



September 22, 2022

RE: Brief Work Description for Belmont Town Hall Project

Calhess has received a contract to complete minor masonry work at the Belmont Town Hall, the work is to take place on three chimneys on the town hall building. Calhess is certified with the state in historic masonry restoration and we take great pride in matching existing masonry as accurately as possible. On all three chimneys, Calhess will replace deteriorated bricks and mortar with the closest available match. We will have the mortar tested per the contract by a mortar expert who will provide us with the breakdown of sand/lime/cement which we will then combine with a SGS color packet to match the existing mortar strength and color. We will generally do not select our materials until the testing is completed, our selection will be based entirely on what the testing agency provides to us.

Calhess will also be repairing the deteriorated chimney caps, pictures of the caps are included below. I have attached the drawings to this file which include the pictures taken before the project was awarded to refer to.

Have a nice day,

Chuck Packard
Project Manager



Town Belmont
Historic District Commission
Homer Municipal Building, 2nd Floor
19 Moore Street
Belmont, MA 02478

OFFICE USE
Case Number: HDC -

APPLICATION

In accordance with the Historic Districts Act, MGL Ch 40C, and the Town of Belmont General Bylaws, §40-315, the undersigned applies to the Belmont Historic District Commission for a Certificate of:

☒ Appropriateness ☐ Non-Applicability ☐ Hardship

1. PRELIMINARY INFORMATION:

Address of Property: 455 Concord Ave Belmont MA 02478
Property Owner's Name: Town of Belmont
Address: 19 Moore St Belmont MA
Email: Dblazon@Belmont-MA.gov Phone: 617-993-2640

Agent Name: Charles Packard
Address: 374 University Ave
Email: CPackard@culhesscorp.com Phone: 781-929-1757

I am the: ☐ Property Owner ☒ Agent
☐ Property is Owned by a Corporation, LLC, or Trust (Submit authorization to sign as owner)
☐ Property is a Condominium or Cooperative Association (submit authorization to sign as trustee)

If applicable: Architect: _____ Contractor: _____

2. BRIEF DESCRIPTION OF PROPOSED WORK:

Mortar and brick repair on select small areas on chimneys
on the Belmont Town Hall. Two chimneys are being capped,
the third is having a rain guard installed

3. SIGNATURES:

As Owner, I make the following representations:

- A. I hereby certify that I am the Owner of the Property at: 455 Concord Ave, Belmont
B. I hereby certify that if an Agent is listed on this Application, this Agent has been authorized to represent this Application before the Belmont Historic District Commission.

Owner: [Signature] Date: 9/22/22

As Applicant/Agent, I make the following representations:

1. The information supplied on and in this Application is accurate to the best of my knowledge;
2. I will make no changes to the approved plans without prior approval from the Belmont Historic District Commission.

Applicant/Agent: [Signature] Date: 09/22/22

* Incomplete applications and Insufficient documentation will not be accepted. *

Approved March 23, 2017



Belmont Town Hall - Chimney Repairs

455 Concord Avenue, Belmont, MA 02478

Construction Drawings

05.11.2022

DRAWING INDEX

	Cover
G-001	Abbreviations, Location Map, Symbols, Materials,
G-002	General Notes
A-101	Chimney Repairs Plan
A-401	East & North Building Elevations
A-402	South & West Building Elevations
A-403	Chimney #1 Elevations
EC-403	Existing Conditions Chimney #1 Photos
A-404	Chimney #2 Elevations
EC-404	Existing Conditions Chimney #2 Photos
A-405	Chimney #3 Elevations
EC-405	Existing Conditions Chimney #3 Photos
A-501	Chimney Details



ABBREVIATIONS

ACOBL	Accessible	E.P.	Electric Panelboard	KO	Knockout	RHR	Right Hand Reverse
ACT	Acoustical Ceiling Tile	EPDM	Ethylene Propylene Diene M-Class	KPL	Kickplate	REINF	Reinforced/Reinforcing
AD	Area Drain	EQ	Equal	KWH	Kilowatt Hour	REQD	Required
ADJ	Adjustable	EQPT	Equipment			RESIL	Resilient
ADJCT	Adjacent	ETR	Existing To Remain	L	Length/long	RGTR	Register
AFF	Above Finish Floor	EWC	Electric Water Cooler	LAD	Ladder	RM	Room
AGGR	Aggregate	EXP	Expansion	LAM	Laminated	RO	Rough Opening
ALUM	Aluminum	EXTG	Existing	LAT	Lateral	RWL	Rainwater Leader
&	And	EXP JT	Expansion Joint	LAV	Lavatory		
ANOD	Anodized	EXT	Exterior	LCC	Lead Coated Copper	S	Slope/South/Structural
APPRO X	Approximately			LH	Left Hand	SAN	Sanitary
ARCH	Architectural	FA	Fire Alarm	LHR	Left Hand Reverse	SC	Solid Core
@	At	FD	Floor Drain or Fire Department	LKR	Locker	SCHED	Schedule/Scheduled
		FDC	Fire Department Connection	LT	Light	SD	Smoke Detector
BD	Board	FDN	Foundation			SECT	Section
BITM	Bituminous	FE	Fire Extinguisher	M	Mechanical	SHR	Shower
BLK	Black/Block	FEC	Fire Extinguisher Cabinet	MAINT	Maintenance	SHT	Sheet
BLKG	Blocking	FF	Finish Floor	MATL	Material	SHTHG	Sheathing
BM	Beam	FGL	Fiberglass	MAX	Maximum	SIM	Similar
B.O.	Bottom Of	FIN	Finish	MECH	Mechanical	SPEC	Specification
BOT	Bottom	FIXT	Fixture	MED	Medium	SQ	Square
BSMT	Basement	FLR	Floor	MEMB	Membrane	STC	Sound Transmission Class
BYND	Beyond	FLUOR	Fluorescent	MET	Metal	STD	Standard
		F/O	Face Of	MFR	Manufacturer	STG	Storage
CAB	Cabinet	FP	Fire Protection	MH	Manhole	STL	Steel
CB	Catch Basin	FRT	Fire Retardant Treated	MIN	Minimum	STOR	Storage
CEM	Cement	FT	Foot or Feet	MISC	Miscellaneous	STRUC T	Structural
CER	Ceramic	FURR	Furring	MO	Masonry Opening	ST STL	Stainless Steel
CHNL	Channel	FUT	Future	MOD	Modified	SUSP	Suspended
C.I.	Cast Iron			MT	Men's Toilet		
CIP	Cast In Place	GA	Gauge	MTD	Mounted	T	Tread
C.J.	Control Joint	GALV	Galvanized	MTL	Metal	T&B	Top and Bottom
CKG	Caulking	GC	General Contractor	MUL	Mullion	T&G	Tongue and Groove
CL	Closet	GEN	General/Generator	MWK	Millwork	TC	Top of Curb
CLG	Ceiling	GFCI	Ground Fault Circuit Interrupter (Outlet)			T/D	Tel/Data
CLR	Clear	GFI	Ground Fault Circuit Interrupter (Outlet)	NATL	Natural	TEL	Telephone
CMU	Concrete Masonry Unit	GKT	Gasket	NFA	Net Free Area	TERR	Terrazzo
CNTR	Counter	GL	Glass	NIC	Not In Contract	THK	Thick
C.O.	Concrete Opening	GND	Ground	NMT	Non-Metallic	THKNS	Thickness
CIO	Clean Out	GR	Grade	NO	Number	THR	Threshold
COL	Column	GWB	Gypsum Wallboard	NOM	Nominal	TO	Top Of
COMPR	Compressible	GYP	Gypsum	NR	Noise Reduction	TOS	Top Of Steel
CONC	Concrete			NRC	Noise Reduction Coefficient	TP	Toilet Paper
CONSTR	Construction			NTS	Not To Scale	TRD	Tread
CONT	Continuous					TSTAT	Thermostat
CORR	Corridor	H	High	OC	On Center	TV	Television
CPT	Carpet	HB	Hose Bib	OD	Outside Diameter	TW	Top of Wall
C.T.	Ceramic Tile	HC	Hollow Core	OFF	Office	TYP	Typical
CTR	Center	HD	Heavy Duty	OHD	Overhead Door		
↕	Centerline	HDR	Header	OPNG	Opening	UH	Unit Heater
CTSK	Countersunk	HDWD	Hardwood	OPP	Opposite	UL	Underwriters' Laboratories
CTYD	Courtyard	HDWR	Hardware	O/S	Occupancy Sensor	UNF	Unfinished
CUH	Cabinet Unit Heater	HGR	Hanger			UNO	Unless Noted Otherwise
CXN	Connection	HM	Hollow Metal	P	Plumbing		
		HOR	Horizontal	PAF	Powder Actuated Fastener	V	Volt
DBL	Double	HORIZ	Horizontal	P/C	Precast Concrete	VB	Vapor Barrier/Vapor Retarder
DEMO	Demolish or Demolition	HR	Hour	P CONC	Polished Concrete	VCT	Vinyl Composite Tile
DEPT	Department	HSS	Hollow Structural Steel	PERF	Perforated	VERT	Vertical
DET	Detail	HT	Height	PFN	Prefinished	VEST	Vestibule
DF	Drinking Fountain	HVAC	Heating, Ventilating, and Air Conditioning	PKG	Parking	VIF	Verify In Field
DF HP	Handicapped Drinking Fountain	HVY	Heavy	PL	Plate	VIT	Vitrous
DIA	Diameter	HW	Hot Water	P LAM	Plastic Laminate	VNR	Veneer
Ø	Diameter			PLAS	Plastic	VOL	Volume
DIM	Dimension	I/C	Insulated Ceiling	PLBG	Plumbing	V PLAS	Veneer Plaster
DIR	Direction(s)	ICF	Insulated Concrete Form	PLYWD	Plywood	VTA	Valve Train Assembly
DISP	Dispenser	ID	Inside Diameter	PR	Pair	VTR	Vent Through Roof
DN	Down	ILO	In Lieu Of	PRCST	Precast Concrete		
DR	Door	IN	Inch	PSI	Pounds per Square Inch	W	West/Wide/Width/Watt
DS	Downspout	INCL	Incline/Include	PT	Paper Towel	W/	With
DWG	Drawing	INSUL	Insulation	PT	Pressure Treated	WC	Water Closet
DWR	Drawer	INT	Interior	PTD	Painted	WD	Wood
DWV	Drain-Waste-Vent Pipe	IP	Iron Pipe	PRTN	Partition	WH	Water Heater/White
		IRGWB	Impact Resistant Gypsum Wallboard	PVC	Polyvinyl Chloride	WM	Water Meter
E	Electrical					W/O	Without
EA	Each	JAN	Janitor	QT	Quarry Tile	WP	Waterproof
EBU	Emergency Backup	JBOX	Junction Box	QTR	Quarter	WSCT	Wainscot
EJ	Expansion Joint	JC	Janitor's Closet	QTY	Quantity	WT	Weight
EL	Elevation	JCT	Junction			WTR	Water
ELASTO	Elastomeric	JST	Joist	R	Rise	WWF	Welded Wire Fabric
ELEC	Electrical	JT	Joint	RD	Roof Drain		
ELEV	Elevator or Elevation			REF	Reference/Refer To		
EMER	Emergency			REFR	Refrigerator	YD	Yard
ENCL	Enclosure	KIT	Kitchen	RH	Right Hand	YR	Year

LOCATION MAP



455 Concord Avenue, Belmont, MA 02478

SYMBOLS

	SECTION MARK
	ELEVATION MARK
	INTERIOR ELEVATION
	WALL TYPE
	DOOR TAG
	WINDOW TAG

OTHER SYMBOLS

	FLOOR/WALL DEMO
	EXISTING CONSTRUCTION
	NEW CONSTRUCTION

MATERIALS

	INSULATION
	DIMENSIONAL LUMBER
	BLOCKING
	CONCRETE
	GYPSUM WALL BOARD
	HARDWOOD
	PLYWOOD

LINETYPES

	OVERHEAD
	BEYOND/HIDDEN
	CENTERLINE
	DEMOLITION

PROJECT DESCRIPTION:

The Belmont Town Hall is a historic building with three masonry chimneys dating back to 1881, currently in need of repair. Work of this project will include the selective removal, salvaging as possible, and reinstallation/installation of salvaged and new brick and stone masonry units and copper chimney caps, flashing and trim. All work will match the original, historical design and aesthetics.

Project Number
2105

Project Title
Belmont Town Hall
Chimney Repairs

455 Concord Avenue
Belmont, MA 02478

Drawing Title
Abbreviations,
Location Map,
Symbols, Materials

Date/Issued For
05.11.22

Construction Drawings

Scale
As Noted

Drawn By
TGAS

Drawing Number

G-001

GENERAL NOTES

It is understood that in these General Notes, and all other written and graphic items that make up the Construction Documents, the Town of Belmont is heretofore referred to as the "owner."

DIVISION 00 - PROCUREMENT AND CONTRACTING REQUIREMENTS

1. Immediately upon review of these documents, contractor is to provide Requests For Information (RFI's) to architect for clarification. If none are received contractor accepts documents as being clear and set for construction.
2. Before preparing a proposal, each contractor shall inspect the site and verify all areas and conditions to determine the exact scope and quantities required to complete the work described in the Contract Documents Drawings & Specifications. All contractors shall be responsible to have compared the premises, existing conditions and any other conditions affecting the performance of the work with the Construction Documents and Specifications. Any conflicts, omissions or discrepancies shall be reported in writing to the project architect.
3. All new or modified construction shall be in accordance with all applicable codes, ordinances, and regulations of the most recent prevailing building code and all agencies having jurisdiction over the work, including Federal, State, and Local requirements. In the absence of governing codes, ordinances, rules and regulations, all materials, products and equipment shall be installed in strict accordance with manufacturer's instructions where no specifications exist.
4. If documents are in conflict with one another on a particular item or items, contractor shall base his proposal on the better quality and more expensive of the items or conditions, and duly note this in delivered price. ALL TRADES ARE RESPONSIBLE FOR PRICING AND COORDINATION OF ALL INFORMATION ON ALL DRAWINGS AND SPECIFICATIONS. Items or equipment specified under one trade shall be binding as if specified under all applicable trades.
5. This project does NOT require state historic preservation office (SHPO) review.

DIVISION 01 - GENERAL REQUIREMENTS

6. All drawings are intended to be printed at full scale on Arch D (24"x36") paper.
7. DO NOT SCALE DRAWINGS. Written dimensions govern. Construction element location dimensions and types, door and window locations shall be as shown on construction plans. In case of conflict, notify project architect for written clarification prior to proceeding with construction. Construction drawings by architect supersede those of consultants or other design team members.
8. ALL DIMENSIONS SHOWN AS V.I.F. SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD. Contractor shall notify project architect in writing, of any discrepancy in dimensions prior to proceeding with the work in that area.
9. The plus/minus (+/-) symbol indicates a dimension that can vary due to discrepancies in the existing conditions. Notify project architect of any changes to that dimension, unless otherwise noted.
10. "Align", when used, indicates that the finished adjacent surfaces must be in the same plane. Align takes precedence over dimensions.
11. Dimensions are shown from finished face of construction element, unless otherwise noted. Dimensions marked "clear" or "hold" shall be maintained and shall allow for thickness of finishes. Contractor shall not adjust dimensions without written instruction or approval from the project architect.
12. Requests for substitution will not be permitted on this project, unless otherwise noted by project architect. Approved equal substitutions will be considered only if they provide better services, have a more advantageous delivery date, or have a lower price providing a credit to the owner and will not sacrifice quality, appearances or function. Under no circumstances will the architect be required to prove that a product proposed for substitution is or is not of equal quality to the specified product.

13. The contractor shall coordinate their work with owner including, but not limited to, scheduling time, location and methods for deliveries, building facilities, and use of on-site material staging & storage areas.
14. Contractor is to provide items referred to or implied in the documents in proper quantities required to complete work within the allotted time frame.
15. The contract documents, including specific installation details shown on the drawings, establish the minimum installation requirements for the project. If details shown are more stringent than manufacturer's standard details, in the sole opinion of project architect, the details shown will govern the installation of that portion of the work. If manufacturer's standard details are more stringent than details shown, in the sole opinion of project architect, the manufacturer's details shown will govern the installation of that portion of the work. All manufacturer's requirements in excess of that required by the contract documents must be provided at no additional cost to owner.
16. All new construction materials shall be provided in accordance with reference standards and most recent prevailing building code and authorities having jurisdiction over the work. All materials and construction to be incorporated in the work shall be in strict accordance with the latest edition of the Underwriters Laboratory, (UL), American Society of Testing Materials, (ASTM) as applicable, and to conform with the standards and recommendations of the various trade institutes (ACI, AWI, AISC, gyp. assoc. etc.) where applicable. All materials incorporated into the work shall be new, and installed in a professional craftsman-like manner.
17. No known hazardous materials shall be used in the bidding or construction of this project.
18. The contractor shall provide all labor and material required for a complete and finished installation that is fully warranted/guaranteed by manufacturers. Any details or work required, but not shown or specified, are to be provided in accordance with manufacturer's recommendations and requirements at no additional cost to owner.
19. The contractor is responsible for construction means, methods, techniques, sequences and procedures, and for the coordination of the work performed by his subcontractors.
20. Contractor shall layout new construction elements for project architect to review for design intent. Do not proceed with installation of new work without this review approval. Contractor shall coordinate and verify conditions to ensure proper fit. Review for design intent does not release contractor from the responsibility to maintain critical dimensions and clearances.
21. Contractors shall coordinate placement of blocking, equipment and or steel plates with project architect for partition mounted millwork and/or partition mounted equipment.
22. The contractor shall not proceed with work for which they expect additional compensation beyond the contract amount without written authorization from the owner's contracting official. Failure to obtain such authorization shall invalidate a claim for extra compensation.
23. The General Contractor shall maintain exits, exit lighting, life safety & fire protective devices and alarms (temporary and/or permanent) to conform to local building code requirements for the entire duration of this project. Exit doors shall be readily operable at all times from the side from which egress is to be made. Legal means of egress, per the latest edition Mass Building Code, 780 CMR, and any authorities having jurisdiction over the work area, must be maintained from all areas, and adjacent buildings that remain in use during construction. All building exits shall be kept readily accessible and unobstructed at all times.
- illumination of at least 5 foot-candles measured at the floor level shall be maintained continuously in exits and their access facilities, per most recent prevailing building code. Exit signs are to remain on at all times, except for the duration of required changes.

DIVISION 02 - EXISTING CONDITIONS

24. All contractors shall protect all existing site and adjacent existing elements that are indicated to remain or as directed by owner during construction. Any damage resulting from work done under this contract shall be promptly replaced by the contractor with the same type, finish, function, quality and quantity at no additional cost to owner.
25. Work shall not interfere with the operation/function of the existing adjacent facilities. Build temporary walls, dust barriers and/or barricades as required, to totally seal off employees, the public and the occupants of the site and the adjacent building from the demolition operations and the new construction, without compromising code or life safety required points of egress. Notify project architect of all work prior to beginning operations.

Exit doors shall be readily operable at all times from the side from which egress is to be made. Doors opening into interior enclosed stair shall not be locked from either side except that doors may be locked to prevent access to the stair from the outdoors at the street level.
26. The contractor shall be responsible for adequately bracing and protecting work during construction against damage, breakage, collapse, distortion and/or misalignment in accordance with applicable codes, standards, and safe construction practices.
27. Any steel which is currently covered in fire proofing, that requires work by ANY trade, shall be re-fire proofed with coatings to meet or exceed the original. Any new steel requiring fire proofing, shall be coated with appropriate fire proofing material to meet or exceed governing code requirements.
28. Contractor shall verify and be responsible for compatibility of new products with areas of existing construction, scheduled to remain. All existing elements or items that are in conflict with the new construction installation are to be disconnected, removed, and modified as required and reinstalled to eliminate any conflict. All work must be done without interruption to ongoing activities in all surrounding areas. All mechanical and electrical work must be performed by sub-contractors licensed in the appropriate trade in the state where work is to be performed.
29. Contractor shall repair all construction which is damaged as a result of selective demolition and/or new construction. Repairs shall exactly match adjacent materials, finish, colors, and appearance unless otherwise noted.

DIVISION 08 - OPENINGS

30. Where noted to provide and install all new glazing, contractor shall provide setting blocks, spacers and shims as required. Provide heat tempered glass or laminated glass at all new interior construction elements unless otherwise noted and where required by building code. This is typical throughout the construction project.

DIVISION 09 - FINISHES

31. Exposed gypsum board shall have metal trim, as detailed on drawings. In the absence of a specific detail, architect is to be consulted prior to material being purchased and brought to the site. Provide corner beads along full length of outside corners and tape-able J beads along ends of gypsum board. Unless otherwise specifically noted, tape joints, provide three coats of spackle and sand all joints smooth to receive designated finishes. Partitions shall have a smooth finish condition ready for priming, paint and/or finish material application as specified by finish material manufacturer unless otherwise noted.
32. New gypsum board assemblies adjoining installed construction in the same plane shall be flush with no visible joints unless otherwise noted.
33. All interior finishes to have smoke and flame spread ratings shall be in accordance with most recent prevailing building code and authorities having jurisdiction over the work. Interior finishes materials shall be classified in accordance with the surface flame-spread rating obtained as prescribed in ASTM E-84 1961 "standard method of test for surface burning characteristics of building materials" and as prescribed by most recent prevailing building code. Patch walls and floors as required to maintain the

integrity of the existing materials fire ratings and to provide a smooth surface for installation of new finish materials.

34. Partitions shall rest directly upon the concrete floor/deck construction and extend to the underside of existing roof or floor structure above with deflection head tracks unless noted otherwise. Partitions shall be acoustically insulated for sound isolation unless noted otherwise. Partitions are to be fitted and cut to all surrounding surfaces.
35. Where new floor finishes are to be provided, flash patch concrete slab and finish substrate if topping is broken or crumbling. Repair and clean to smooth surface before installing new floor finish, per mfr. specifications.
36. Interior floor finish carpet; where new carpeting or carpet tile is to be provided, it shall comply, meet, and/or exceed requirements of most recent prevailing building code & authorities having jurisdiction over the work.

DIVISION 26 - ELECTRICAL

37. Contractor to verify compatibility of new and existing electrical appliances, products, owner's equipment, and related items with modified electrical system.
38. Contractor is fully responsible for ensuring electrical systems operate without interruption to owners' ongoing operations.
39. All receptacles are to be installed with grounding elements on bottom of outlets.

521 CMR COMPLIANCE

40. All areas accessible to the public shall comply with the regulations of 521 CMR, the Massachusetts Architectural Access Board.

MISCELLANEOUS

41. Conduits in fire rated partitions will not exceed ¾" in diameter. Outlets in such partitions will be backed up with approved materials, per most recent prevailing building code and authorities having jurisdiction over the work.
42. Provide fire blocking meeting or exceeding most recent prevailing building code requirements at all penetrations through fire rated construction. Ducts, passing through rated construction shall be protected by rated self-closing fire and / or smoke devices or dampers per most recent prevailing building code (typical).
43. Fire blocking: concealed spaces within partitions, walls, floors, ceilings, stairs, furred pipe spaces, column enclosures, etc. shall be fire blocked per most recent prevailing building code (except where concealed space contains a fully automatic sprinkler system, with localized heads, or is constructed as a fire rated shaft enclosure) as follows:

• non-combustible material that can be shaped as accepted by ASTM E-81 4 "Through Penetration Fire Stop System."

• Non-combustible fire blocking may be masonry set in mortar, concrete ¾" mortar or plaster on non-combustible lath, plaster board at least 3/8" thick, sheet metal of at least 0.002" thick, solid web metal structural members, 1/4" minimum fireproof cement board of equivalent materials, mineral, slag, or rockwool when compacted in confined space.

Project Number
2105

Project Title
Belmont Town Hall
Chimney Repairs

455 Concord Avenue
Belmont, MA 02478

Drawing Title
General Notes

Date/Issued For
05.11.22

Construction Drawings

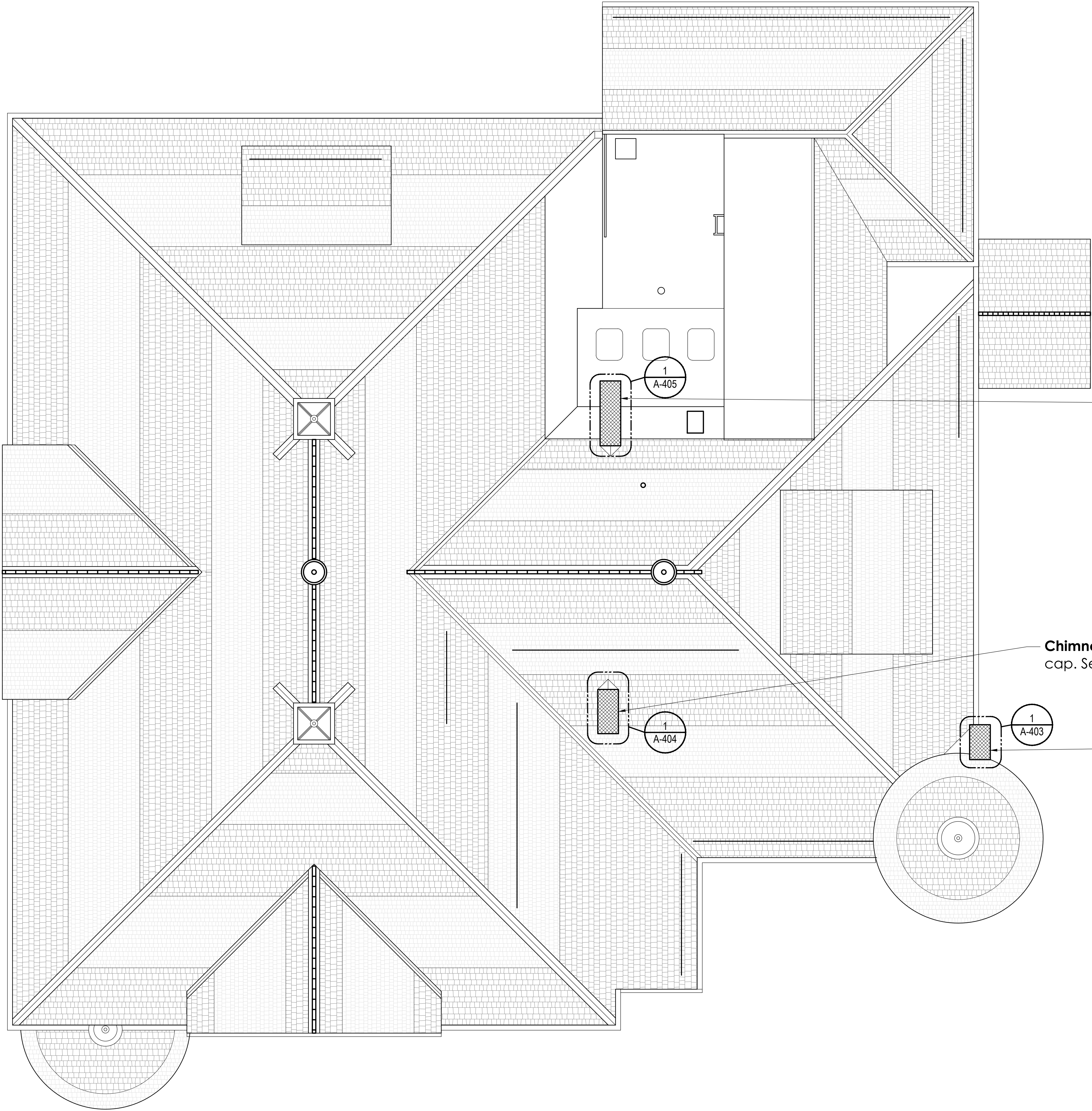
Scale
As Noted

Drawn By
TGAS

Drawing Number

G-002

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1 Roof Plan

3/16"=1'-0"

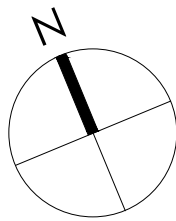
TGAS

THE GALANTE
ARCHITECTURE
STUDIO INC

146 MT AUBURN ST CAMBRIDGE, MA 02138

6 1 7 5 7 6 2 5 0 0

WWW.GALANTEARCHITECTURE.COM



Project Number
2105

Project Title
Belmont Town Hall
Chimney Repairs

455 Concord Avenue
Belmont, MA 02478

Drawing Title

Chimney Repairs
Plan

Date/Issued For
05.11.22

Construction Drawings

Print 24x36

Scale
As Noted

Drawn By
TGAS

Drawing Number

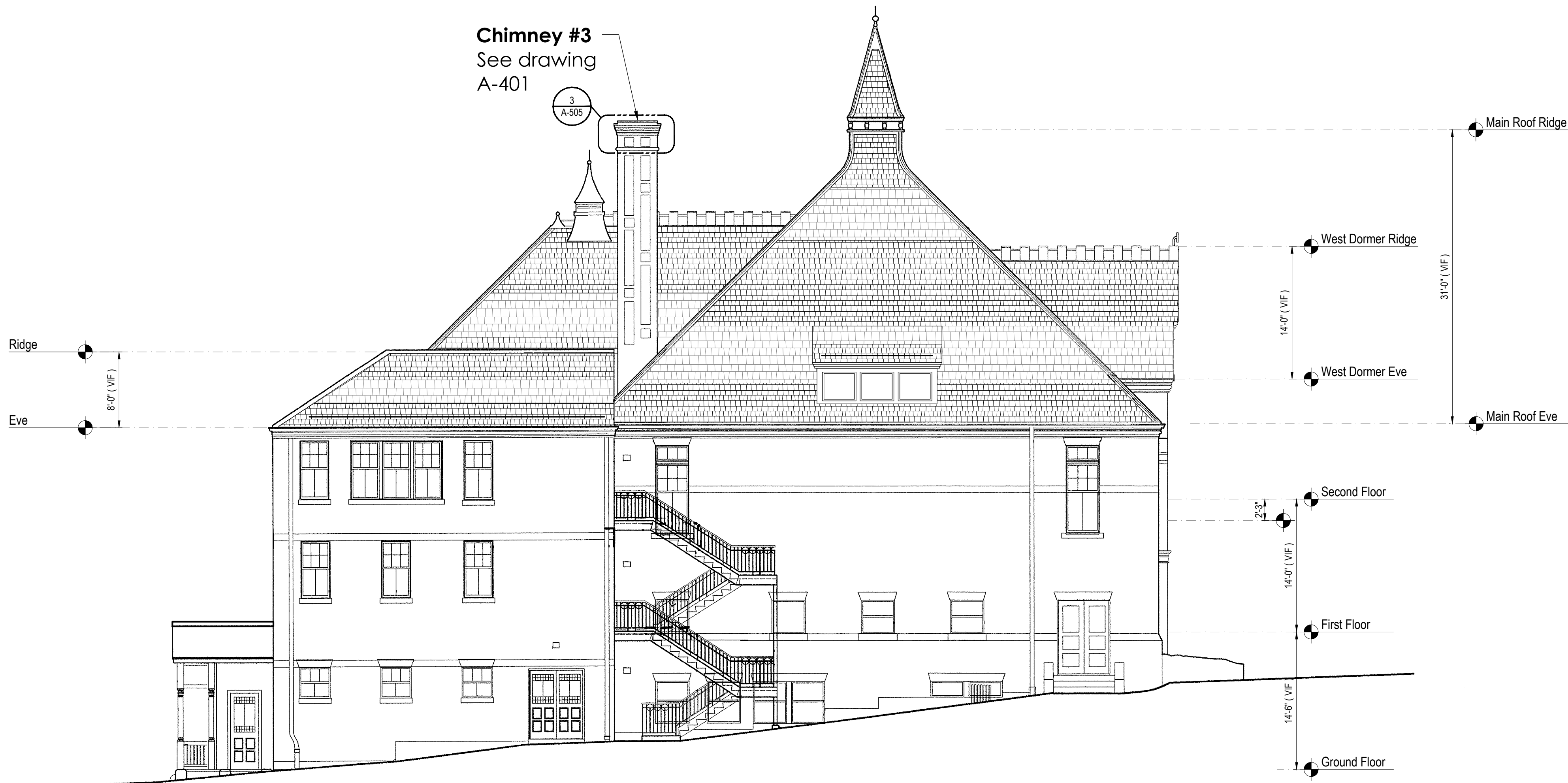
A-101

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1 East Elevation

1/8"=1'-0"



2 North Elevation

1/8"=1'-0"

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6 1 7 5 7 6 2 5 0 0

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Project Number
2105

Project Title
Belmont Town Hall
Chimney Repairs

455 Concord Avenue
Belmont, MA 02478

Drawing Title

East & North
Building Elevations

Date/Issued For
05.11.22

Construction Drawings

Print 24x36

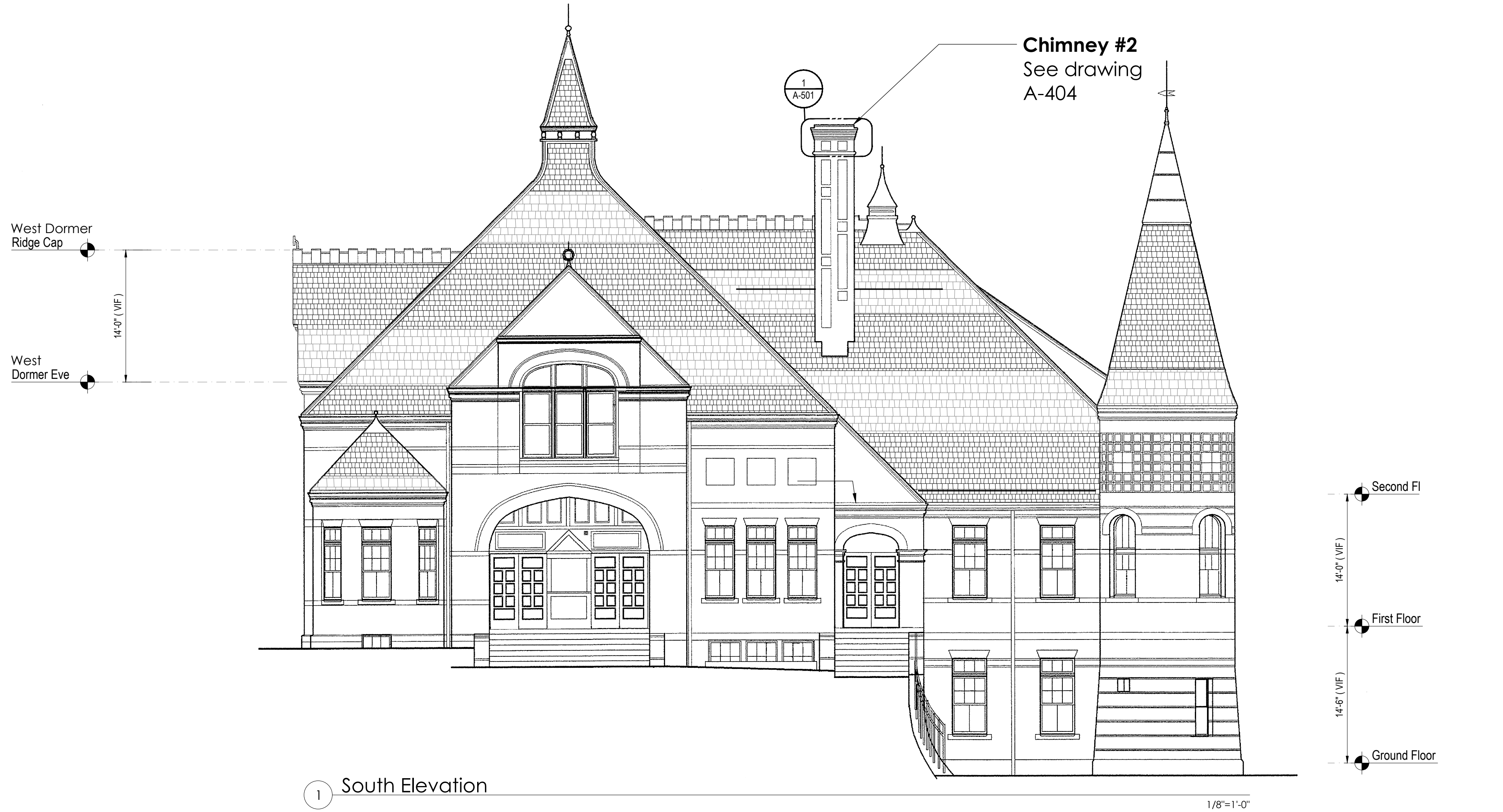
Scale
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A-401

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6 1 7 5 7 6 2 5 0 0

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Project Number

2105

Project Title

Belmont Town Hall
Chimney Repairs

455 Concord Avenue
Belmont, MA 02478

Drawing Title

South & West
Building Elevations

Date/Issued For

05.11.22

Construction Drawings

Print 24x36

Scale

As Noted

Drawn By

TGAS

Drawing Number

A-402

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General Notes:
Provide water proofing sealant to all brick and mortar joints.

Project Number
2105

Project Title
Belmont Town Hall
Chimney Repairs

455 Concord Avenue
Belmont, MA 02478

Drawing Title

Chimney #1
Elevations

Date/Issued For
05.11.22

Construction Drawings

Print 24x36

Scale
As Noted

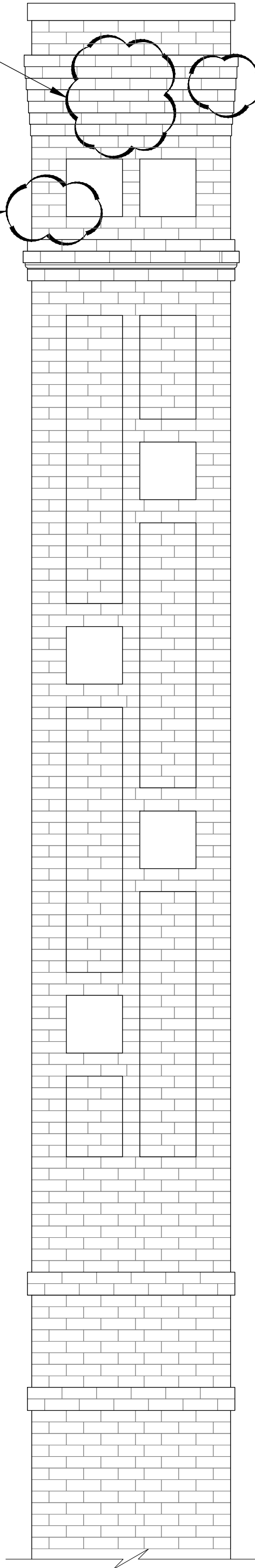
Drawn By
TGAS

Drawing Number

A-403

Photo 2.
EC-403
Replace
fractured bricks
& mortar

Photo 3.
EC-403
Replace
damaged
bricks &
mortar

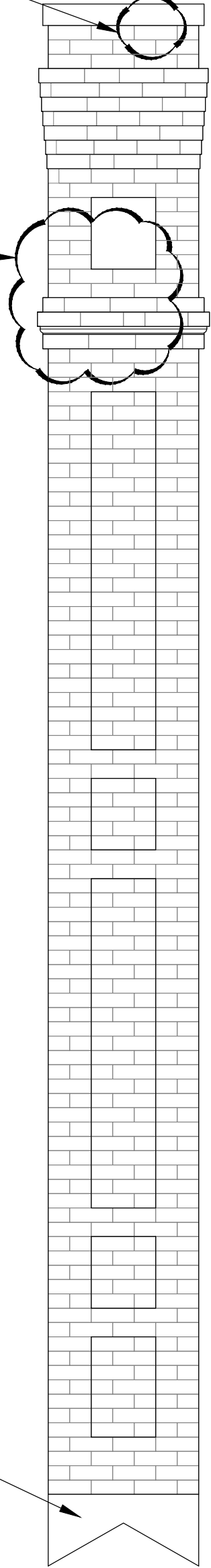


Chimney #1.
East

Photos 2, 4.
EC-403
Replace
damaged
bricks &
mortar

Photo 4.
EC-403
Replace
damaged
bricks & mortar

Photo 5.
EC-403
Replace
fractured &
damaged
bricks & mortar

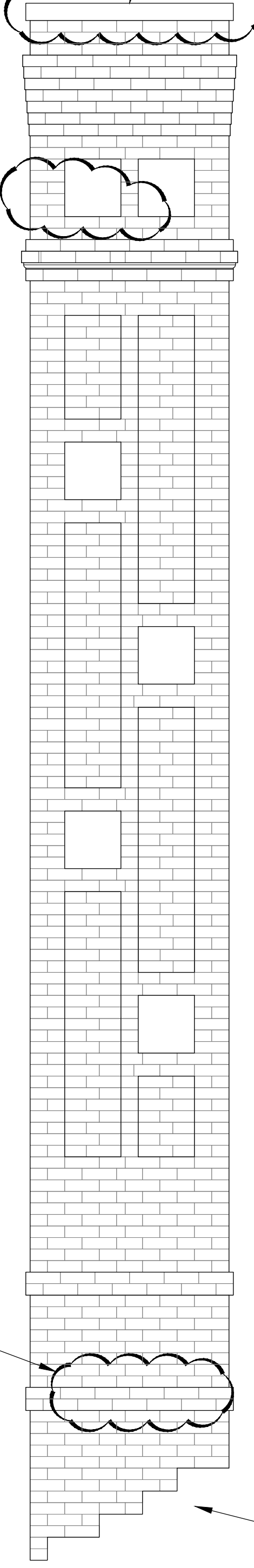


Chimney #1.
South

Copper
counter
flashing
recently
replaced ETR

Photo 6.
EC-403
Replace
damaged
bricks & mortar

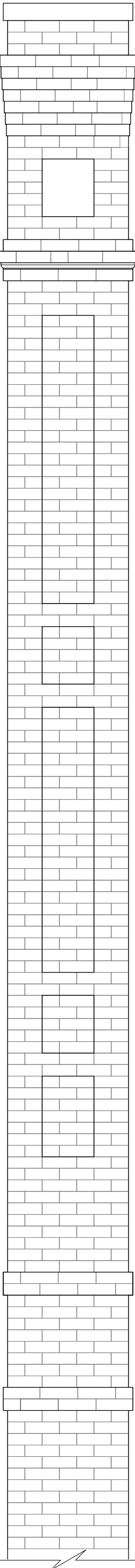
Photo 1. EC-403
Replace deteriorated chimney cap



Chimney #1.
West

Photo 7.
EC-403
Repoint open
mortar joints

Copper counter flashing
recently replaced ETR



Chimney #1.
North

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SMALL CHIMNEY



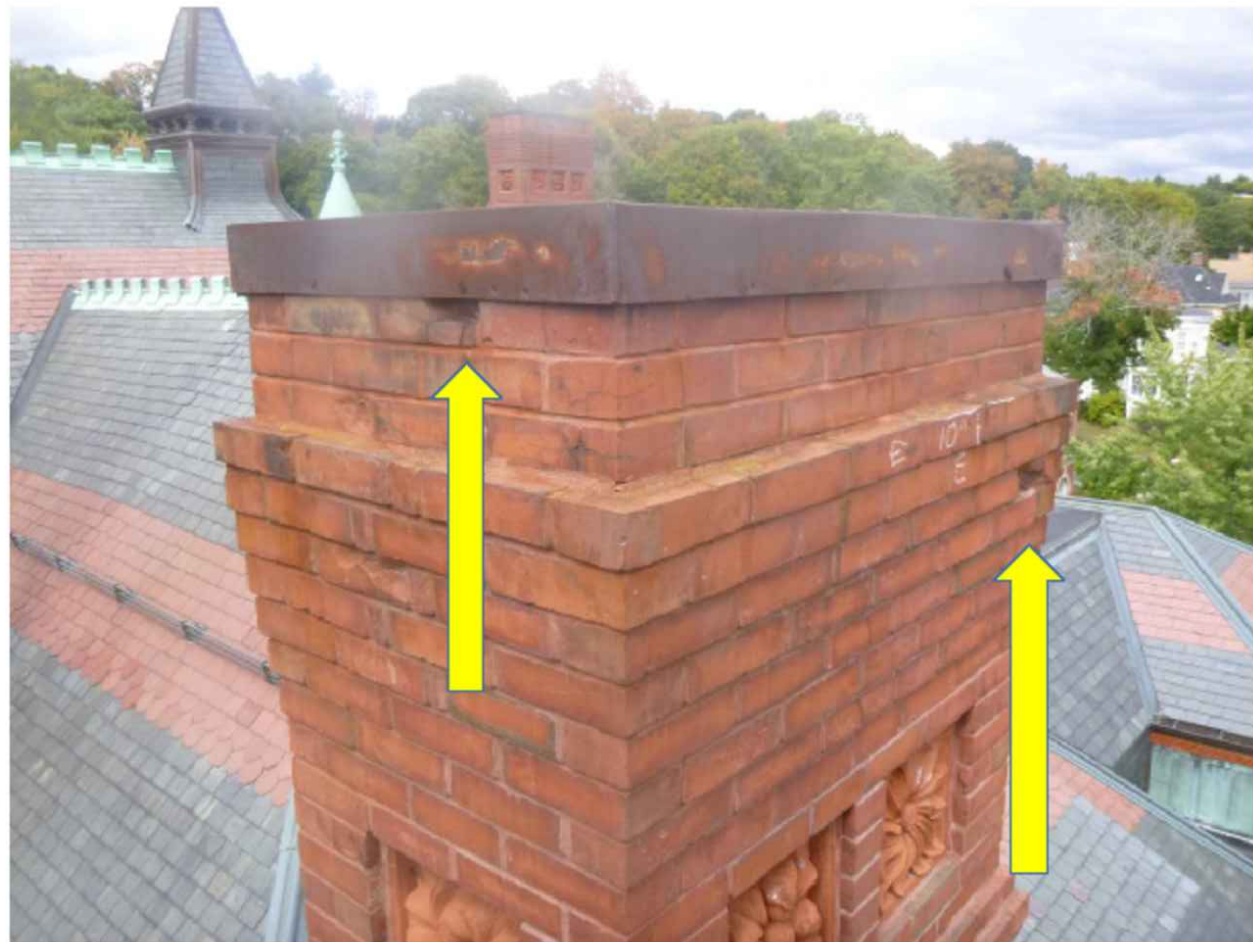
1. Deteriorated Chimney Cap



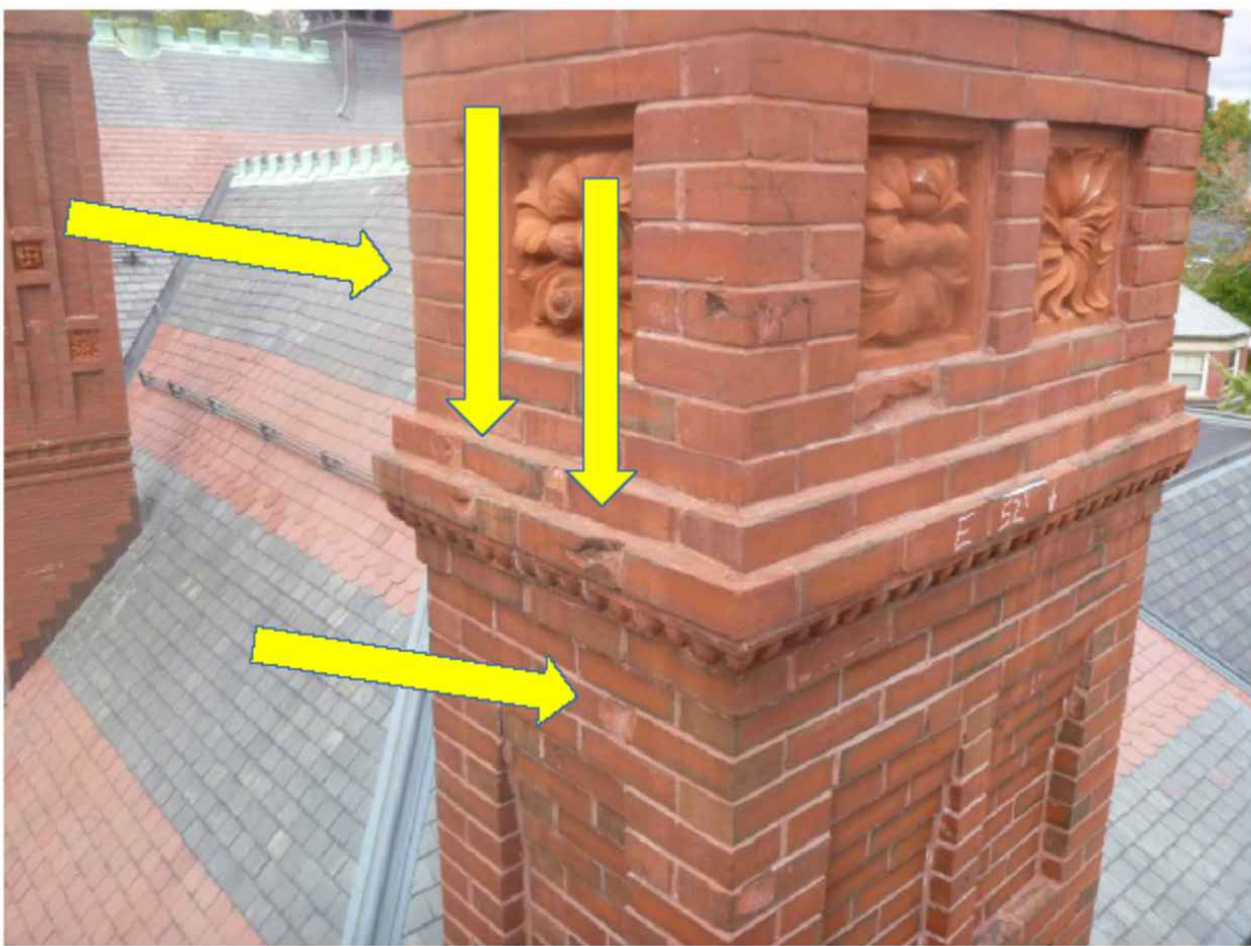
2. East Elevation. Fractured and Replace damaged brick & mortar



3. East Elevation. Replace damaged brick & mortar 48" from top.



4. South Elevation. Replace damaged brick & mortar 6" from top.



5. South Elevation. Fractured and Replace damaged brick & mortar 52" from top



6. West Elevation. Replace damaged brick & mortar 40" from top.



7. West Elevation. Repoint open mortar joints 285" from top

Project Number

2105

Project Title

Belmont Town Hall
Chimney Repairs

455 Concord Avenue
Belmont, MA 02478

Drawing Title

Existing Conditions
Chimney #1
Photos

Date/Issued For

05.11.22

Construction Drawings

Print 24x36

Scale

NTS

Drawn By

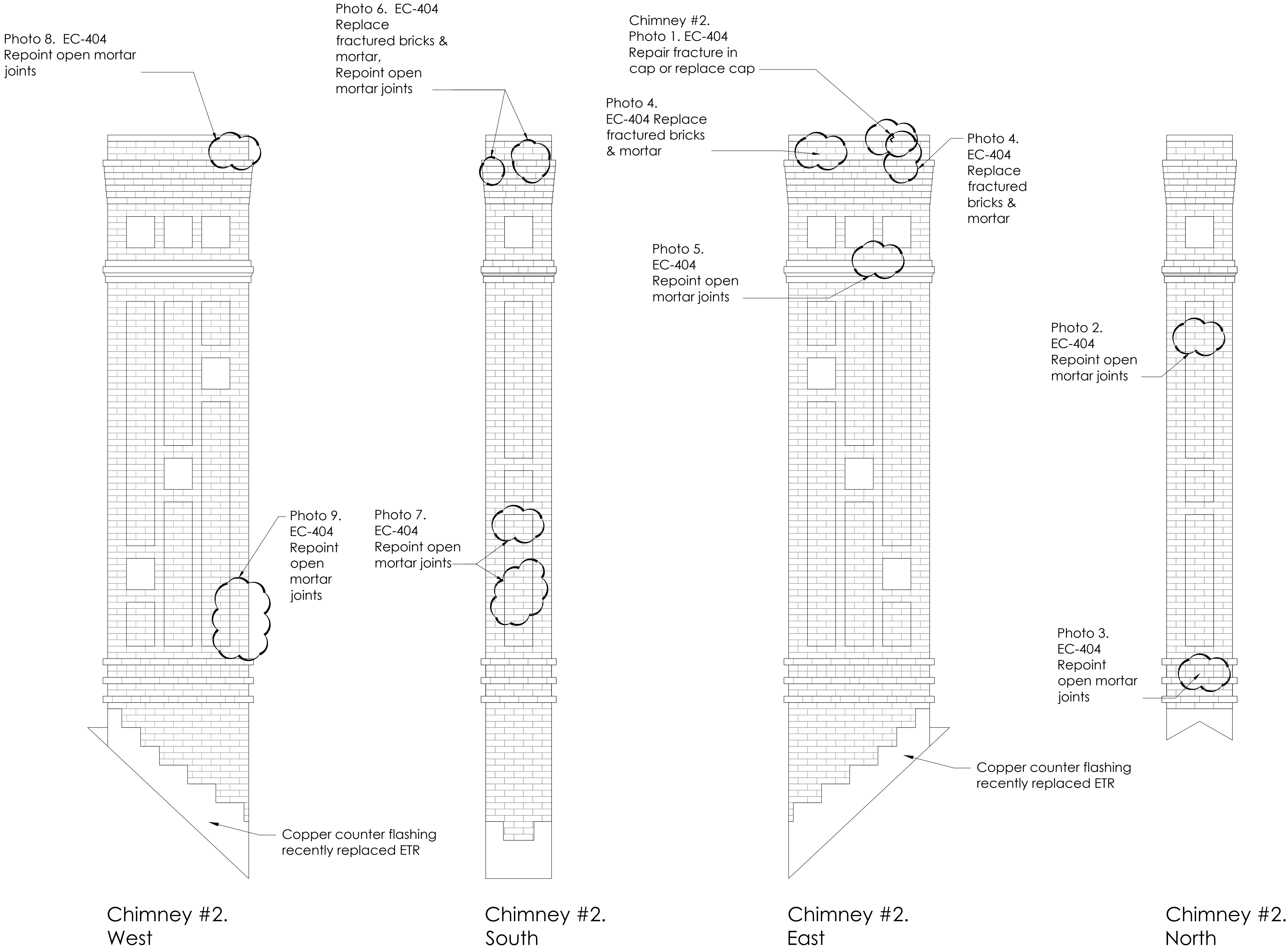
TGAS

Drawing Number

EC-403

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General Notes:
Provide water proofing sealant to all brick and mortar joints.



Project Number
2105

Project Title
Belmont Town Hall
Chimney Repairs

455 Concord Avenue
Belmont, MA 02478

Drawing Title

Chimney #2
Elevations

Date/Issued For
05.11.22

Construction Drawings

Print 24x36

Scale
As Noted

Drawn By
TGAS

Drawing Number

A-404

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LEFT CHIMNEY



1. Fracture in Cap



2. North Elevation. Open mortar joint



3. North Elevation. Open mortar joint at base of chimney



4. East Elevation. Replace fractured brick &

mortar 10" from top

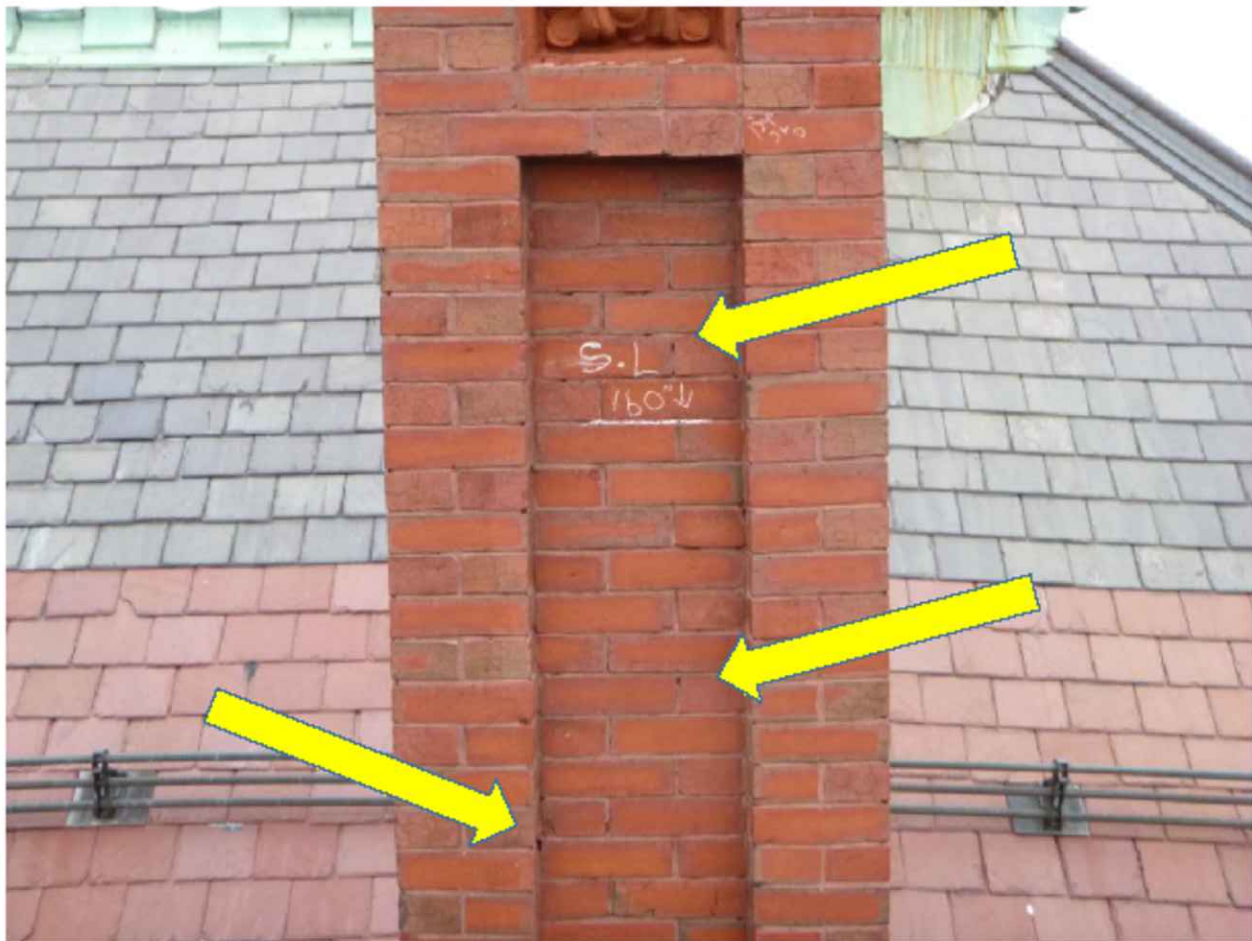


5. East Elevation. Repoint open mortar joints 52" from

top



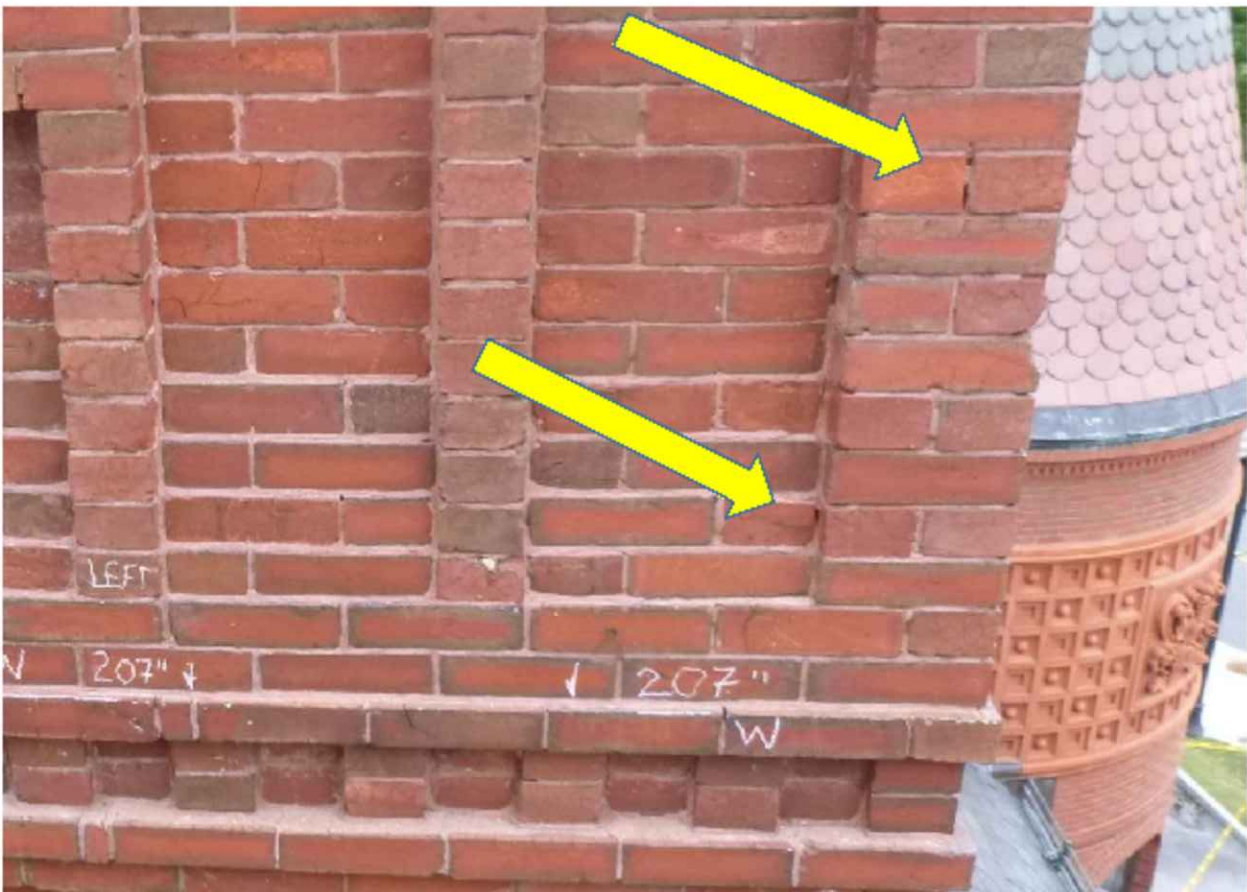
6. South Elevation. Fractures and Repoint open mortar joints 10" from top



7. South Elevation. Repoint open mortar joints 160" from top



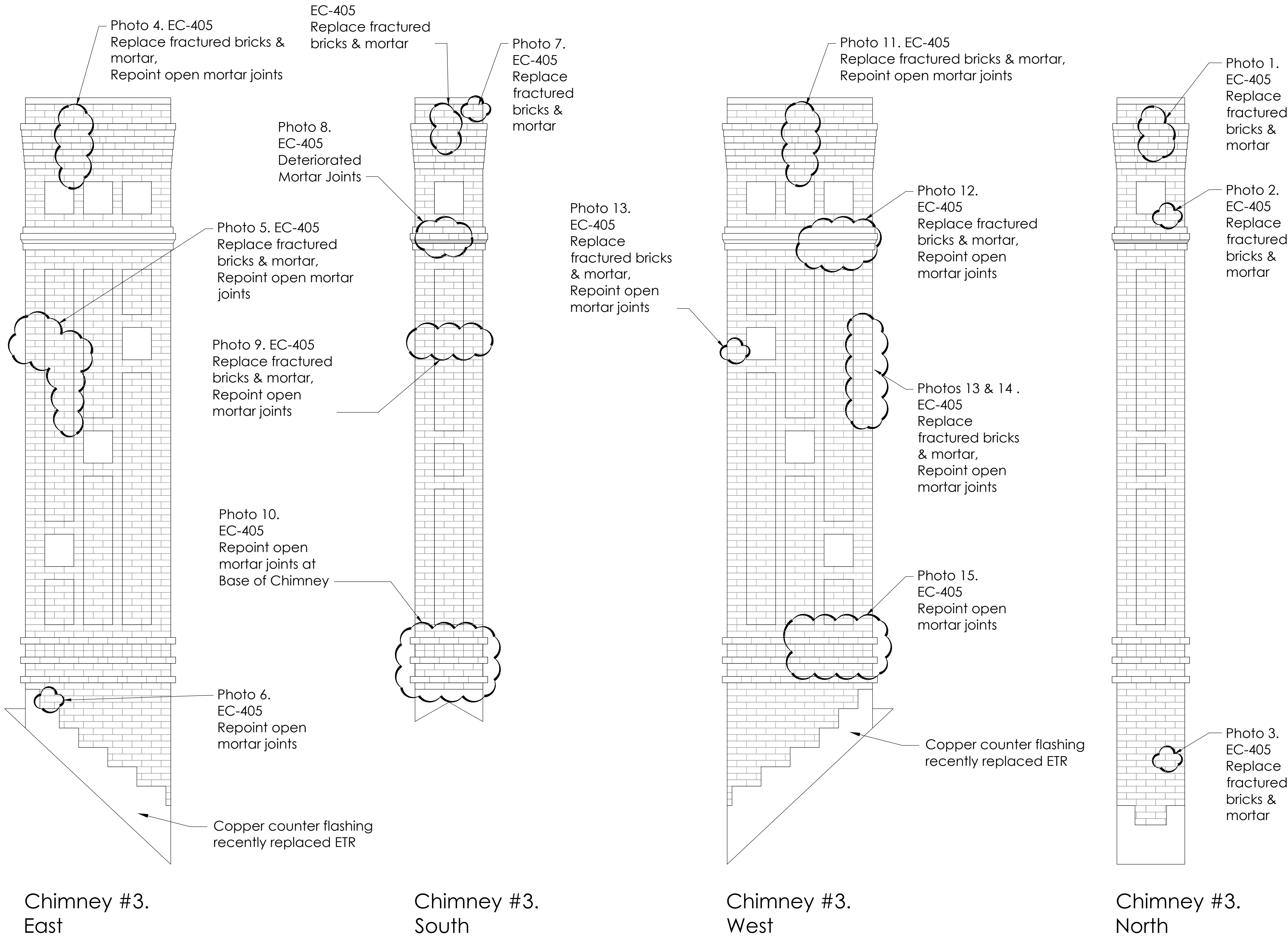
8. West Elevation. Open mortar joint 10" from top



9. West Elevation. Repoint open mortar joints 190" from top

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General Notes:
Provide water proofing sealant to all brick and mortar joints.



Project Number
2105
Project Title
Belmont Town Hall
Chimney Repairs
455 Concord Avenue
Belmont, MA 02478

Drawing Title
Chimney #3
Elevations

Date/Issued For
05.11.22
Construction Drawings

Print 24x36
Scale
As Noted
Drawn By
TGAS

Drawing Number
A-405



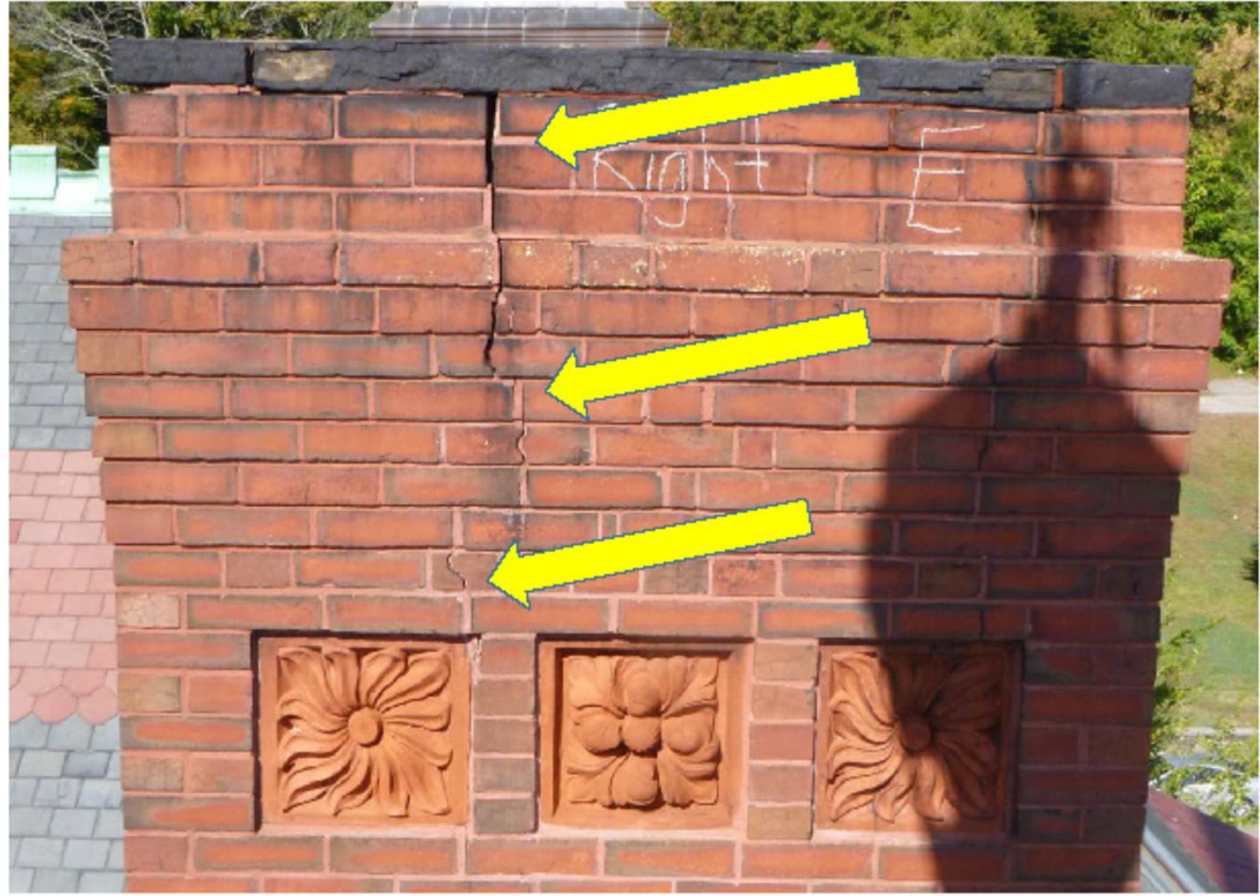
1. North Elevation. Fractures 10" from top



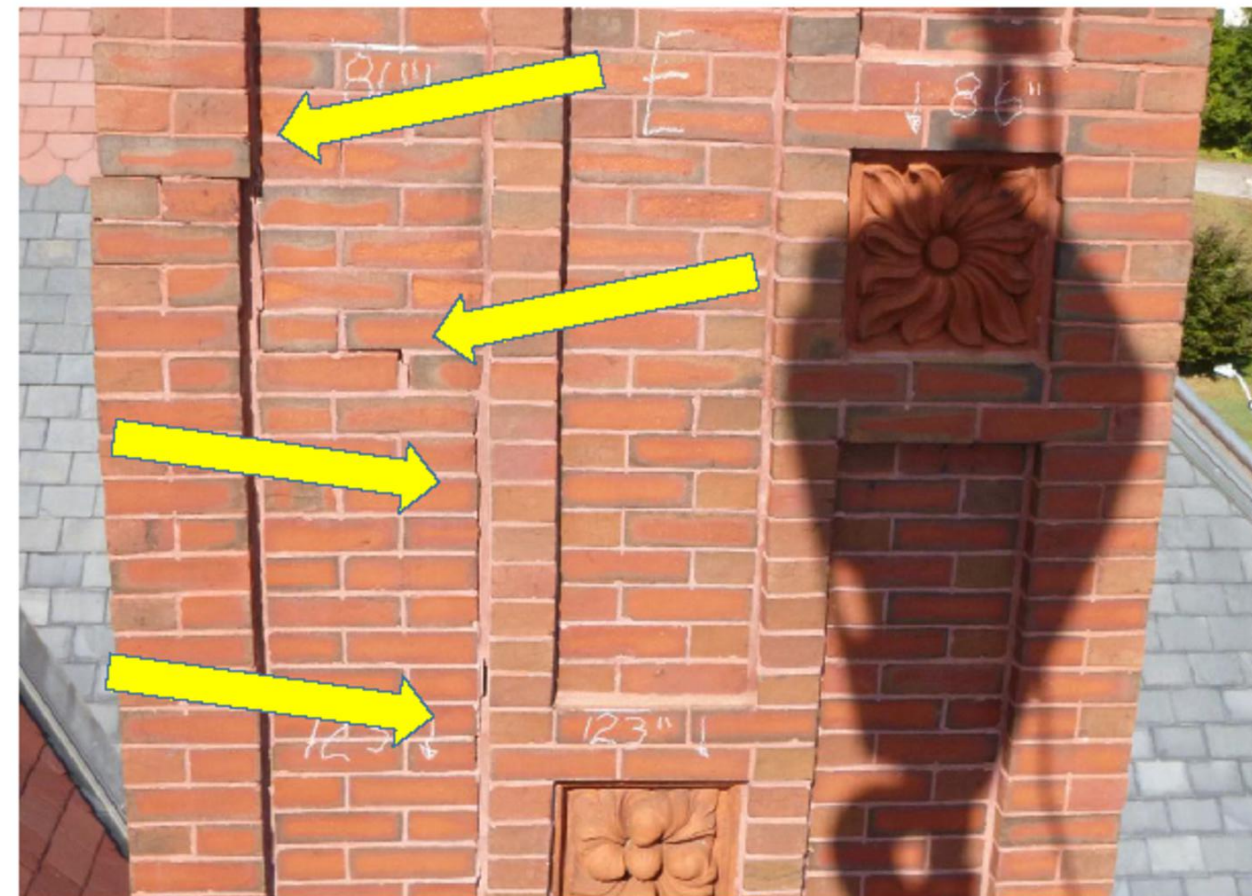
2. North Elevation. Fractures 48" from top



3. North Elevation. Fractures 255" from top



4. East Elevation. Fractures & Repoint open mortar joints 10" from top



5. East Elevation. Fractures 90" 120 "from top



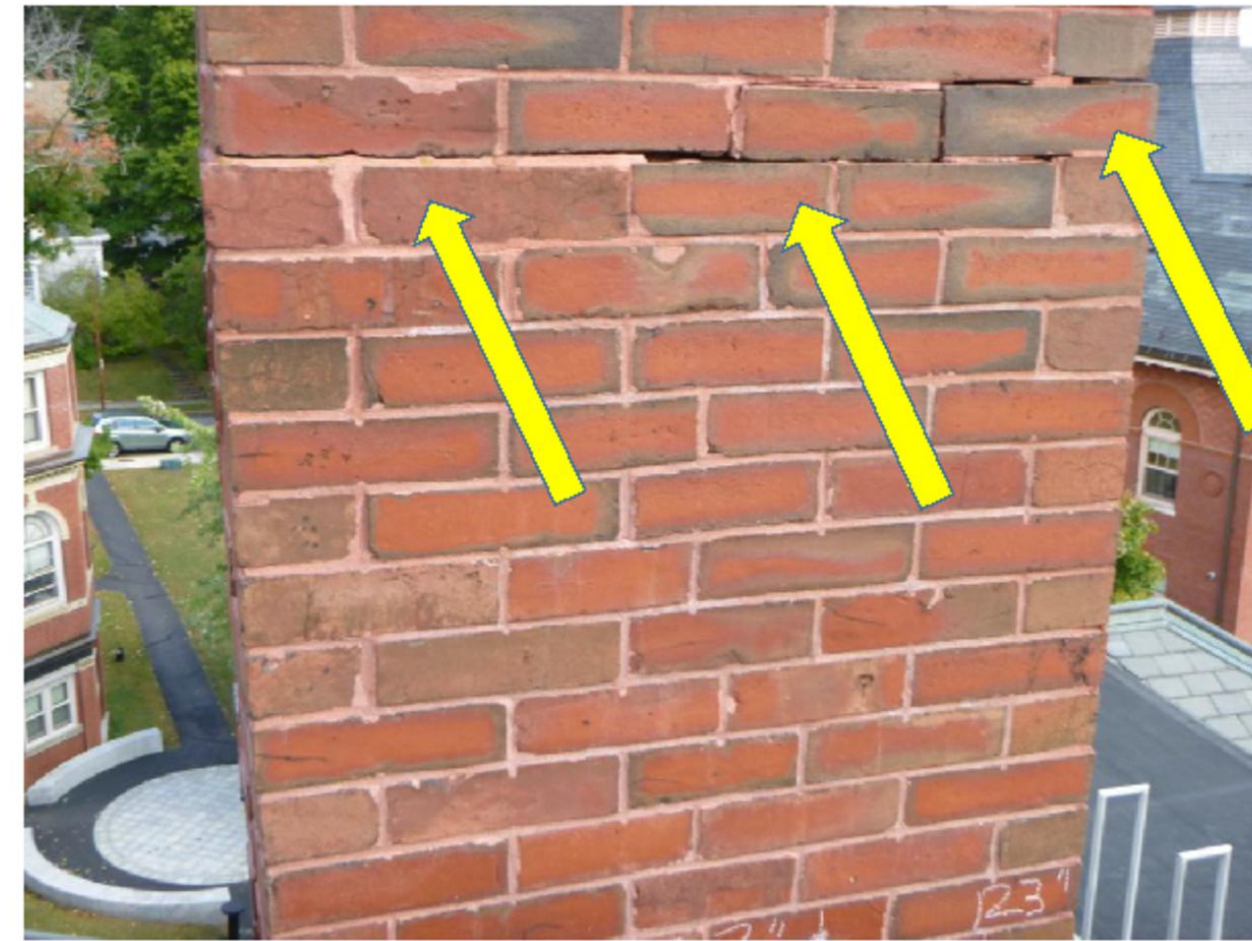
6. East Elevation. Repoint open mortar joints 228" from top



7. South Elevation. Fractures 10" from top



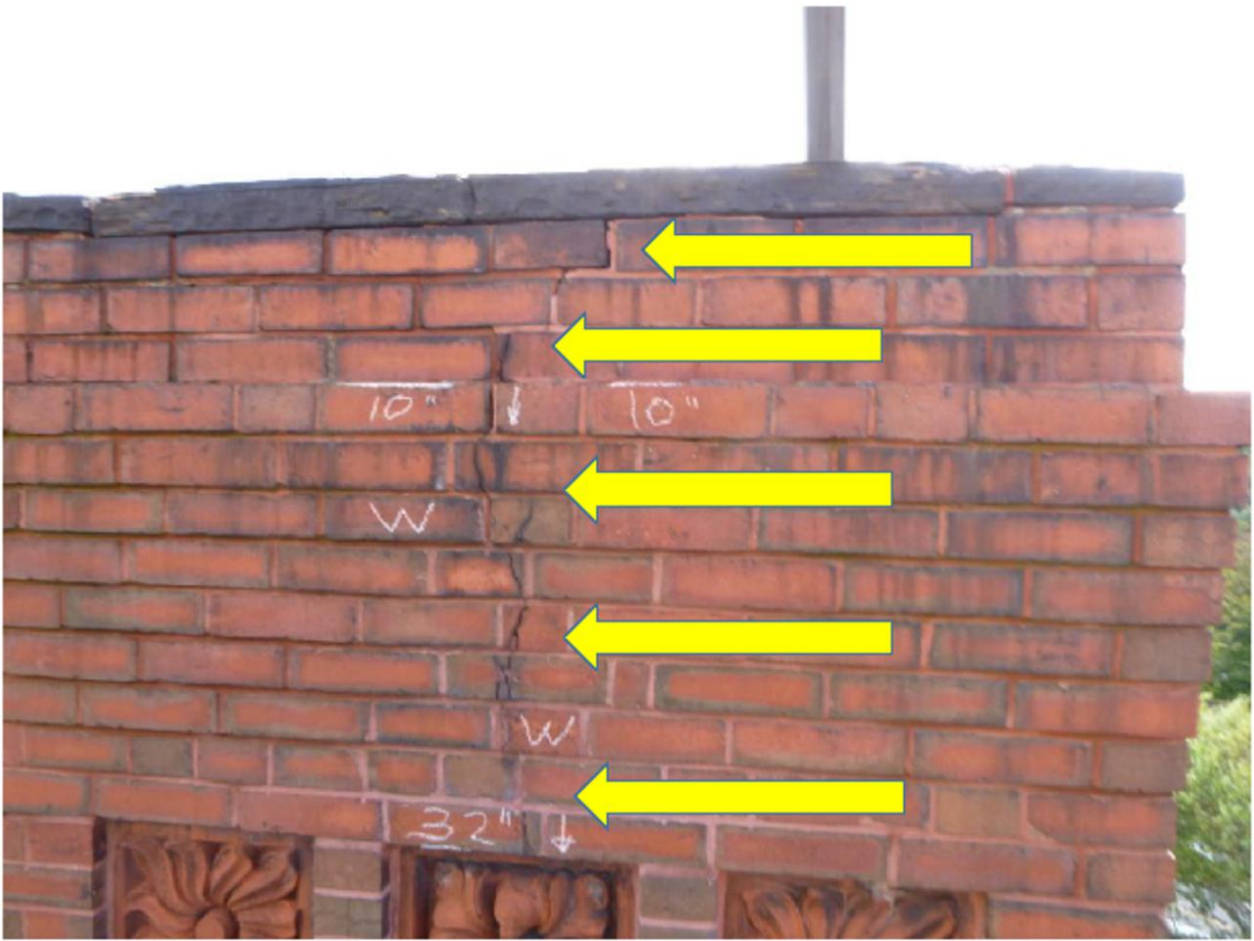
8. South Elevation. Deteriorated mortar joints 50" from top



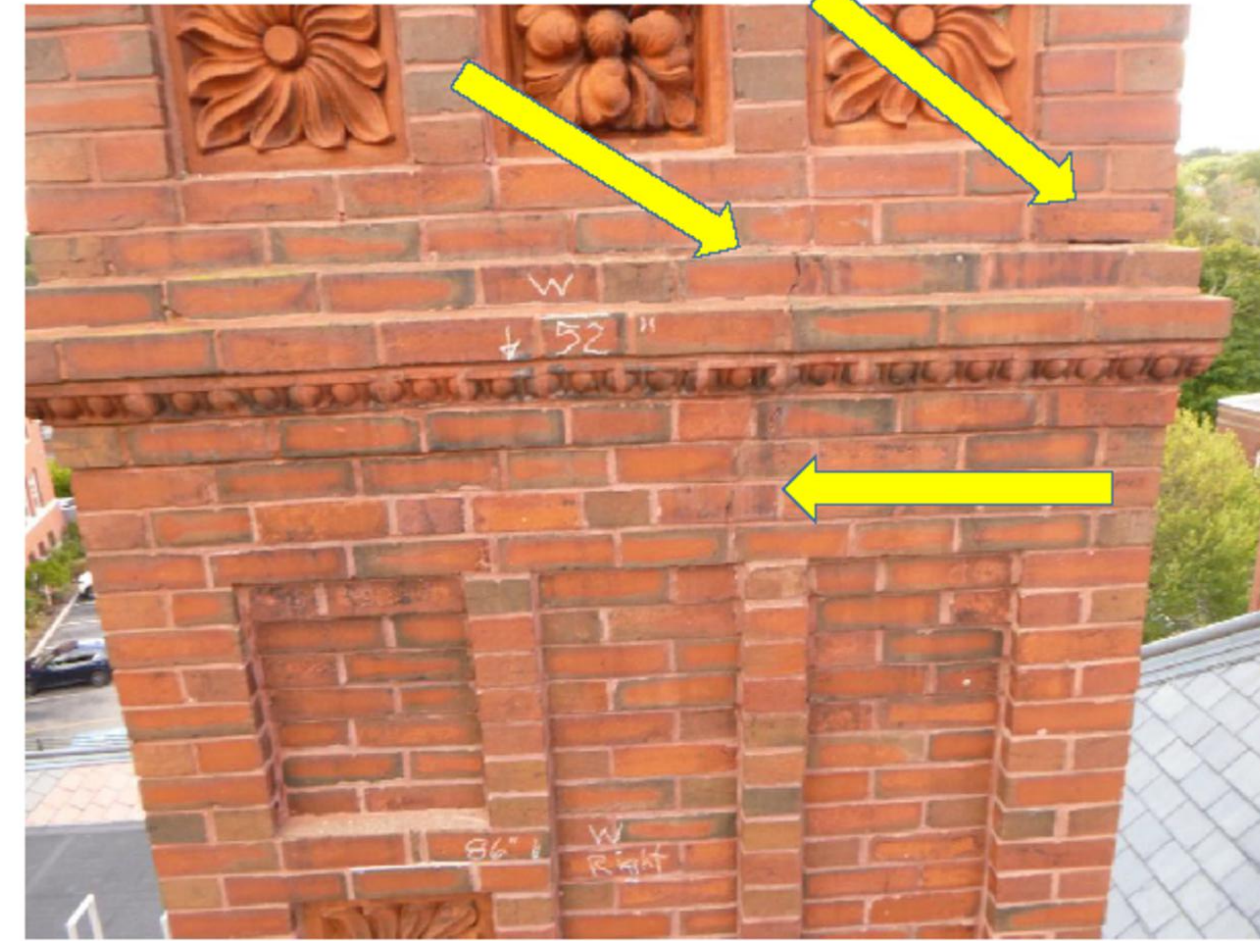
9. South Elevation. Horizontal fractures 100" from top



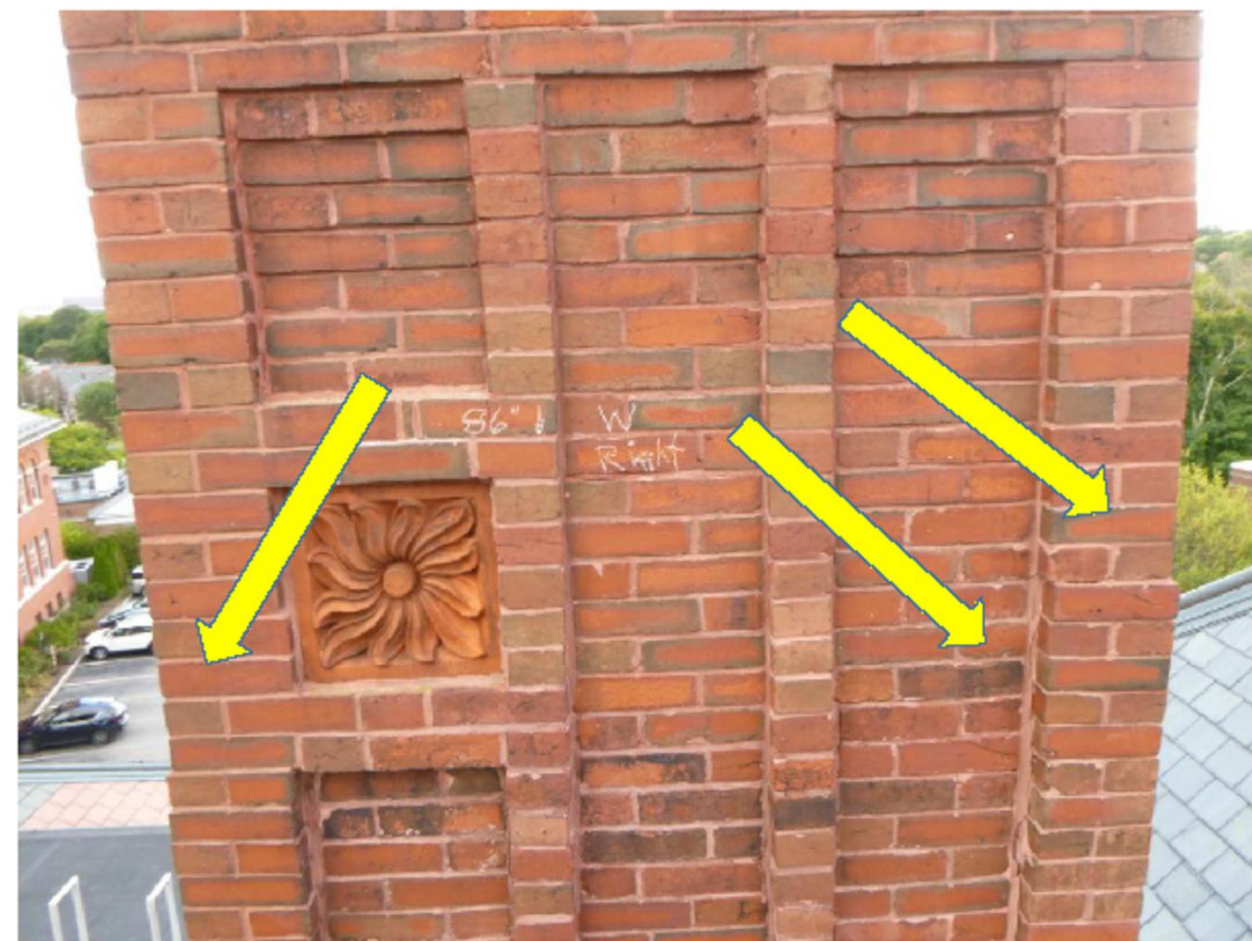
10. South Elevation. Open mortar at base of chimney



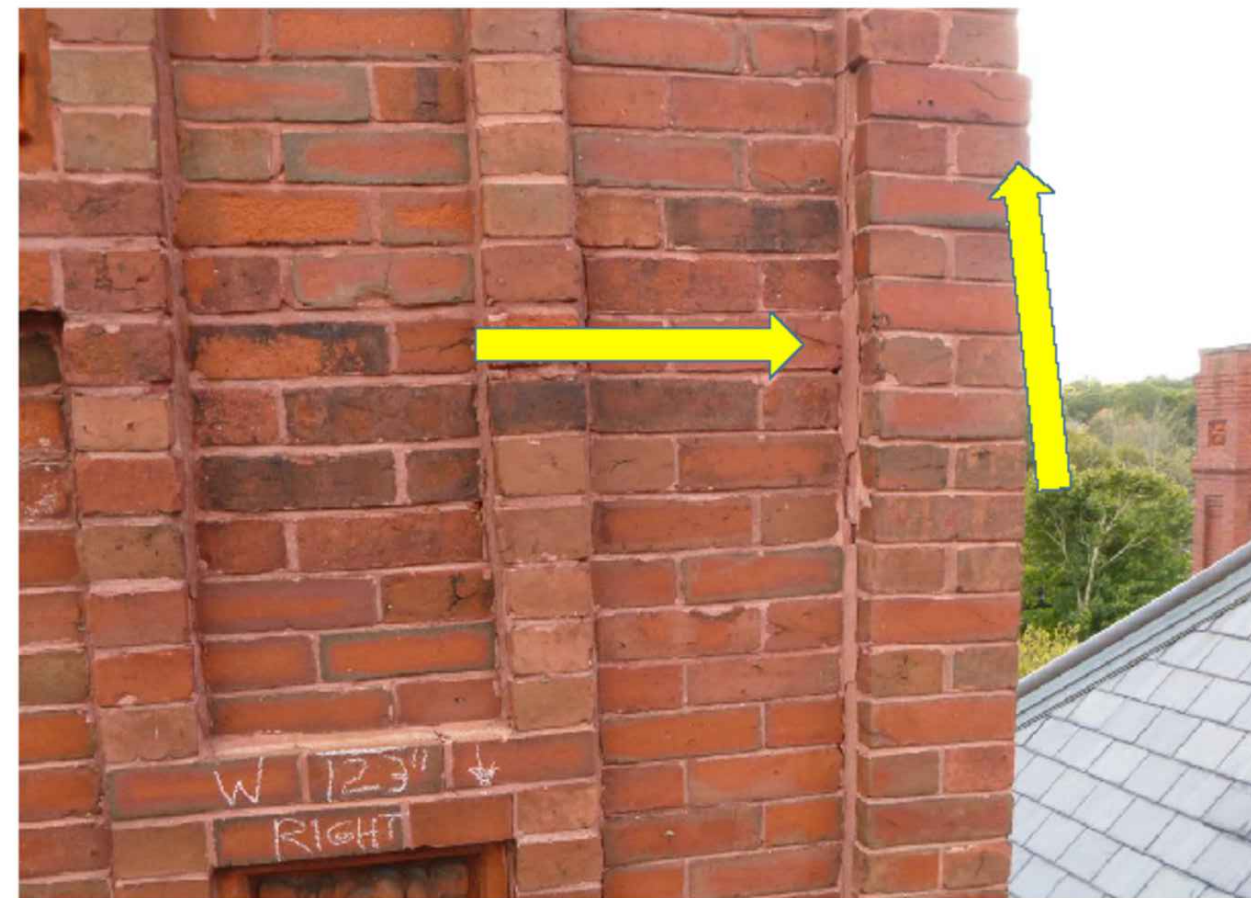
11. West Elevation. Fractures at top of chimney



12. West Elevation. Fractures & open mortar joint 52" from top



13. West Elevation. Fractures 96" from top



14. West Elevation. Fractures at 110" from top



15. West Elevation. Open mortar joints at 207" from top

Project Number
2105
Project Title
Belmont Town Hall
Chimney Repairs
455 Concord Avenue
Belmont, MA 02478

Drawing Title
Existing Conditions
Chimney #3
Photos

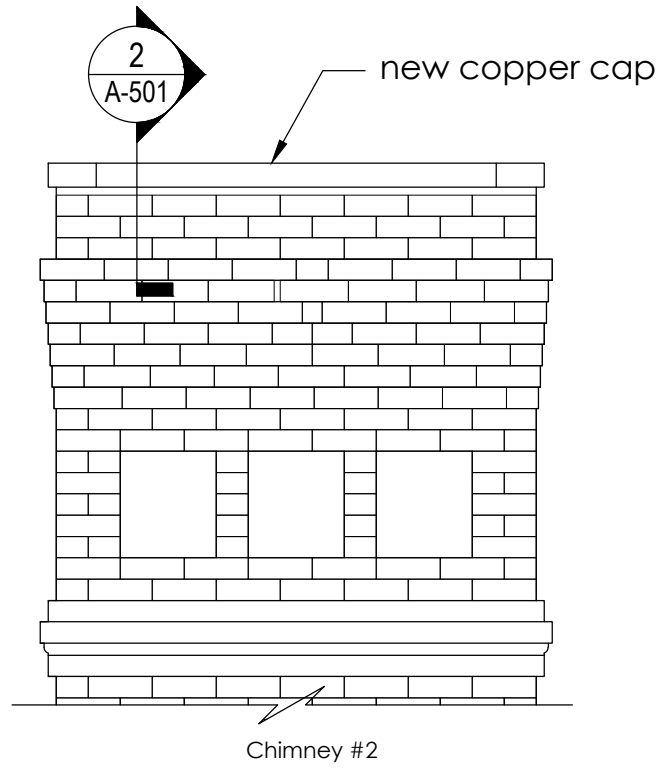
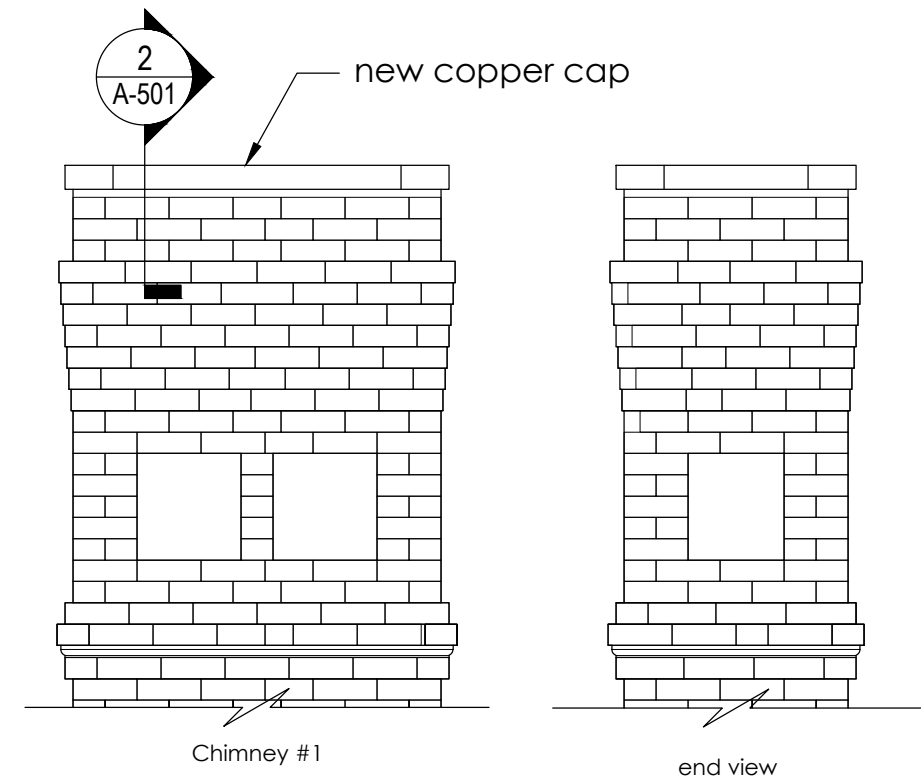
Date/Issued For
05.11.22
Construction Drawings

Scale
As Noted

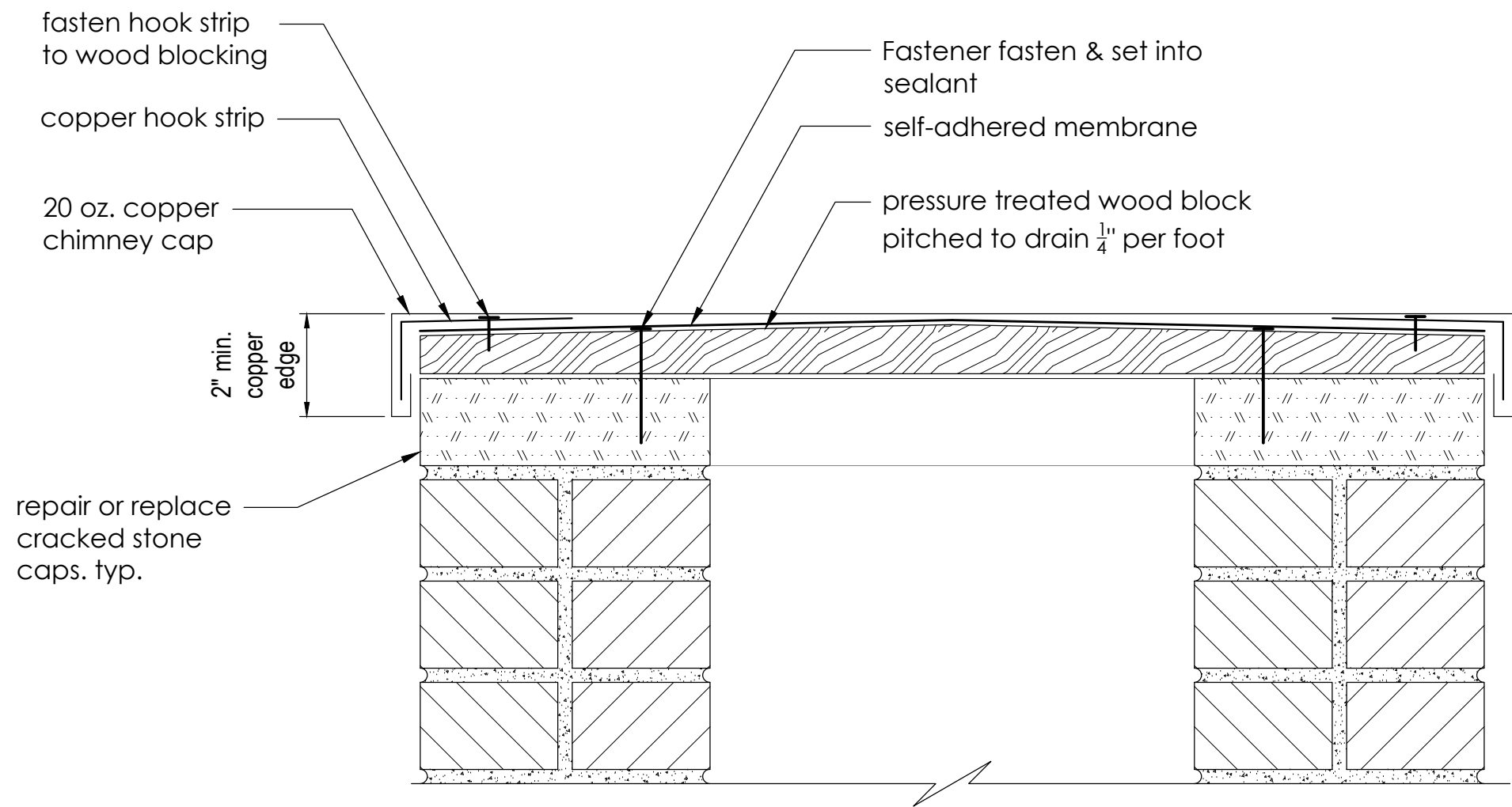
Drawn By
TGAS

Drawing Number
EC-405

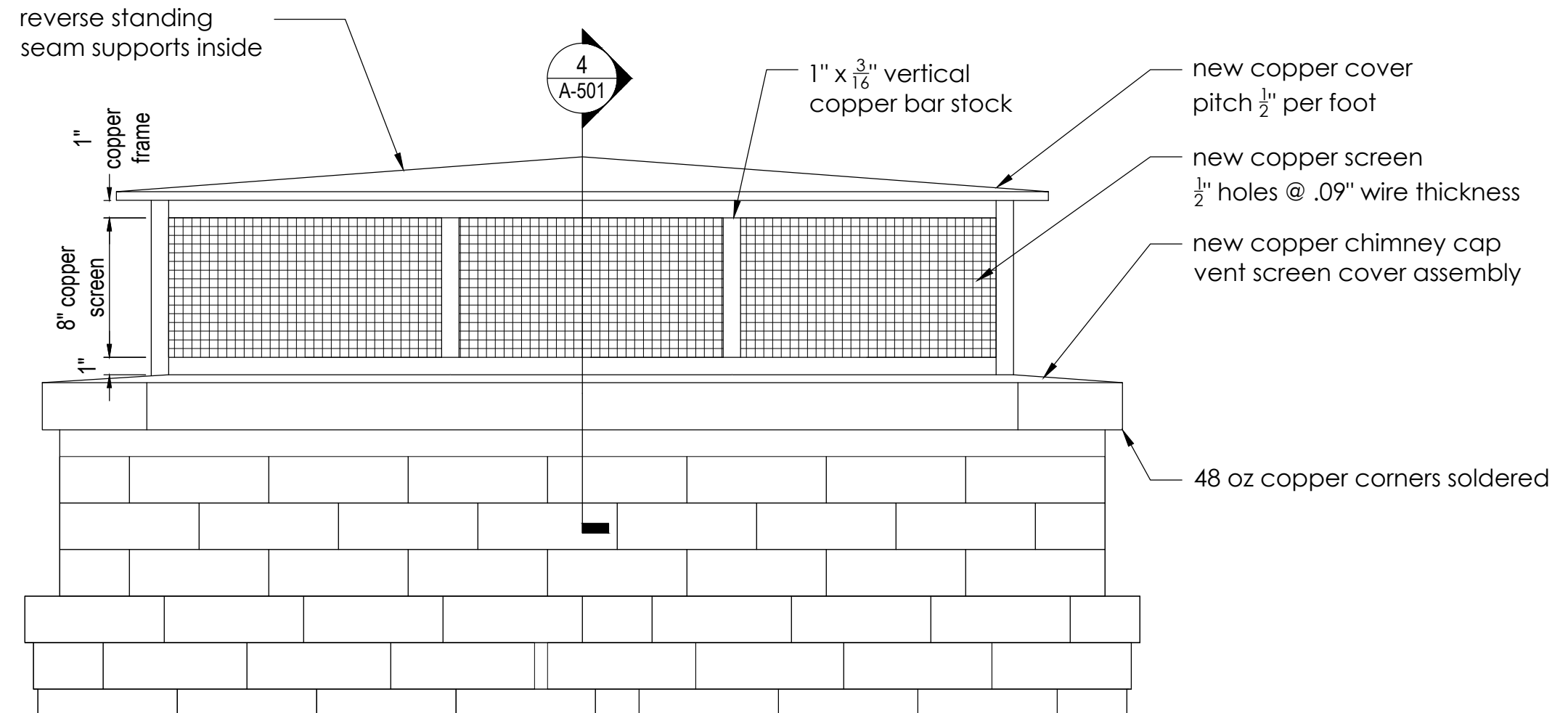
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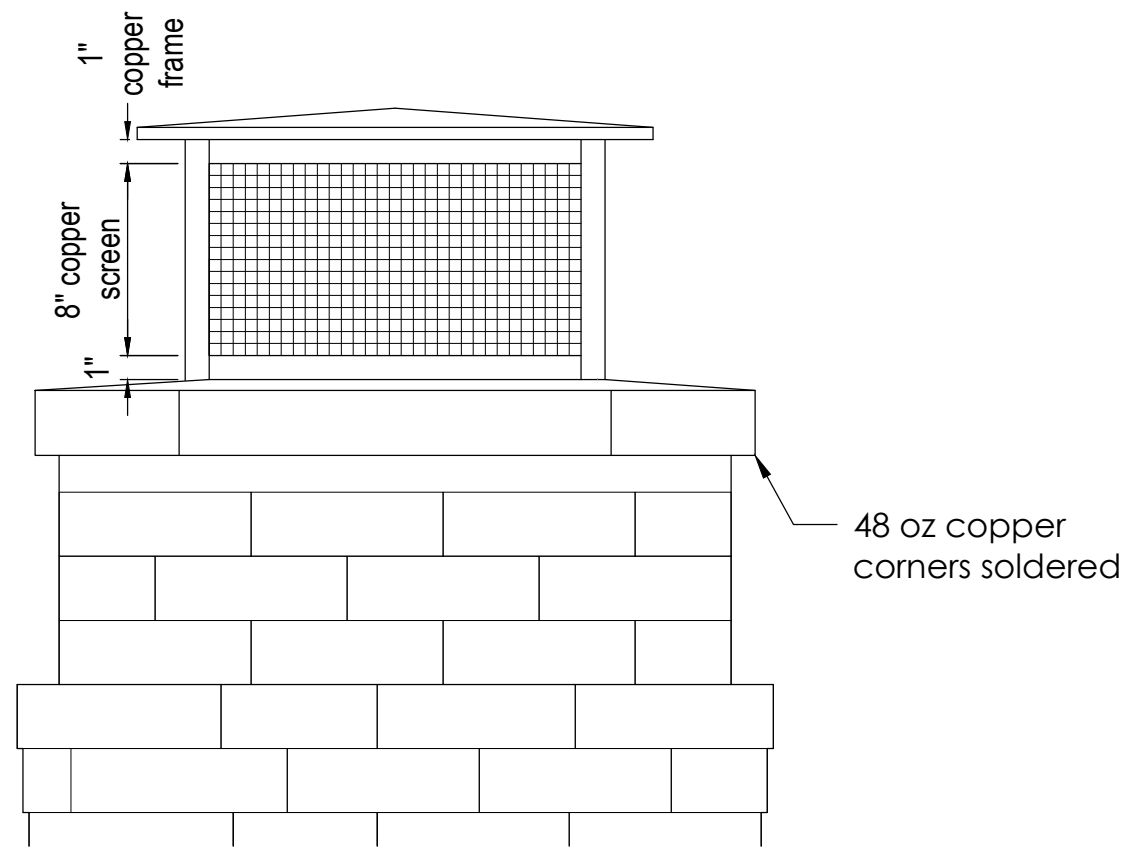
1 Chimney #1 & #2 Chimney Top Elevations
1/2" = 1'-0"



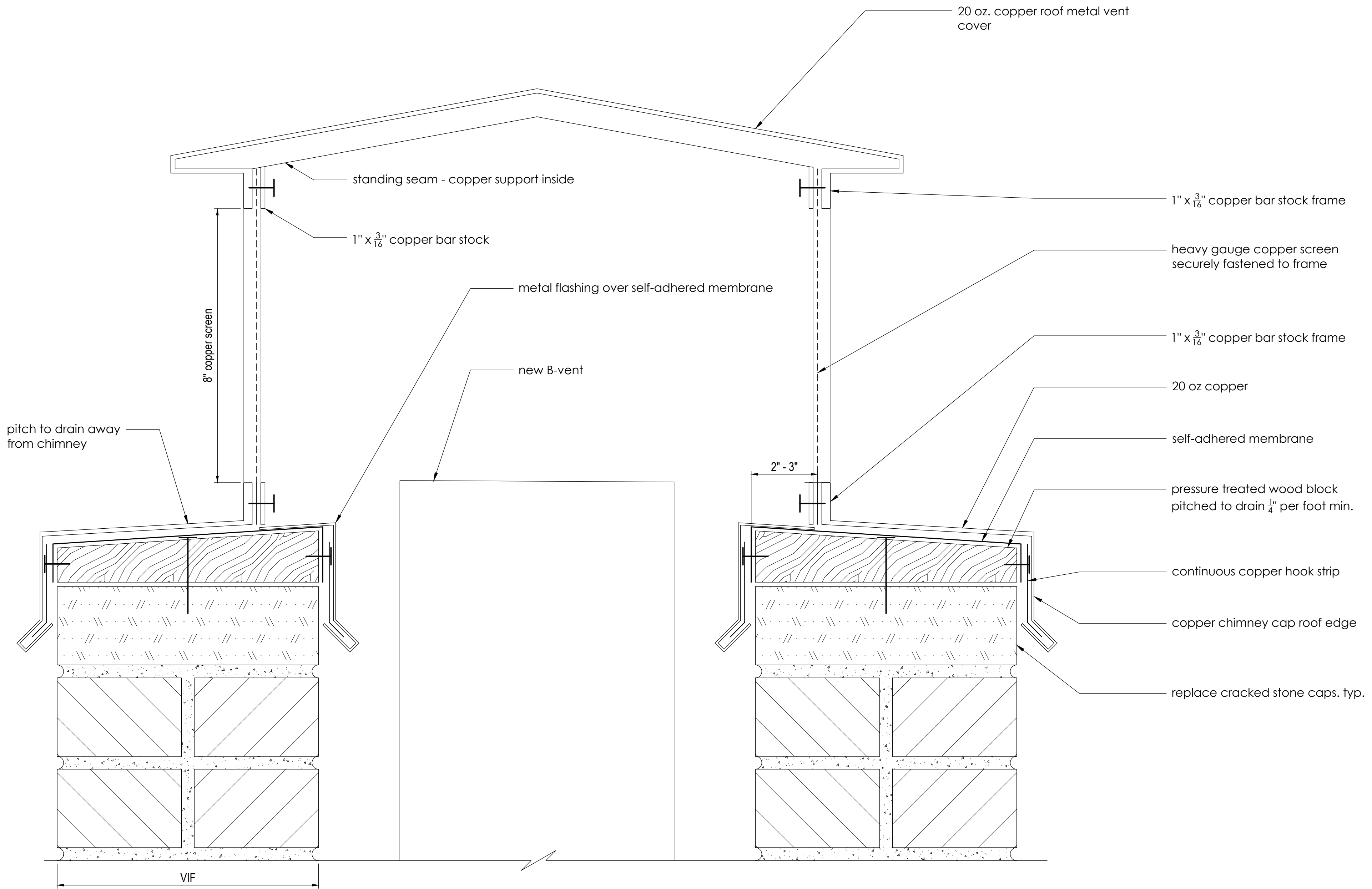
2 Section at Chimney Cap #1 & #2
3" = 1'-0"



3 Chimney #3 Chimney Top Vent Elevation
1 1/2" = 1'-0"



5 Chimney #3 Chimney Top Vent Elevation
1 1/2" = 1'-0"



4 Custom Chimney Cap Detail
6" = 1'-0"

TGAS

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Project Number
2105

Project Title
Belmont Town Hall
Chimney Repairs

455 Concord Avenue
Belmont, MA 02478

Drawing Title

Chimney Details

Date/Issued For
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Construction Drawings

Print 24x36

Scale
As Noted

Drawn By
TGAS

Drawing Number

A-501