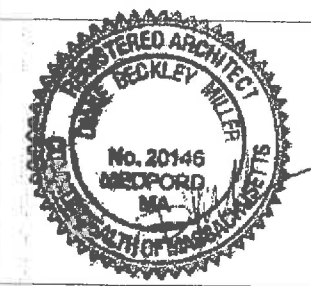
KEY	
	GRASS
	MULCH
	HARDWOOD DECK
	PAVERS
	ASPHALT
	STONE WALL

PLANT SCHEDULE			
QTY	PLANT		
8	EXISTING TREE	1	NEW RHODEDENDRON
2	EXISTING LILAC	4	NEW NEW HOLLY
3	EXISTING ROSE BUSH	4	NEW NEW ROSE BUSH
3	EXISTING HYDRANGEA	3	NEW NEW HYDRANGEA
1	EXISTING MONK ORANGE	1	NEW CYPRESS TREE
1	EXISTING RHODEDENDRON		
1	EXISTING HEDGE ROW		

NOTE: NO EXISTING OR PROPOSED OUTDOOR MECHANICAL EQUIPMENT ON PROPERTY.

Architect:  
Miller Design LLC  
52 Statler Road  
Belmont MA 02478  
617-993-3157

Date:	Issued for:
10/24/17	SCHEMATIC DESIGN
11/8/17	PLANNING BD REVIEW
2/19/18	PLANNING BD REVIEW



LU-HOU RESIDENCE  
49 CARLETON ROAD  
BELMONT MA 02478

LANDSCAPE PLAN

Sheet Number:

L1



PLANNING BOARD  
REVIEW SET  
FEBRUARY 19, 2018

PROJECT INFORMATION:

ZONING GR:

REQUIRED:  
FRONT YARD SETBACK: AVERAGE  
REAR YARD SETBACK: 16'-0"  
SIDE YARD SETBACK: 10'-0"  
MAX HEIGHT: 33' AND 2 1/2 STORIES

ACTUAL:  
SEE CERTIFIED PLOT PLAN

BASEMENT IS LESS THAN 60% BELOW GRADE -  
SEE CERTIFIED PLOT PLAN FOR CALCULATIONS.

EXISTING GROSS FLOOR AREA:

680 SF BASEMENT  
939 SF FIRST FLOOR  
680 SF SECOND FLOOR  
78 SF ATTIC  
2,377 SF TOTAL

30% OF 2,377 SF = 713.1 SF MAX ADDITION

NEW ADDITION GROSS FLOOR AREA:

79 SF FIRST FLOOR  
213 SF SECOND FLOOR  
62 SF ATTIC  
354 SF TOTAL  
354 SF < 713.1 SF THEREFORE CONFORMS

DRAWING LIST

A1 COVER SHEET  
A2 EXISTING BASEMENT PLAN  
A3 EXISTING FIRST FLOOR PLAN  
A4 EXISTING SECOND FLOOR PLAN  
A5 EXISTING ATTIC PLAN  
A6 EXISTING ELEVATIONS  
A7 NEW BASEMENT PLAN  
A8 NEW FIRST FLOOR PLAN  
A9 NEW SECOND FLOOR PLAN  
A10 NEW ATTIC PLAN  
A11 NEW ELEVATIONS

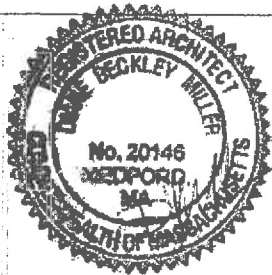
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LU-HOU RESIDENCE  
49 CARLETON ROAD  
BELMONT MA 02478

COVER SHEET

Sheet  
Number:

A1

ENERGY AUDIT:

REFERENCE CH 11 - ENERGY EFFICIENCY 2015 INTERNATIONAL RESIDENTIAL CODE W/ MASS  
AMENDMENTS.

PRESCRIPTIVE OPTION FOR RESIDENTIAL ADDITION (401.3):

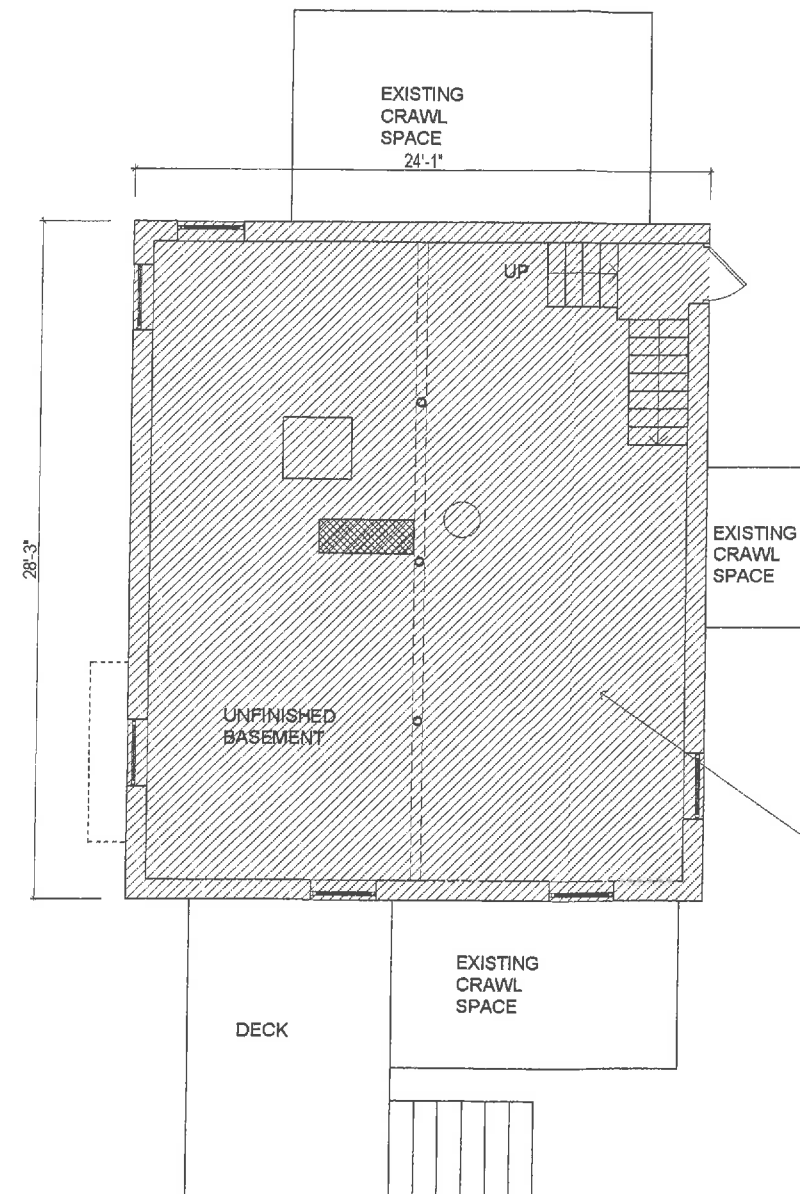
1. RENOVATION TO COMPLY WITH ENERGY STAR QUALIFIED HOMES THERMAL BYPASS INSPECTION  
CHECKLIST. INSULATION VALUES AS FOLLOWS: R49 ROOF R-VALUE, R20 WALL R-VALUE, R15/19  
BASEMENT / CRAWL SPACE WALL R-VALUE.
2. RENOVATION TO COMPLY WITH ENERGY STAR PROGRAM REQUIREMENTS FOR RESIDENTIAL  
WINDOWS, DOORS, AND SKYLIGHTS - VERSION 5.0. ALL NEW WINDOW GLAZING TO BE .30 U FACTOR AND  
SKYLIGHTS TO BE .55 U-FACTOR.
3. HEATING / COOLING DUCTS TO BE SEALED AND TESTED TO MEET REQUIREMENTS OF 401.3.

LIGHTING LEGEND

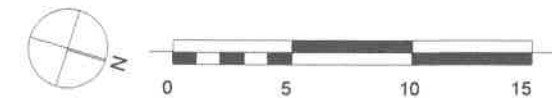
- RECESSED LED CAN LIGHT - AS SELECTED BY OWNER
- CEILING MOUNTED PENDANT - AS SELECTED BY OWNER
- CEILING MOUNTED DOME LIGHT -  
AS SELECTED BY OWNER
- WALL MOUNTED SCONCES AS SELECTED BY OWNER
- ✱ CEILING FAN WITH INTEGRAL LIGHT - AS SELECTED BY OWNER
- S.D. SMOKE DETECTOR - NOTE ALL NEW AND EXISTING SMOKE DETECTORS TO BE  
HARD-WIRED PER CODE
- S/CO HARD-WIRED SMOKE / CARBON MONOXIDE DETECTOR
- ▲ DATA CONNECTION
- △ TELEPHONE / DATA CONNECTION
- ⚡ ELECTRIC OUTLET (SPECIFIC LOCATIONS ONLY - ALL OUTLETS AS  
REQUIRED BY CODE ARE NOT SHOWN ON PLANS)

SYMBOL LEGEND

- WALL TO BE DEMOLISHED
- ===== EXISTING WALL TO REMAIN
- ===== NEW WALL
- ◊ INTERIOR ELEVATION
- ◊ SECTION
- 5 DOOR TAG
- Ⓑ WINDOW TAG



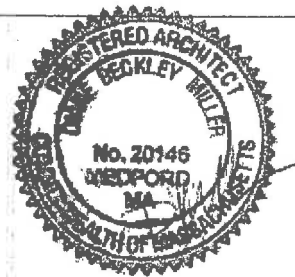
1 PLAN  
SCALE: 1/8" = 1'



Architect:  
Miller Design LLC  
52 Statler Road  
Belmont MA 02478  
617-993-3157

Date: Issued for:

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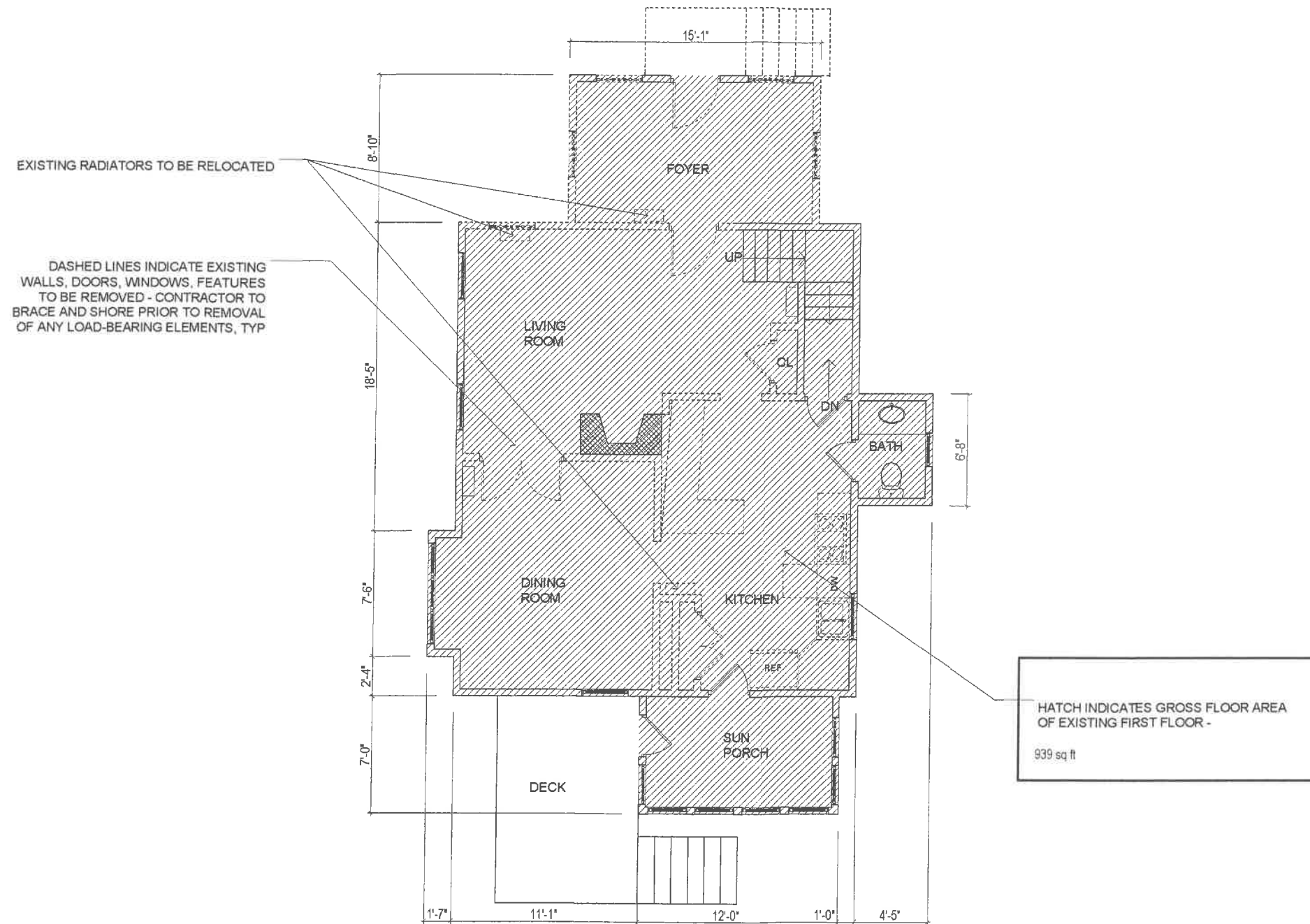


LU-HOU RESIDENCE  
49 CARLETON ROAD  
BELMONT MA 02478

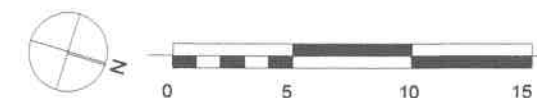
EXISTING  
BASEMENT

Sheet  
Number:

A2



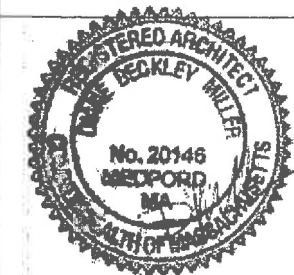
1 PLAN  
SCALE: 1/8" = 1'



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52 Staffer Road  
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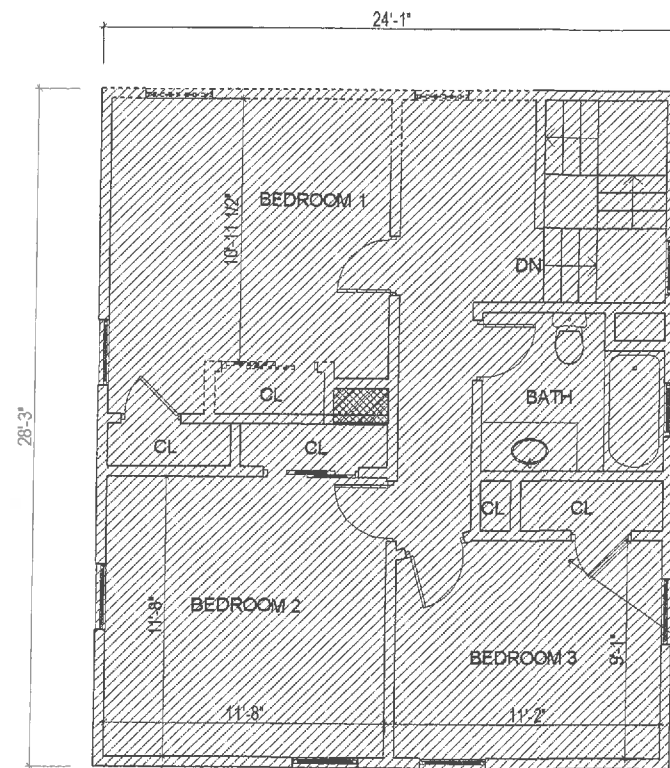


LU-HOU RESIDENCE  
49 CARLETON ROAD  
BELMONT MA 02478

EXISTING  
FIRST FLOOR

Sheet  
Number:

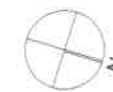
A3



HATCH INDICATES GROSS FLOOR AREA  
OF EXISTING SECOND FLOOR -

680 sq ft

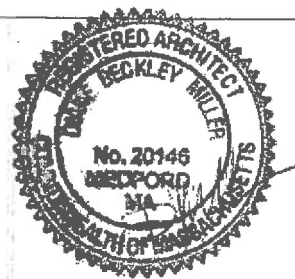
1 PLAN  
SCALE: 1/8" = 1'



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Belmont MA 02478  
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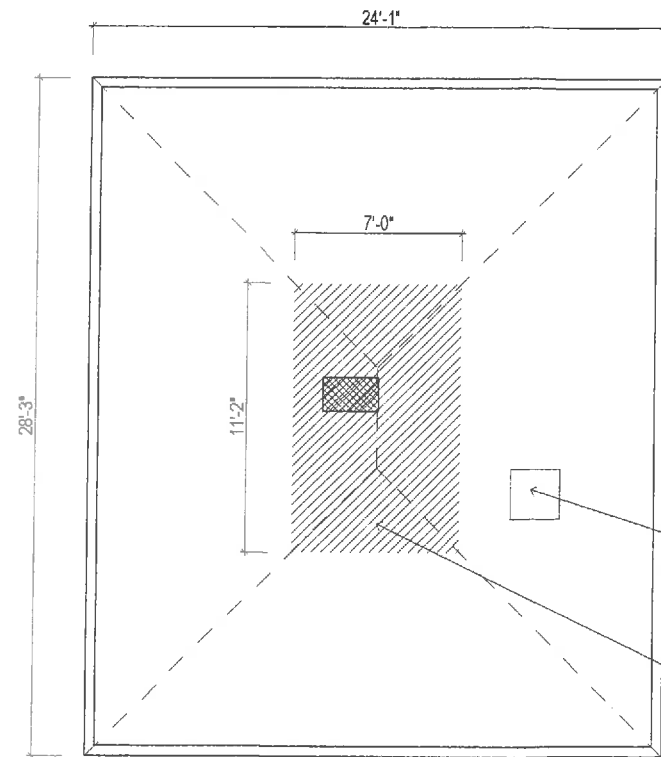


LU-HOU RESIDENCE  
49 CARLETON ROAD  
BELMONT MA 02478

EXISTING  
SECOND FLOOR

Sheet  
Number:

A4



ACCESS HATCH

HATCH INDICATES GROSS FLOOR AREA  
OF EXISTING ATTIC SPACE WITH CEILING  
HEIGHT OF 6' OR GREATER.  
78 sq ft

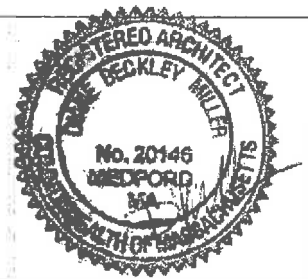
1 PLAN  
SCALE: 1/8" = 1'



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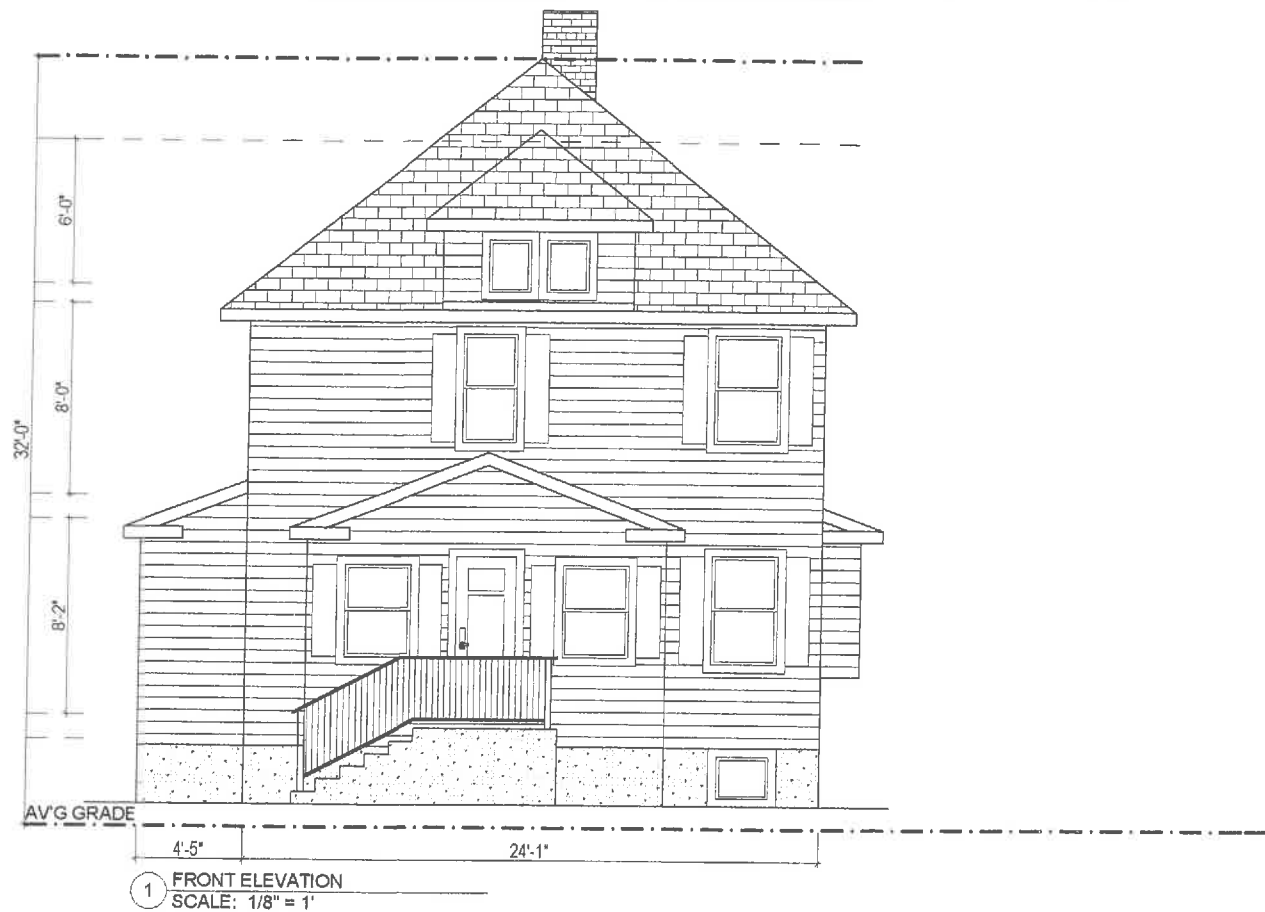
LU-HOU RESIDENCE  
49 CARLETON ROAD  
BELMONT MA 02478

EXISTING  
ATTIC

Sheet  
Number:

A5

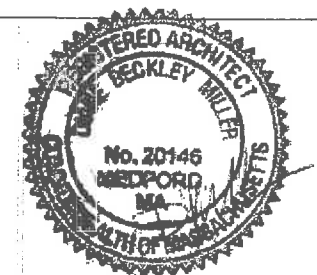




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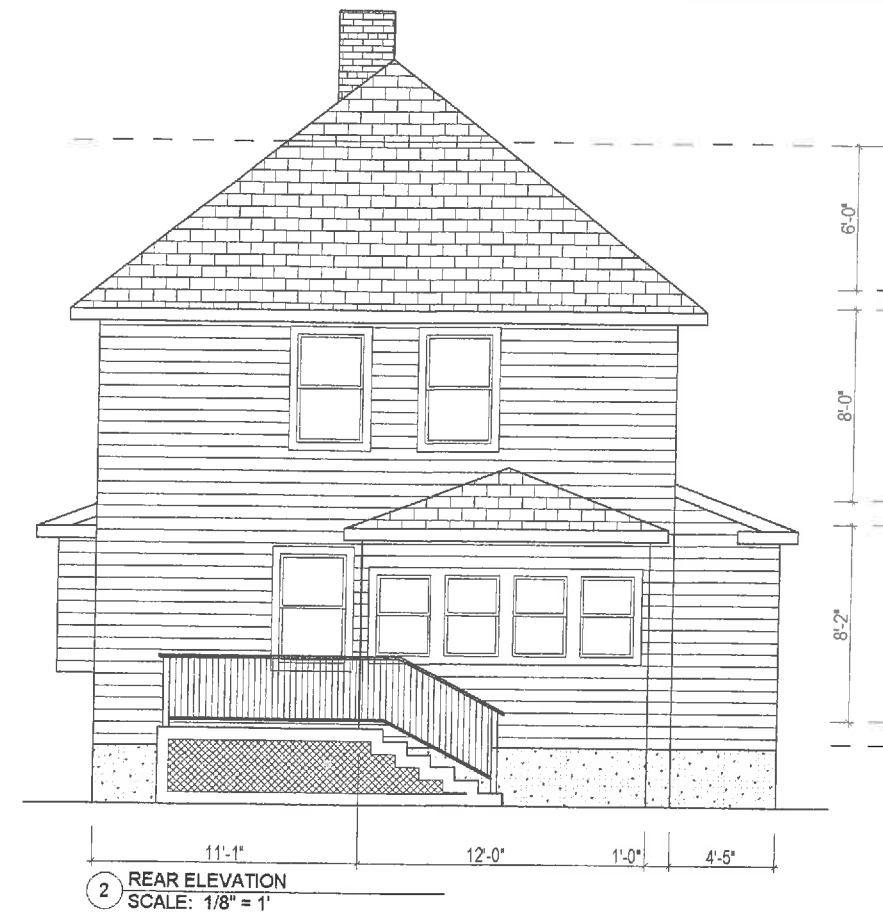


LU-HOU RESIDENCE  
49 CARLETON ROAD  
BELMONT MA 02478

EXISTING  
ELEVATIONS

Sheet  
Number:

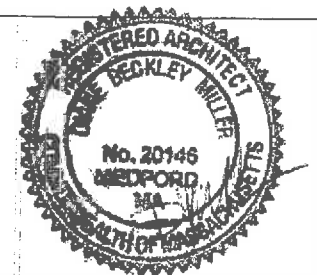
A6



Architect:  
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Belmont MA 02478  
617-993-3167

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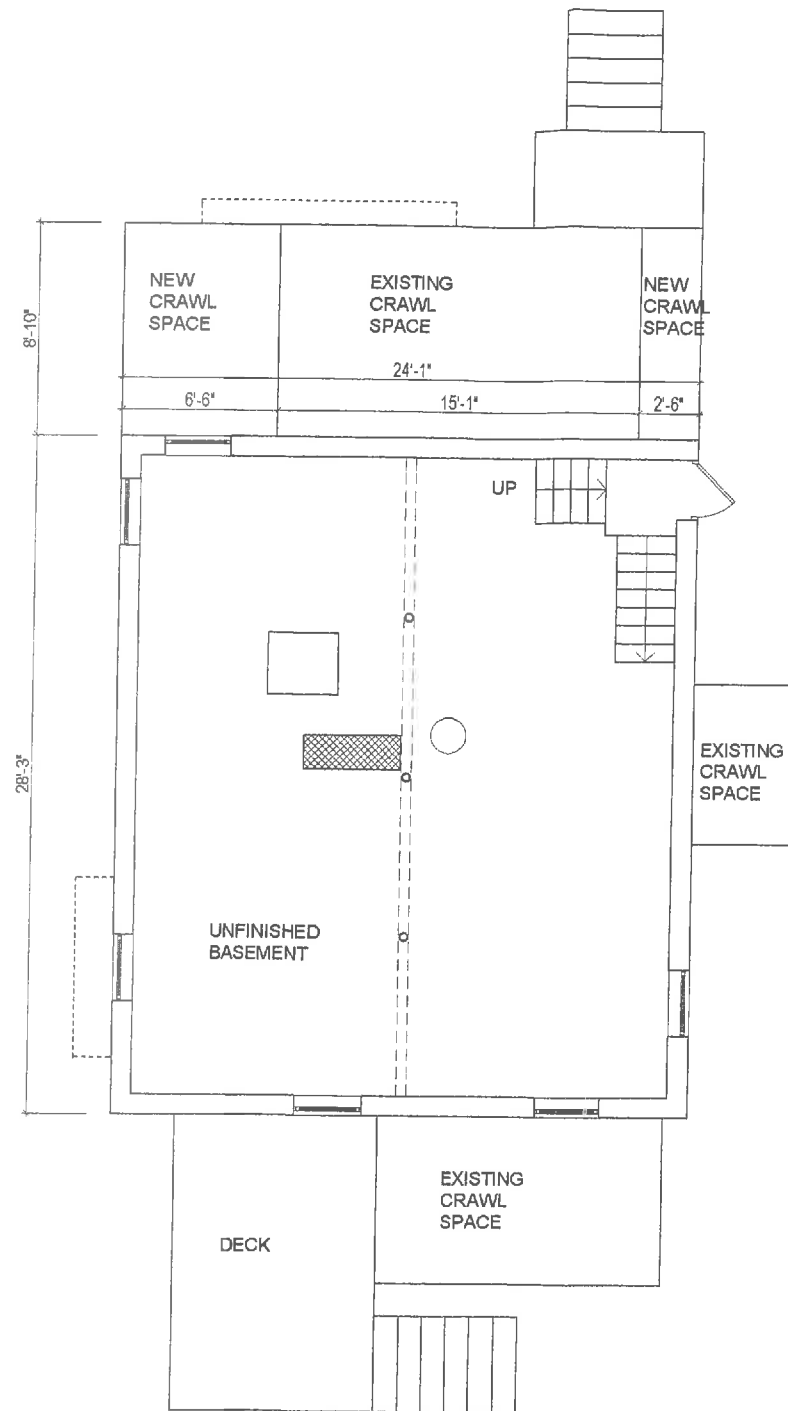


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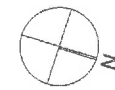
EXISTING  
ELEVATIONS

Sheet  
Number:

A6



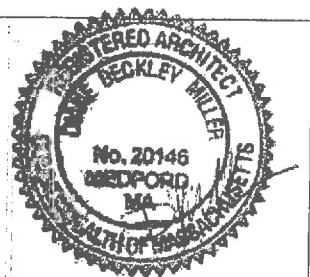
1 PLAN  
SCALE: 1/8" = 1'



Architect:  
Miller Design LLC  
52 Statler Road  
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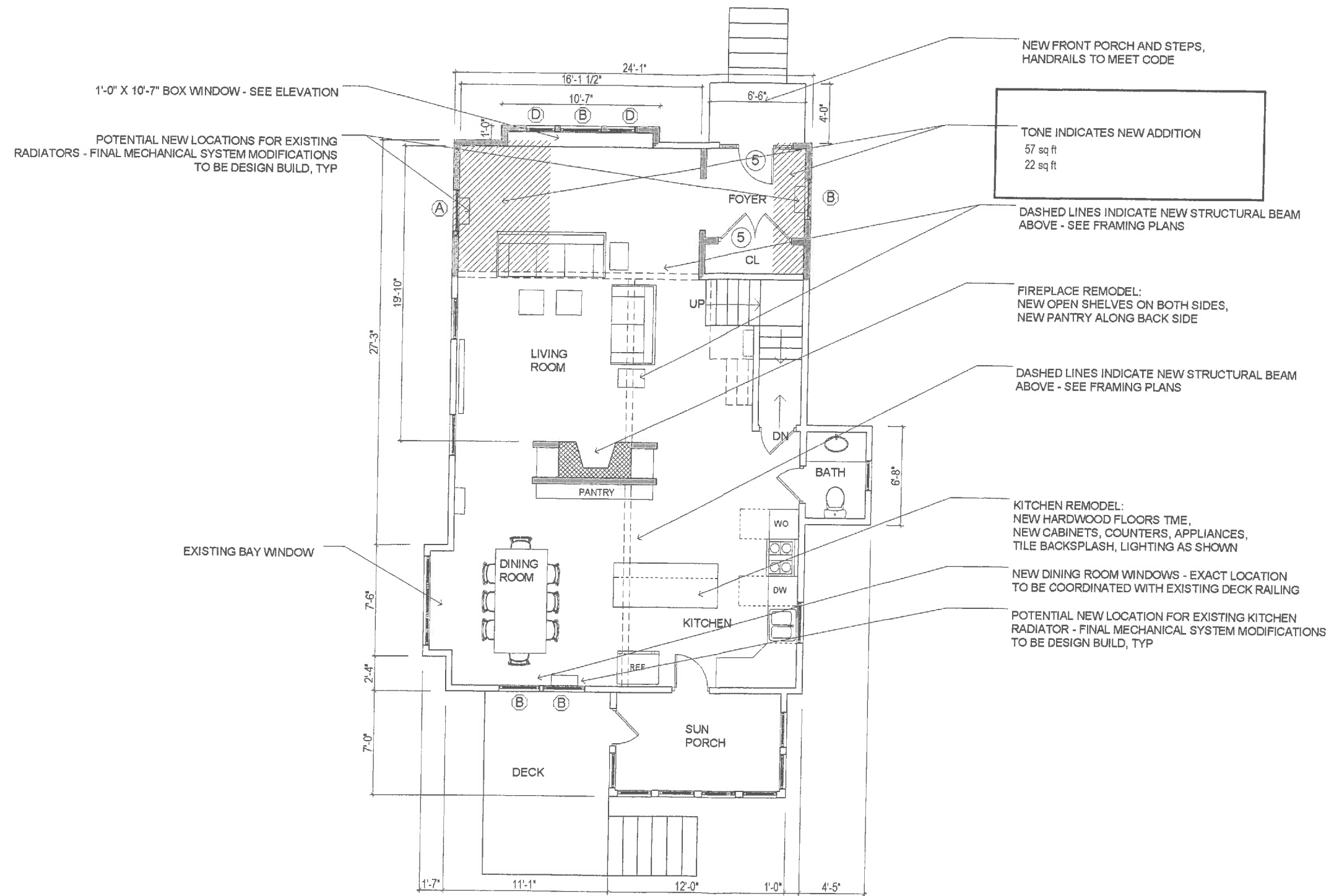


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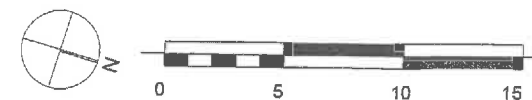
NEW  
BASEMENT

Sheet  
Number:

A7



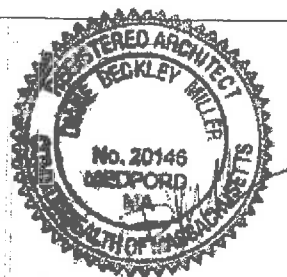
1 PLAN  
SCALE: 1/8" = 1'



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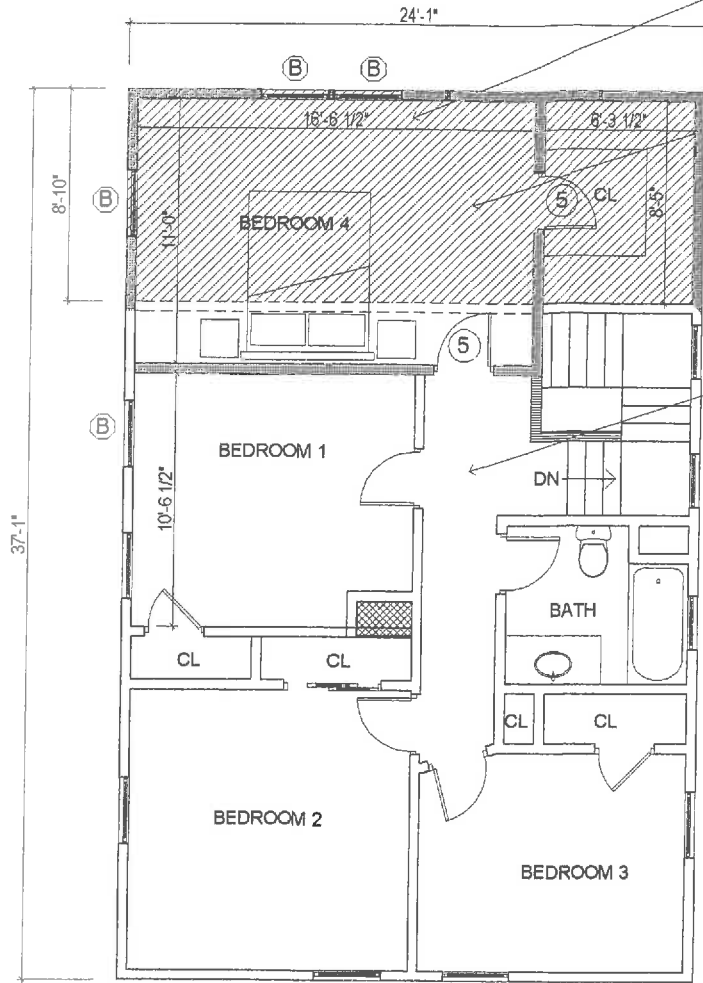


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NEW FIRST  
FLOOR PLAN

Sheet  
Number:

A8



NEW RADIATOR OR BASEBOARD HEAT IN NEW BEDROOM -  
FINAL MECHANICAL SYSTEM MODIFICATIONS  
TO BE DESIGN BUILD, TYP

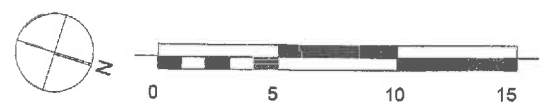
TONE INDICATES NEW ADDITION

213 sq ft

SECOND FLOOR AREA:

893 sq ft

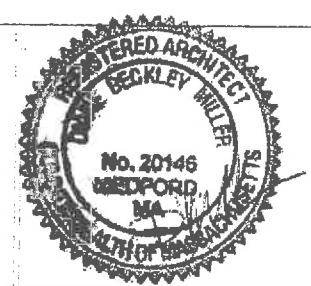
1 PLAN  
SCALE: 1/8" = 1'



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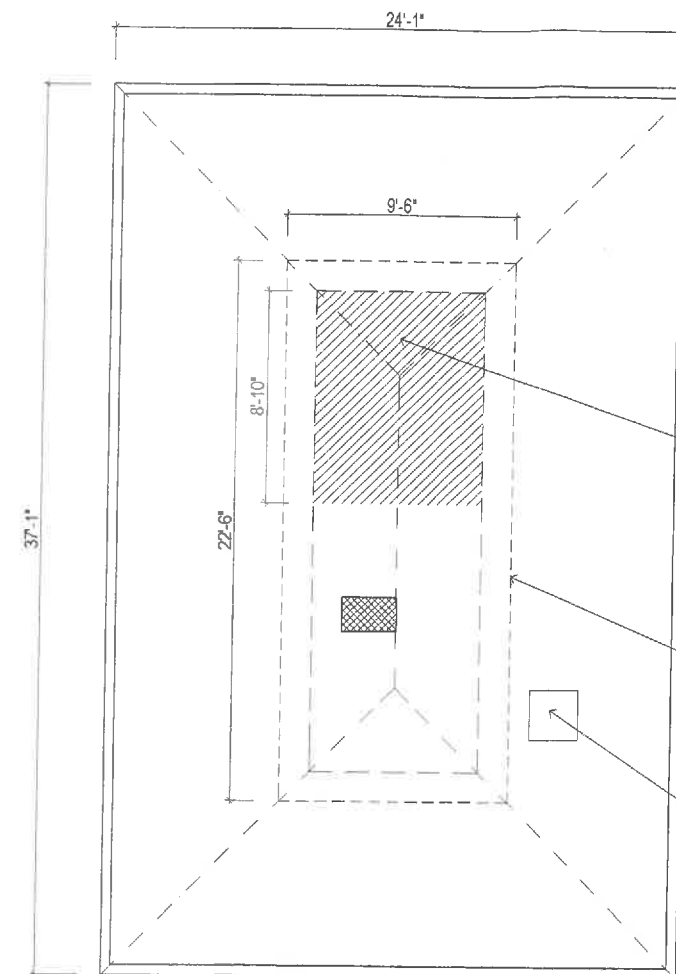


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NEW SECOND  
FLOOR PLAN

Sheet  
Number:

A9



HATCH INDICATES GROSS FLOOR AREA  
OF NEW ATTIC SPACE WITH CEILING  
HEIGHT OF 6' OR GREATER -  
62 sq ft

DASHED LINE INDICATES PORTION OF  
ATTIC SPACE WITH CEILING HEIGHT  
OF 5' OR GREATER -  
214 sq ft

ACCESS HATCH

HALF STORY AREA CALCULATIONS:

SECOND FLOOR AREA = 893 SF

ALLOWABLE: MAX 535.8 SF W/ CEILING HEIGHT OF 5' OR  
GREATER (BASED ON 60% OF 893 SF SECOND FLOOR).

ACTUAL: 214 SF  
(AREA W/ CEILING HEIGHT OF 5' OR GREATER IS  
DESIGNATED BY SHORT DASHED LINES)

HALF STORY PERIMETER CALCULATIONS:

SECOND FLOOR PERIMETER = 122'-4"

ALLOWABLE: MAX 61'-2" W/ RAFTER BOTTOMS AT 3' OR  
GREATER (BASED ON 50% OF 122'-4" PERIMETER).

ACTUAL: 0

1 PLAN  
SCALE: 1/8" = 1'



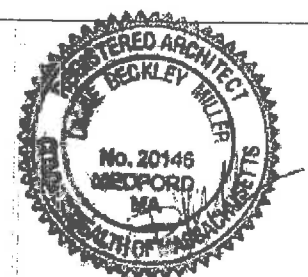
Architect:  
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NEW  
ATTIC

Sheet  
Number:

A10



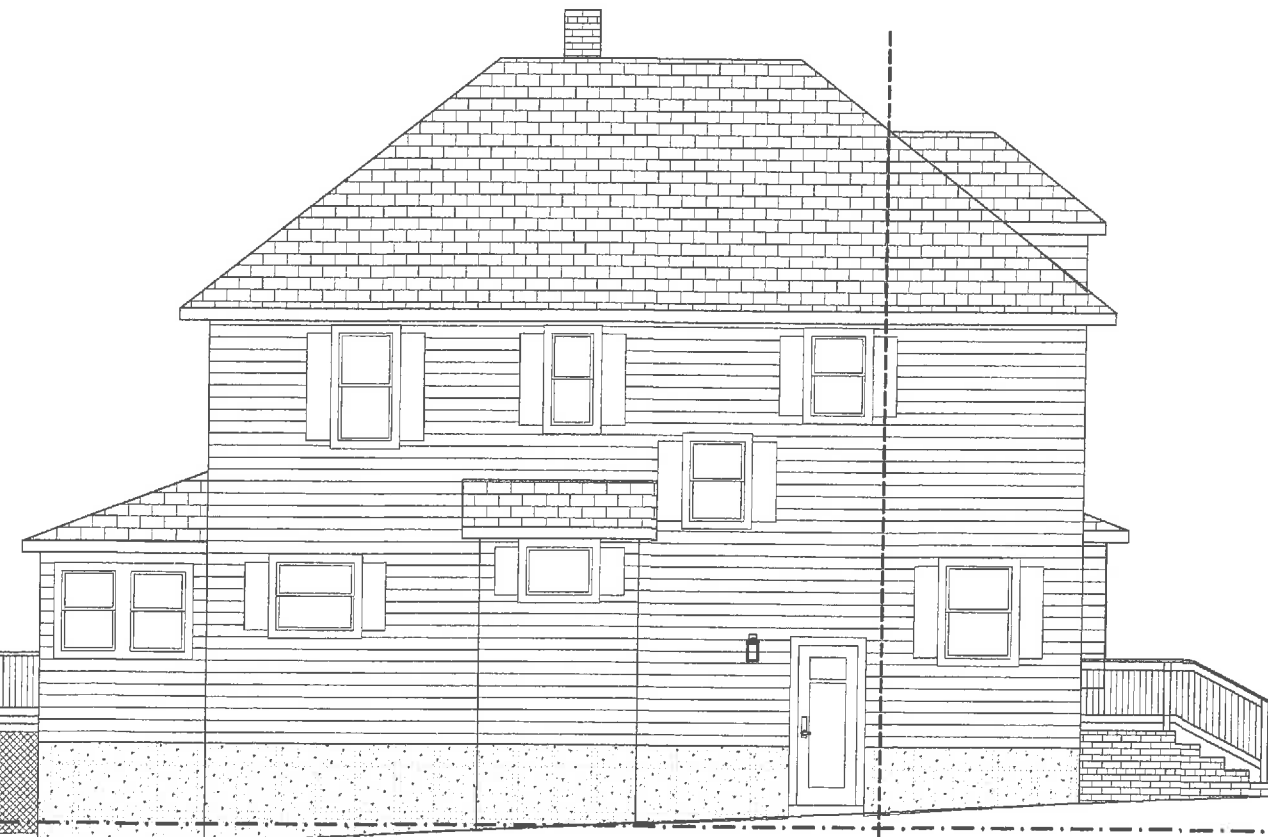


1 FRONT ELEVATION  
SCALE: 1/8" = 1'

- 50 YEAR ARCHITECTURAL SHINGLES -  
SEE SECTION FOR ROOF ASSEMBLY
- 15" DEEP HARDIE SOFFIT TME
- ANDERSEN 400 SERIES (OAE) DOUBLE HUNG  
WINDOWS W/ HARDIE TRIM BOARDS -  
4" SIDE AND HEAD CASING,  
BULLNOSE STOOL, AND 4" APRON,  
SHUTTERS TME
- EXTERIOR SCONCES AT ENTRY TO BE  
SELECTED BY OWNER
- HARDIE SIDING
- FRONT PORCH: MASONRY LANDING AND STEPS  
TO BE SELECTED BY OWNER, 3' HIGH VINYL RAILING SYSTEM  
WITH SQUARE POSTS, TOP AND BOTTOM RAILS, CAP,  
AND VERTICAL PICKETS AT 3" OC
- BOX WINDOW WITH HIP ROOF
- STUCCO FINISH ON EXPOSED  
FOUNDATION WALLS



2 REAR ELEVATION  
SCALE: 1/8" = 1'



3 SIDE ELEVATION  
SCALE: 1/8" = 1'

EXISTING  
STRUCTURE

NEW  
ADDITION

SEE  
SECTION 3  
FOR FRONT  
PORCH



4 SIDE ELEVATION  
SCALE: 1/8" = 1'

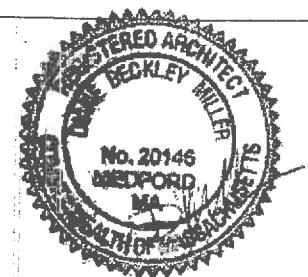
EXISTING  
STRUCTURE



Architect:  
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NEW  
ELEVATIONS

Sheet  
Number:

A11