



BELMONT, MA FORM-BASED OVERLAY DISTRICTS

DRAFT MAY 27, 2025



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Town of
BELMONT
MASSACHUSETTS

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1 INTRODUCTION

A. WHAT IS A FORM-BASED CODE

Form-Based Codes (FBCs) are a modern approach to zoning that focus on the physical design and character of buildings and public spaces, rather than just how buildings are used. This approach is especially well-suited to vibrant, walkable places like Belmont Center, where the goal is to preserve and enhance a traditional New England main street feel while encouraging thoughtful growth and reinvestment.

A form-based code regulates the built environment by prioritizing the form, scale, and relationship of buildings to streets and public spaces, rather than just separating land uses. While traditional zoning often labels areas by use—like “commercial” or “residential”—form-based codes emphasize character, using terms like “neighborhood main street” or “traditional village center.”

This method supports:

- Predictable development outcomes that reinforce the unique identity of Belmont Center.
- A high-quality public realm that prioritizes walkability, mixed-use development, and human-scaled architecture.
- A flexible range of compatible uses that allow for local businesses, residential options, and civic spaces to coexist within a coherent physical framework.

Form-based codes are adopted into local law as binding regulations, not merely guidelines, and they are designed to support Belmont’s planning goals by ensuring new development contributes positively to the town’s established character.

B. INCREASING ECONOMIC DEVELOPMENT

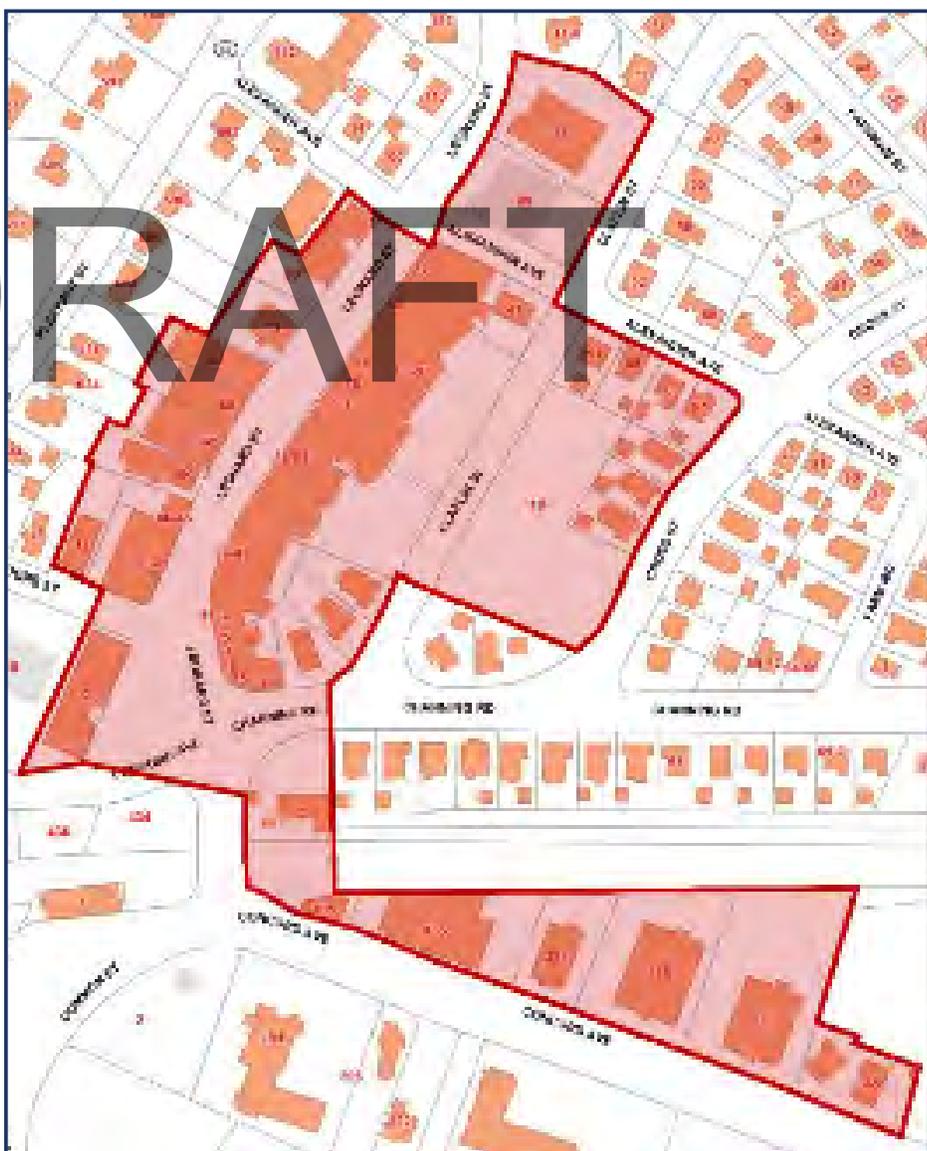
The Belmont Center Form-Based Code Overlay represents a critical step toward advancing the Town of Belmont’s goals for economic vitality, community character, and smart growth. The Town seeks to increase the share of commercial properties to 10% of its total tax base, reducing the burden on residential taxpayers while enhancing options for shopping, dining, and services. This vision is best achieved through the thoughtful redevelopment of existing commercial areas, with a focus on creating a vibrant, walkable, and economically resilient district.

This planning effort builds upon the foundation laid by the 2008 Vision for Belmont Center Plan, which first articulated the community’s aspirations for a more active and pedestrian-friendly center. This Form-Based Code Overlay offers the regulatory tools needed to implement that vision—focusing not just on land use but on the physical form and quality of the built environment. By establishing clear guidelines for building scale, placement, and design, the code aims to foster a cohesive, mixed-use district that respects Belmont’s historic charm while supporting future growth.

A robust public engagement process helped shape this code. A workshop held in January 2025 at Belmont Town Hall invited residents, business owners, and property stakeholders to participate in discussions about building heights, neighborhood character, views, and walkability. Insights from these conversations informed key components of the overlay, including street activation, scale transitions, and improved pedestrian access between Leonard Street and the Claflin Street parking area.

Leonard Street, Belmont’s traditional “Main Street,” is central to this effort, but the plan extends beyond a single corridor. By including Claflin Street and Concord Avenue, the overlay adds commercial frontage and creates opportunities for a more dynamic, multi-street district. The Special Requirements Plan, for example, introduces a mid-block pedestrian connection to enhance access from Claflin Street parking to Leonard Street.

Ultimately, this Form-Based Code Overlay is designed to reflect Belmont’s community values while unlocking the potential for high-quality development. It supports a broader vision of inclusive economic development, diverse housing options, and a public realm that prioritizes people over cars—ensuring Belmont Center remains both distinctive and forward-looking.



C. BUILDING ON PREVIOUS WORK

The Form-Based Code Overlay for Belmont Center builds on more than a decade of community-driven planning and analysis. This initiative synthesizes the findings and goals of three foundational planning documents that collectively provide a comprehensive vision for the area’s future development.

1. PLANNING VISION FOR BELMONT CENTER – BELMONT CENTER PLANNING GROUP (BCPG)

Developed through extensive engagement with residents, town committees, and stakeholders, this document outlines strategic objectives for Belmont Center’s long-term growth. Recognizing that large-scale redevelopment may not be feasible in the short term, it emphasizes the importance of targeted zoning changes to guide and manage future opportunities. Key goals include:

- Preserving and enhancing the historic character of Belmont Center
- Encouraging a diverse mix of businesses and uses to support daytime and evening activity
- Providing adequate and accessible parking for local businesses
- Enhancing the pedestrian environment for safety and accessibility
- Promoting civic life through public spaces and community-oriented events
- Protecting the character of surrounding residential neighborhoods

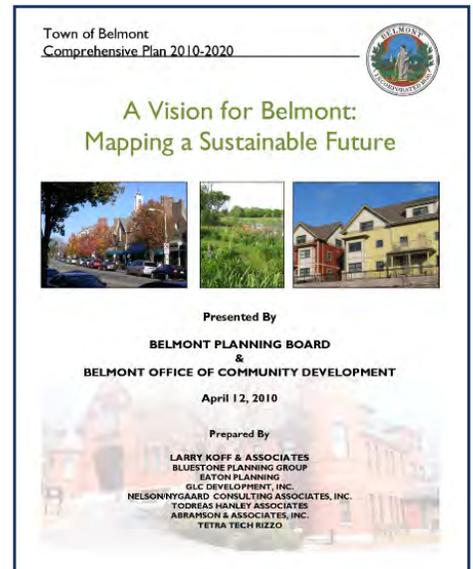
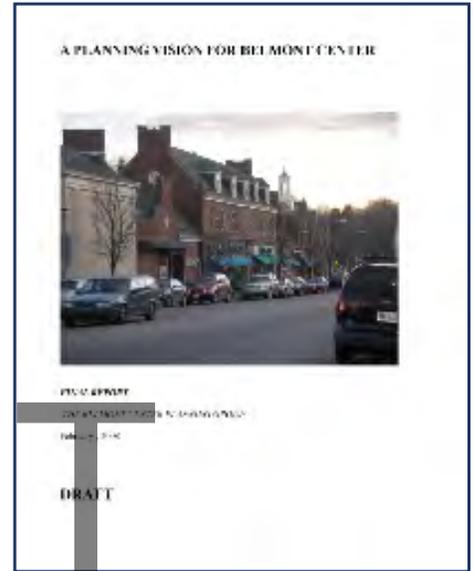
2. A VISION FOR BELMONT: MAPPING A SUSTAINABLE FUTURE

This plan outlines physical improvements to Belmont Center’s public infrastructure. Recommendations include redesigning Leonard Street, Concord Avenue, and Clafin Street to improve walkability and traffic flow. Proposed interventions involve one-way traffic conversions, widened sidewalks, reverse-angle parking, and improved pedestrian access to the Clafin Street parking lot. The plan also promotes shared parking strategies and aims to maximize customer convenience through better curb access and front-door availability.

3. BELMONT CENTER PARKING PLAN

This study provides a detailed assessment of current parking conditions in Belmont Center and proposes data-driven strategies for improvement. While the area benefits from ample parking and strong transit connections to Boston and Cambridge, inefficiencies exist due to outdated signage and permit systems. The plan identifies high demand on Leonard Street and underused parking on side streets. Key recommendations include revising parking permits, improving signage, encouraging walking and biking, and optimizing lot usage through better connectivity and management.

Together, these documents laid the groundwork for the Form-Based Code Overlay by establishing clear priorities and actionable strategies. This current effort integrates their findings into a cohesive regulatory framework that enables Belmont to move from planning to implementation.



D. THE PUBLIC PROCESS

A transparent and inclusive public process was central to the development of the Form-Based Code Overlay for Belmont Center. This approach ensured that the updated zoning reflects the community’s priorities, values, and aspirations.

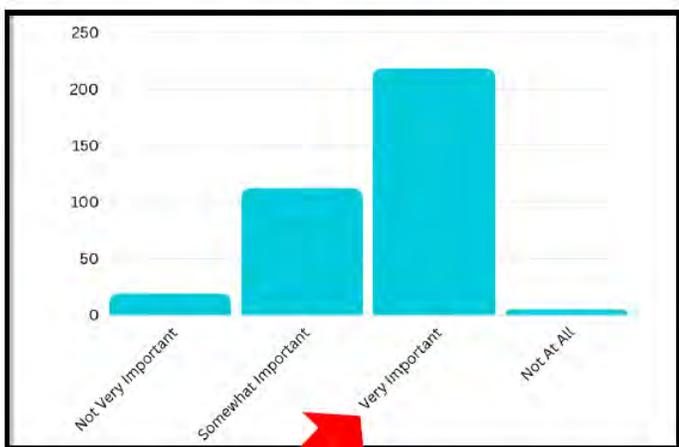
Ahead of the January 2025 workshop, a public survey was distributed to gather input from Belmont residents, business owners, employees, and frequent visitors. The survey explored key issues facing Belmont Center, including current challenges, the desired scale of change, and levels of support for a range of potential improvements. These included expanded retail and dining options, longer store hours, public spaces, enhanced services, entertainment venues, playgrounds, meeting areas, structured parking, and rooftop dining.

The survey received more than 370 responses, the majority from Belmont residents or individuals with a direct connection to the town center. Several themes emerged from the results:

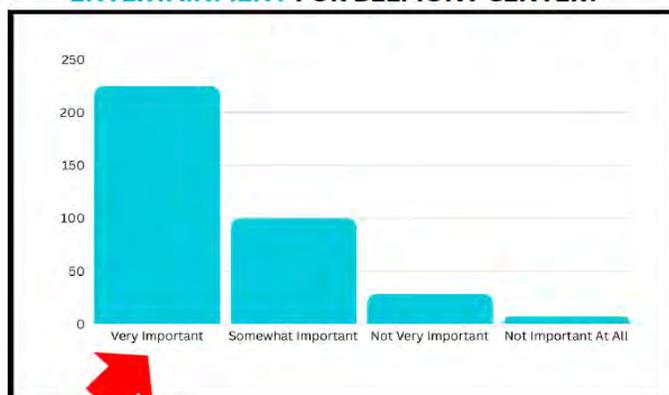
- Top goals included increasing local tax revenue, supporting small businesses, and revitalizing existing properties to enhance their taxable value.
- Key challenges identified were the limited variety and quality of shops and services, traffic congestion, and the lack of housing options in the center.
- Community sentiment indicated broad support for moderate to significant changes in Belmont Center, especially for initiatives that would increase vibrancy, walkability, and economic diversity.

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HOW WOULD YOU CHARACTERIZE YOUR LEVEL OF SUPPORT FOR MORE RETAIL OFFERINGS FOR BELMONT CENTER?



HOW WOULD YOU CHARACTERIZE YOUR LEVEL OF SUPPORT FOR MORE RESTAURANTS AND ENTERTAINMENT FOR BELMONT CENTER?



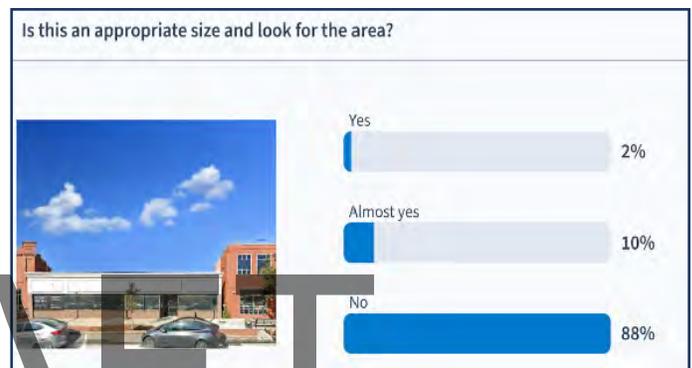
These survey results informed the structure and focus of the public workshop held on January 22–23, 2025, at Belmont Town Hall. The two-day event featured several interactive components:

- **Visual Image Survey:** Participants placed red or green dots on images of streetscapes, building facades, and urban forms to express preferences. This helped clarify which architectural styles, building types, and streetscape elements were favored.
- **Live Polling:** Attendees shared real-time feedback on building heights, frontage types, and character-defining features. Descriptors of Leonard Street today included “underdeveloped,” “potential,” and “quaint,” while future aspirations included “thriving,” “welcoming,” and “vibrant.” There was strong preference for two- to three-story brick buildings with active ground-floor commercial use, and general opposition to one-story or overly modern high-density development.
- **Table Exercises:** Small group discussions were conducted around base maps of the study area. Participants were asked to identify what should be preserved or improved, how to address parking and housing needs, and how to enhance public spaces. Many groups proposed converting Leonard Street to one-way traffic to improve flow, adding crosswalks, creating mid-block pedestrian connections, increasing building heights on Concord Avenue, and expanding commercial uses along Claflin Street.

The ideas and feedback collected during the survey and workshop were instrumental in shaping the development standards, design guidelines, and spatial strategies embedded in the new Form-Based Code Overlay. This participatory approach ensured that the resulting regulations are both responsive and rooted in the lived experiences of the Belmont community.



1 of 5 boards from the visual image survey



Example of live polling question



Participants during table exercises

E. THE OVERLAY CODE

To bring Belmont Center’s community-driven vision to life, existing zoning regulations must evolve to support a more walkable, vibrant, and economically diverse downtown. The current zoning, while flexible in some respects, relies heavily on the issuance of Special Permits from the Belmont Zoning Board of Appeals. These permits allow for increases in building height and floor area ratio (FAR), but are reviewed on a case-by-case basis using a variety of subjective criteria, such as compatibility with nearby structures, potential shadow impacts, fire safety, traffic effects, and public benefit. This process lacks predictability and clarity developers and property owners need to invest confidently in the area.

To address these challenges, the Town of Belmont, in collaboration with the consultant team from Able City East, developed this Form-Based Code (FBC) specifically for the Belmont Center area. Unlike traditional zoning, which focuses on land use, a form-based code prioritizes the physical character of the built environment—how buildings relate to streets, sidewalks, and each other. This approach ensures that new development supports the creation of a walkable, visually cohesive, and mixed-use district that enhances both community life and economic performance.

F. THE ROLE OF OVERLAY DISTRICTS

This overlay will complement existing zoning by providing a clearer, more predictable regulatory framework that focuses on building form, frontage types, and public realm design. Key benefits include:

- **Encouraging Expanded Commercial Development:** Require that new multi-story buildings include commercial spaces beyond just the ground floor, while also promoting the use of rooftops for commercial or public purposes during suitable seasons.
- **Preserving Architectural Character:** Ensuring that new development respects Belmont’s historical context while accommodating thoughtful growth.
- **Improving Clarity and Accessibility:** Using visual tools such as diagrams, street sections, and illustrations to make the zoning code more user-friendly for residents, property owners, and developers.
- **Allowing Types of Housing Missing from Belmont:** Allowing more diverse and smaller housing options within the center of Belmont to help address local affordability challenges while supporting a vibrant town center.

Form-Based Codes emphasize placemaking. By regulating the relationship between buildings and the public realm, they create more attractive, functional, and human-scaled environments. In Belmont Center, this means fostering a district where pedestrians feel welcome, businesses can thrive, and architectural integrity is preserved.

G. BELMONT CENTER BEFORE AND AFTER

While Belmont Center may appear to be fully built out to some, there remains significant opportunity for thoughtful growth and revitalization. A truly vibrant center isn't confined to a single street, and Belmont Center has the potential to expand and evolve, embracing its role as a more integrated, multi-faceted district.

NOTE: This renderings shown here are conceptual illustrations intended to demonstrate one possible outcome under the guidelines of the following Form-Based Code. It is for illustrative purposes only and does not represent an actual development proposal, plan, or project. The design shown is hypothetical and should not be interpreted as indicative of any future development decisions or approvals.



Belmont Center Existing Conditions.



Hypothetical build-out of Belmont Center

Clafin Street offers the ideal opportunity to transform from a auto-oriented parking lot into a pedestrian-friendly, commercial corridor. With on-street parking, wide sidewalks, street trees, and new building facades, Clafin Street could become a secondary “Main Street.” Additionally, the area will continue to accommodate municipal parking in structured facilities behind the new street frontage, ensuring that the district’s parking needs are met without sacrificing the quality of the streetscape.



Concord Avenue offers another strategic opportunity to enhance connectivity and expand the district. It connects Belmont Center to both the high school and the public park, providing a potential corridor for further economic activity. The area’s office buildings could be redeveloped into street-oriented commercial properties or into a much-needed hotel, helping to create a more cohesive, pedestrian-friendly environment. This location also provides space for taller buildings, which could accommodate multiple floors of commercial building, maximizing the use of land. With shared parking in the rear of deeper lots, Belmont Center could better support new development while preserving valuable public spaces.



Through these transformations, Belmont Center could emerge as a more dynamic and connected district that enhances the quality of life for residents and the experience for visitors.



H. HOW TO USE THIS FORM BASED OVERLAY

This Form-Based Code is structured to guide development and redevelopment within designated overlay districts through a clear, predictable framework rooted in physical form, public realm, and community priorities. The following steps will help users navigate and apply the code effectively:

1. DETERMINE IF THE OVERLAY CODE APPLIES

Start by confirming whether the property in question lies within a designated Form-Based Overlay District. Refer to Section 2A: Establishment of Overlay Districts and consult the Regulating Plan (Section 2B) to identify district boundaries and applicable transect zones (FB1–FB5).

2. UNDERSTAND THE VISION

Before proceeding, review the Introduction (Section 1) to understand the broader goals of the code, including economic development, public involvement, and the intended transformation of Belmont Center and surrounding areas. This context supports informed application of the standards.

3. LOCATE THE TRANSECT ZONE

Using the Regulating Plan, identify the specific Form-Based Transect Zone that applies to your property:

- FB1 Edge
- FB2 General
- FB3 Center
- FB4 Core
- FB5 Gateway

Each zone includes a distinct set of regulations tailored to its urban character and development intensity. See Sections 2E–2I for detailed standards.

4. CHECK PERMITTED USES

Review Section 3: Permitted Uses to confirm whether your intended use is allowed within the identified zone. This section outlines both listed uses and the process for considering uses not explicitly listed.

5. REVIEW DEVELOPMENT STANDARDS

Once the transect and use are confirmed, refer to Section 4: General Standards for guidance on:

- Building and site design
- Parking requirements
- Lighting and landscaping
- Stormwater management
- Incentives for public benefits

These standards ensure that private development contributes to a cohesive and high-quality public realm.

6. UNDERSTAND STREETS AND CIVIC SPACE REQUIREMENTS

Review Section 5 to understand the role of streets and civic spaces in shaping the district. These public elements are key to achieving the code's placemaking objectives.

7. FOLLOW THE ADMINISTRATIVE PROCESS

If your project is eligible and aligned with the code, consult Section 6: Administration for the procedures required to opt into the overlay, submit applications, attend pre-application meetings, and navigate the review and approval process.

8. REFER TO DEFINITIONS

Use Section 7: Definitions to clarify key terms and ensure correct interpretation of the code language.

2 FORM-BASED OVERLAY DISTRICTS

A. ESTABLISHMENT OF OVERLAY DISTRICTS

The Form-Based Overlay hereby establishes the following Form-Based Districts, as shown on the Regulating Plan herein. Each area is defined by characteristics that correspond with building placement, building form, and building height, all of which influence the level of walkability and vibrancy of a place. The use of this overlay code increases the commercial square footage in the district by requiring a minimum of two floors of non-residential space. The Form-Based Overlay Districts for Belmont include:

FB1: Edge



DESIRED FORM:

- Buildings up to 2.5 stories in height
- Architectural appearance consistent with single-family homes
- Commercial and office uses allowed within a residential form
- Pitched roofs strongly encouraged to maintain compatibility with adjacent neighborhoods
- Limited number of attached dwelling units or townhomes permitted
- Porches, stoops, and front yards encouraged to blend with adjacent streetscapes

INTENT:

The FB1 district serves as a transitional zone between the denser commercial core and surrounding residential neighborhoods. It is designed to maintain the scale, rhythm, and character of nearby single-family homes while subtly integrating commercial and office activity. This form supports neighborhood-serving uses such as small offices, studios, and professional services without disrupting the residential feel. By allowing limited attached housing types and reinforcing the pitched-roof typology, this district ensures a sensitive and visually compatible edge condition that supports walkability and a gradual increase in use intensity.

FB2: General



DESIRED FORM:

- 2.5 to 3.5 story buildings
- Mix of detached, semi-detached, and attached building types
- Combination of pitched and flat roofs
- Varied front setbacks to respond to adjacent uses
- Rear yard transitions with landscaping or step-backs to reduce impact on neighboring residential properties

INTENT:

The FB2 district is a critical transition area that bridges the commercial Leonard Street corridor and the quieter residential neighborhood along Pleasant Street. It enables a diverse range of small-scale commercial, and mixed-use buildings that are compatible with nearby single-family homes. Development should be massed and scaled to protect views, light, and privacy for existing residences, particularly at the rear of the lots. This zone encourages architectural diversity and flexibility, while ensuring a harmonious relationship between different land use intensities.

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FB3: Center



DESIRED FORM:

- 3 to 4 story buildings
- Attached mixed-use buildings with continuous streetwall
- Predominantly flat roofs to allow rooftop activation
- Narrower lot widths and active frontages

INTENT:

The FB3 district reinforces the pedestrian-oriented character of Leonard Street by preserving and enhancing its continuous streetwall and traditional retail presence. It allows modest increases in building height to support new commercial opportunities, with an emphasis on human-scale design. Rooftop spaces may be used for dining, gardens, or other amenities, providing added value while respecting nearby uses. The goal is to sustain and strengthen the walkable village feel of Belmont Center, with high-quality infill and redevelopment that respects existing scale and rhythm.

FB4: Core



DESIRED FORM:

- 4 to 5 story attached buildings
- Structured parking located behind or beneath buildings
- Flat roofs with potential for green or activated roof uses
- Urban street edge with minimal setbacks

INTENT:

The FB4 district establishes the functional core of Belmont Center. Located at the heart of activity, it accommodates higher-intensity commercial and mixed-use development while supporting parking solutions that serve the broader district. The form and scale are intended to promote a vibrant, walkable environment, with buildings that define and activate the public realm along Clafin Street and Concord Avenue. Structured parking integrated into building footprints or rear lots enhances accessibility and reduces the impact of surface lots. This area is key to long-term economic vitality and district-wide connectivity.

FB5: Gateway



DESIRED FORM:

- 5 to 7 story buildings, tallest in Belmont Center
- Attached or detached buildings with prominent entries and façades
- Structured parking within or behind buildings
- Flat roofs with opportunity for signage, gardens, or hospitality amenities
- Signature architecture encouraged for gateway identity

INTENT:

FB5 functions as the signature gateway to Belmont Center, offering the greatest opportunity for vertical development and landmark architecture. It is envisioned as the location for hospitality and larger commercial uses. The generous lot depths and building heights allow for integrated structured parking and mixed-use programs. As the most urban district, FB5 should convey a strong identity for the Center while transitioning appropriately to adjacent transects. Development here should serve as a visual anchor and economic catalyst for the surrounding area.

B. REGULATING PLAN



Form-Based Overlay Districts

-  FB1: Edge
-  FB2: General
-  FB3: Center
-  FB4: Core
-  FB5: Gateway
-  Parcels
-  Overlay Boundary
-  Potential Future Inclusion in Overlay District

C. FORM BASED DISTRICT SUMMARY CHART

	FB1	FB2	FB3	FB4	FB5
Building Placement					
Setbacks					
Front Build-to-Zone or Setback	10' min	0' min to 10' max	0' min to 10' max	0' min to 10' max	8' min to 20' max
Side Street Build-to-Zone	5' min	0' min. to 5' max	5' min to 10' max	0' min to 10' max	0' min to 10' max
Interior Side Property Line Setback	0' min (attached) 7.5' min (detached)	0' min (attached) 7.5' min (detached)	0' min (attached) 7.5' min (detached)	0' min	0' min
Rear Setback	5' min	5' min.	5' min	5' min	5' min
Rear Setback abutting R District	10' min.				
Frontage Buildout					
Frontage Buildout Front Street	40% min	50% min.	70% min	70% min	80% min
Frontage Buildout Side Street	N/A	50% min.	50% min	50% min	50% min
Permitted Encroachments	Balconies, Bay Windows, Awnings, Porches, Stoops, Blade Signs, and Other Frontage Elements				
Encroachment into BTZ (all Districts)		Residual Setback from Property Line			
Front	8' max.	3'	0'	0'	3'
Side Street	6' max.	3'			
Rear	3' max.	2'			
Coverage					
Impervious Coverage (% maximum)	75% max	80% max	90% max.	95% max.	95% max.
Pervious Open Space (% minimum)	25%	20%	10%	5%	5%
Building Form					
Height					
Main Building Height	2.5 stories 37' max	2.5 stories 37' max	3 stories 37' max	4 stories 53' max	5 stories 65' max
Maximum Building Height with Public Benefit Incentive	NA	3.5 stories	4 stories	5 stories	7 stories
	NA	48' max	48' max	65' max	87' max
Rear Accommodation Building Height within 35' of Lot Line Abutting R District	NA	pitched roof preferred 2.5 stories / 36' max	NA	NA	NA
Ground Floor Elev. Above Sidewalk	24" min. (residential) 6" max (commercial)	6" max (commercial)			
Ground Story Height	11' min.	11' min.	13' min.	13' min	13' min
Upper Floor(s) Story Height	8' min. clear	8' min. clear	8' min. clear	8' min. clear	8' min. clear
Half Story Height	18' max pitched roof 12' max flat roof				
Frontage Type					
Depth, Ground Floor Active Use	N/A	15' min.	15' min.	15' min.	20' min.
Ground Floor Fenestration	15% min	60% min	70% min	70% min	70% min
Allowed Frontage Types	Storefront, Porch, Stoop	Storefront, Gallery, Forecourt, Stoop	Storefront, Gallery, Stoop		
Parking Location (Distance from Property Line)					
Front Setback	20' min	20' min	20' min	30' min	20' min
Side Street Setback	3' min	3' min	3' min	3' min	3' min
Side Setback	0' min	0' min	0' min	0' min	0' min
Rear Setback	5' min	5' min	5' min	5' min	5' min

D. SPECIAL REQUIREMENTS

1. PURPOSE AND INTENT

The Special Requirements Plan ensures that certain features are required to ensure that the intent of the Form-Based Overlay District is carried out when development occurs. This includes Required Storefronts, a Mid-block Arcade to allow better pedestrian access without having to walk through businesses, and special Rear Accommodations to ensure adjacent neighbors needs are addressed. These requirements apply to both new developments and significant redevelopments or renovations of existing buildings within these zones.

2. REQUIRED STOREFRONT

In all areas designated as Required Storefront on the Special Requirements Plan, the development of properties shall include Storefronts at street level.

3. MID-BLOCK ARCADE

The Mid-Block Arcade is a critical urban design feature intended to enhance pedestrian permeability within larger block between Claflin and Leonard Street. It provides a convenient, safe, engaging passageway that connects parking areas to Leonard Street. The Mid-Block Arcade serves to:

- Break down large block lengths, improving walkability;
- Create additional opportunities for public-facing commercial frontage;
- Support a fine-grained pedestrian network that enhances the character and functionality of the district;

- Improve connectivity;
- Provide opportunities for public interaction and visual interest through design, lighting, and retail activity.

A Mid-block Arcade is required at the ground level connecting Claflin Street to Leonard Street. It should not be located within 100' of Alexander Street or Channing Road as noted on the Special Requirements Plan. A second Mid-block Arcade may be permitted provided it is not within 100' of the first Mid-block Arcade.

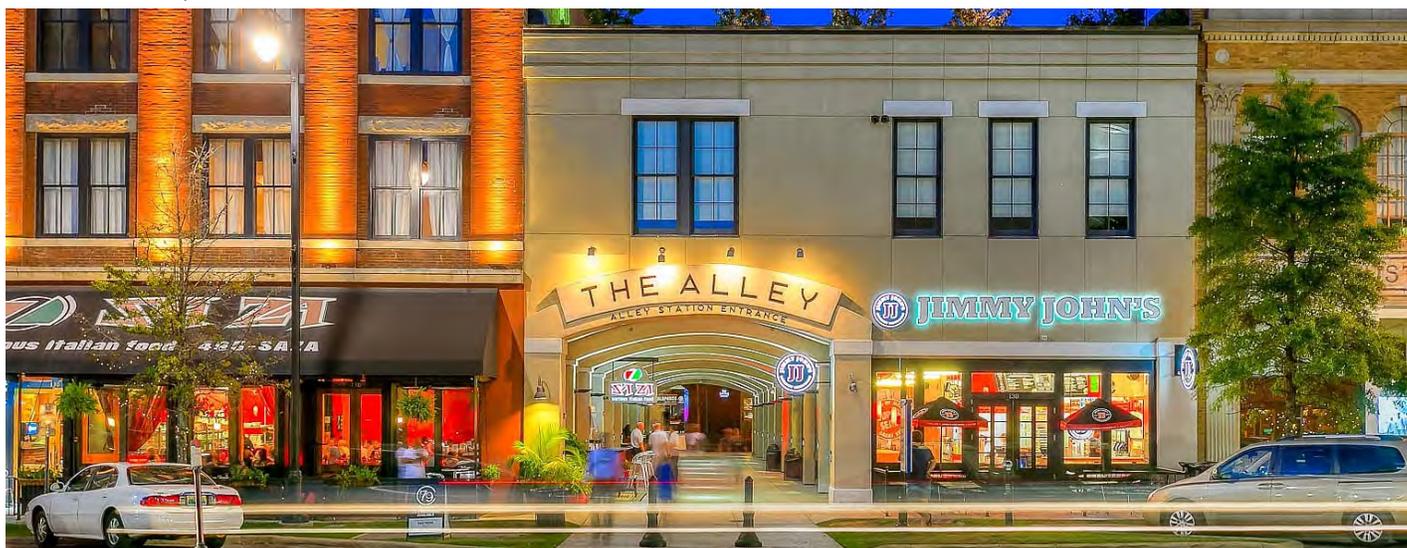
The Mid-Block arcade shall be a minimum of 12' in width.

Requirements for a Mid-Block Arcade can be found in Section 4.1.2.

4. REAR ACCOMMODATIONS

In all areas designated as needing Rear Accommodations, additional rear setbacks are required as designated in the FB2 District Standards. These rear accommodations are intended to minimize the impact of commercial lots abutting residential lots along a rear lot line. The rear accommodations are intended to ensure upper floors of commercial structures are not too close to the rear lot lines and that private residences retain their privacy as well as light.

Requirements for a Rear Accommodations can be found in Section 2.F.4.



Example of a Mid-Block Arcade

FB1**E. EDGE**

This district includes residential sized buildings on the edge of the commercial area and encourages the addition of more commercial or office uses. It allows 2.5 stories and 37 feet of height, a similar as adjacent residential buildings.

In the Edge Form-Based District, buildings are required to be street-oriented, and typically detached. The intent of this zone is to maintain a residential character similar to the surrounding single family neighborhoods which surround the Center and General Districts while encouraging commercial uses within those structures.



Figure 1-1: Illustrative example of buildings and site arrangement in the Edge Form-Based District

FB1

1. EXAMPLES



Two story commercial building.



Live/Work units have ground level storefronts with residential above.



Multi-family buildings are street-oriented but set further back than in the other Form-Based Districts.



A corner store and ground level commercial uses.

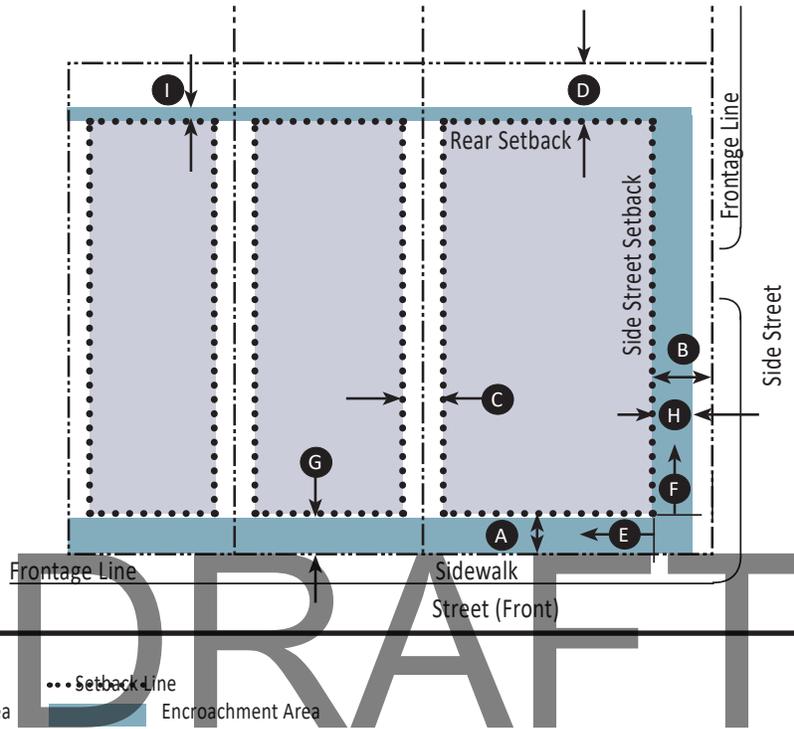


Single family detached houses with front porches transitions to commercial uses.



FB1

2. BUILDING FORM



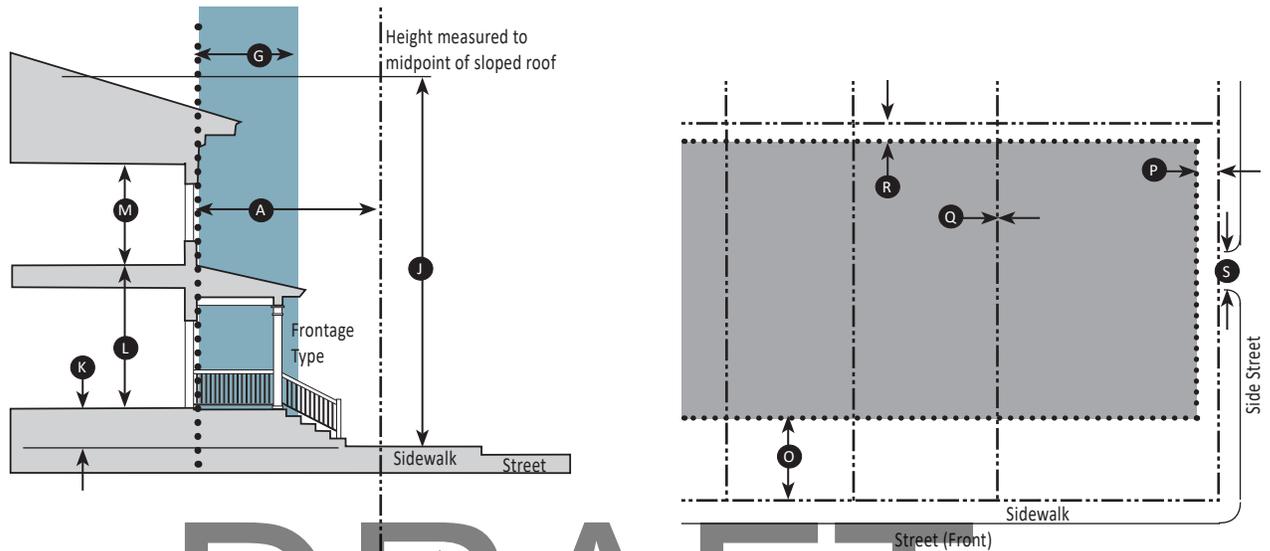
Key

- Property Line
- Setback Line
- Potential Building Area
- Encroachment Area

a. Building Placement		
Setbacks		
Front Setback	10' min.	(A)
Side Street Setback	10' min.	(B)
Interior Side Property Line Setback	0' min. (attached) 7.5' min. (detached)	(C)
Rear Setback	5' min.	(D)
Rear Setback abutting R District	10' min	(D)
Frontage Buildout		
Building Façade within Build-to-Zone		
Front Street Frontage	40% min.	(E)
Side Street Frontage	N/A	(F)
Permitted Encroachments		
	Encroachment into BTZ	Residual Setback from Property Line
Front	8' max.	3'
Side Street	6' max.	3'
Rear	3' max.	2'
Coverage		
Impervious Coverage (% maximum)	75%	
Pervious Open Space (% minimum)	25%	

FB1

3. PARKING



DRAFT

Key
 - - - - - Property Line
 Setback Line

Key
 - - - - - Property Line
 Setback Line
 [Shaded Area] Parking Area

b. Building Form		
Height		
Main Building	2.5 stories max	J
	37' max.	J
Maximum Building Height with Public Benefit Incentive	NA	
Rear Accommodation Building Height within 35' of Lot Line Abutting R District	N/A	
Ground Floor Elev. Above Sidewalk	24" min. (residential) 6" max (commercial)	K
Ground Story Height	11' min. clear	L
Upper Floor(s) Story Height	8' min. clear	M
Half Story Height	18' max pitched roof 12' max flat roof	
c. Frontage Type		
Depth, Ground Floor Active Use	N/A	
Ground Floor Fenestration	15% min	
Allowed Frontage Types	Storefront, Porch, Stoop, Common Yard	
d. Miscellaneous		
All buildings must have a Principal Entrance along the Front Façade.		

a. Parking Location (Distance from Property Line)		
Front Setback	20' min	O
Side Street Setback	3' min	P
Side Setback	0' min	Q
Rear Setback	5' min	R
Parking Curb Cut Width	15' max.	S

b. Parking District Requirements

Parking shall be provided as established in the Parking Section 4E.

Parking shall be located behind the Front Façade of buildings and accessed from Side Streets or through adjacent parking areas whenever possible.

Streetscreens, Garden Walls, fences, or hedges are required along all un-built Street Right-of-Ways adjacent to parking.

Shared driveways between adjacent lots are encouraged to reduce curb cuts.

Shared parking areas, garages and decks are encouraged to allow more active frontages and reduce the number of on lot parking areas.

FB2**F. GENERAL**

This district provides a transition from the main commercial areas to the surrounding residential neighborhoods. Buildings may be 2.5 stories and up to 48 feet in height.

When providing a public benefit, an additional story may be permitted. Rear accommodations for abutting residential neighbors are included within this district.



Figure 1-2: Illustrative example of buildings and site arrangement in the Edge Form-Based District

1. EXAMPLES



Multi-family home on a small lot



A commercial stoop provides an entrance in a historic building.



New commercial structures can resemble historic homes retrofitted over time to include commercial uses



One and Two story buildings line a Main Street.

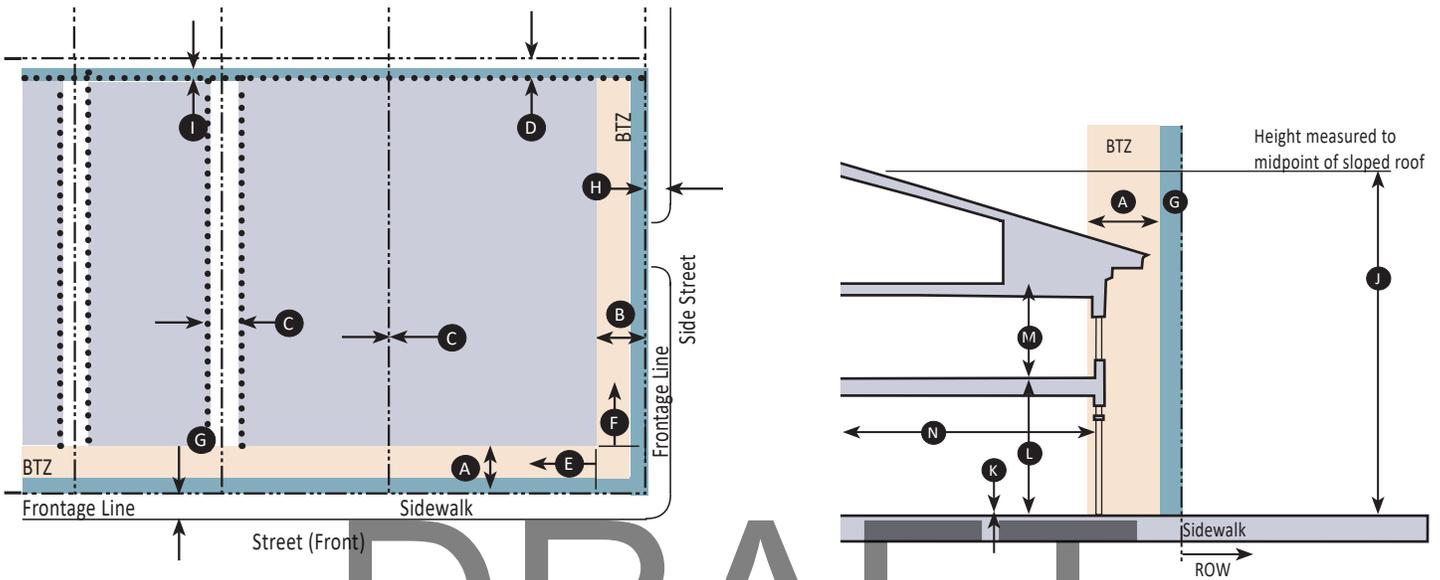


Long continuous street walls formed by mixed-use structures located on streets with ample sidewalks



FB2

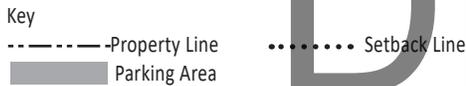
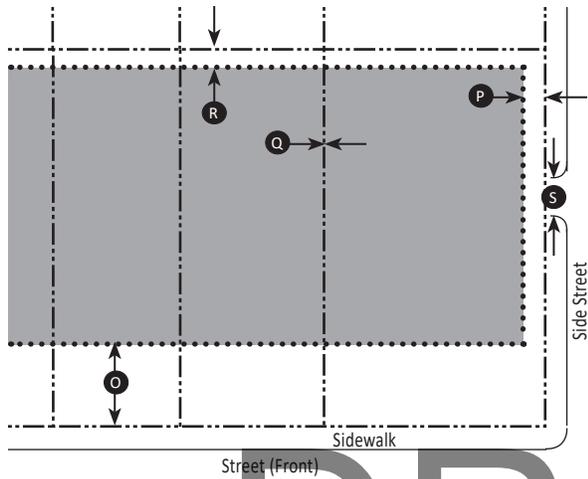
2. BUILDING FORM



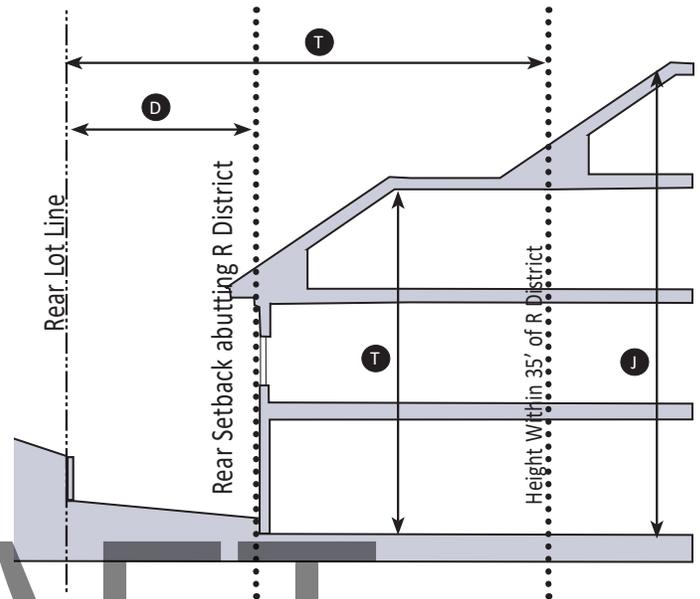
a. Building Placement		
Setbacks		
Front Build-to-Zone	0' min to 10' max	(A)
Side Street Setback	5'	(B)
Interior Side Property Line Setback	0' min (attached) 7.5' min (detached)	(C)
Rear Setback	5' min.	(D)
Rear Setback abutting R District	10' min	(D)
Frontage Buildout		
Building Façade within Build-to-Zone		
Front Street Frontage	40% min	(E)
Side Street Frontage	N/A	(F)
Permitted Encroachments		
	Encroachment into BTZ	Residual Setback from Property Line
Front	8' max.	0'
Side Street	6' max.	3'
Rear	3' max.	2'
Coverage		
Impervious Coverage (% maximum)	80%	
Pervious Open Space (% minimum)	20%	

b. Building Form		
Height		
Main Building	2.5 stories	(J)
	37' max	(J)
Maximum Building Height with Public Benefit Incentive	3.5 stories	
	48' max	
Ground Floor Elev. Above Sidewalk	6" max (commercial)	(K)
Ground Story Height	11' min.	(L)
Upper Floor(s) Story Height	8' min. clear	(M)
Half Story Height	18' max pitched roof	
	12' max flat roof	
c. Frontage Type		
Depth, Ground Floor Active Use	15' min.	(N)
Ground Floor Fenestration	60% min	
Allowed Frontage Types	Storefront, Gallery, Forecourt, Stoop	
d. Miscellaneous		
All buildings must have a Principal Entrance along the Front Façade.		
¹ See Lot & Building Standards for more information		

3. PARKING



4. REAR ACCOMODATION



DRAFT

a. Parking Location (Distance from Property Line)

Front Setback	20' min	O
Side Street Setback	3' min	P
Side Setback	0' min	Q
Rear Setback	5' min	R
Parking Curb Cut Width	15' max.	S

b. Parking District Requirements

Parking shall be provided as established in the Parking Section 4E.

Parking shall be located behind the Front Façade of buildings and accessed from Side Streets or through adjacent parking areas whenever possible.

Streetscreens, Garden Walls, fences, or hedges are required along all un-built Street Right-of-Ways adjacent to parking.

Shared driveways between adjacent lots are encouraged to reduce curb cuts.

Shared parking areas, garages and decks are encouraged to allow more active frontages and reduce the number of on lot parking areas.

a. Rear Accomodation Parameters

Rear Setback abutting R District	10' min	D
Building Height within 25' of Lot Line Abutting R District	2.5 stories 41' max	T
Roof Form	Pitched roof toward rear property line	

NOTE: The location for Rear Accomodations is where the commercial lots facing Leonard Street abut with a residential district with lots facing Pleasant Street and is marked on the Special Requirements Plan.

FB3**G. CENTER**

This district focuses on Leonard Street. It allows 3 stories and up to 48 feet in height. It encourages additional floors to have commercial space. When a public benefit is provided, an additional story may be permitted.

The intent of this district is to keep the existing character along Leonard Street while encouraging additional height and commercial uses for one story buildings.

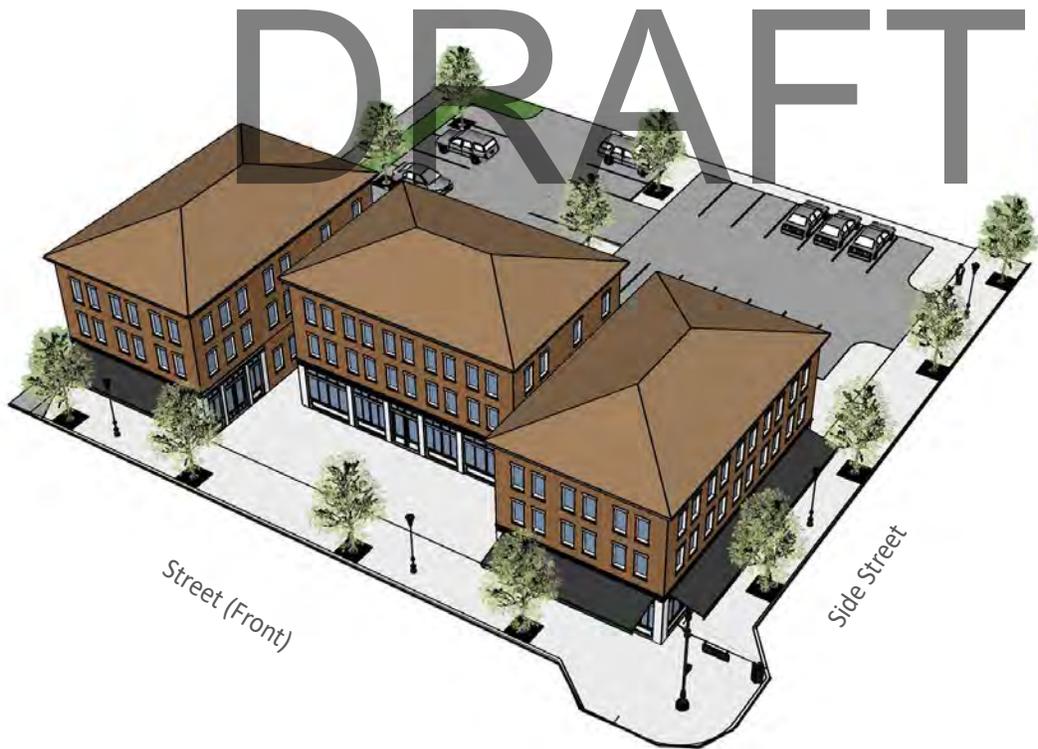


Figure 1-3: Illustrative example of buildings and site arrangement in the FBO Center District

FB3

1. EXAMPLES



The code intends mixed-use buildings with simple basic massing, well-designed storefronts, and architecturally rich details.



A street of commercial block buildings of varying heights and widths



A multi-story mixed-use building addresses the slope of the street.



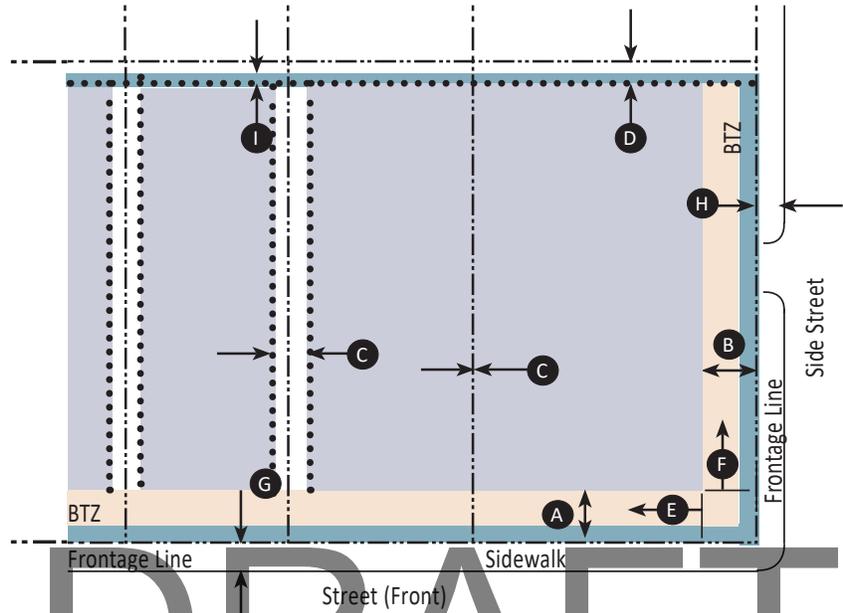
New three-story brick commercial buildings adjacent to older one-story commercial structures.



Three-story structure with commercial frontage shaded by a second floor balcony.

FB3

2. BUILDING FORM



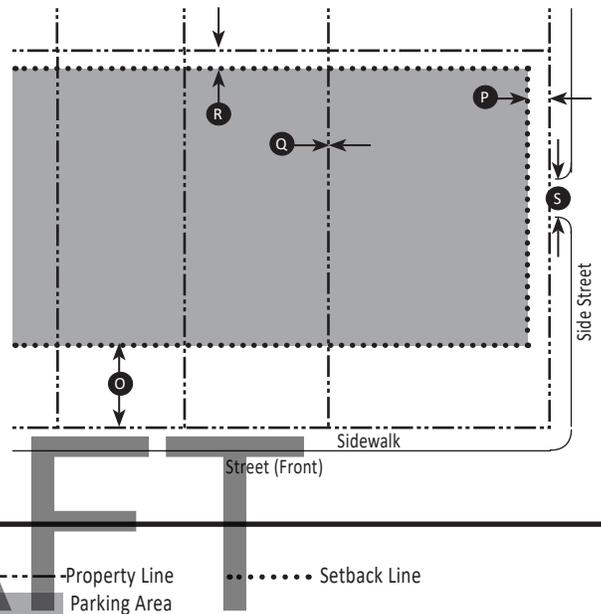
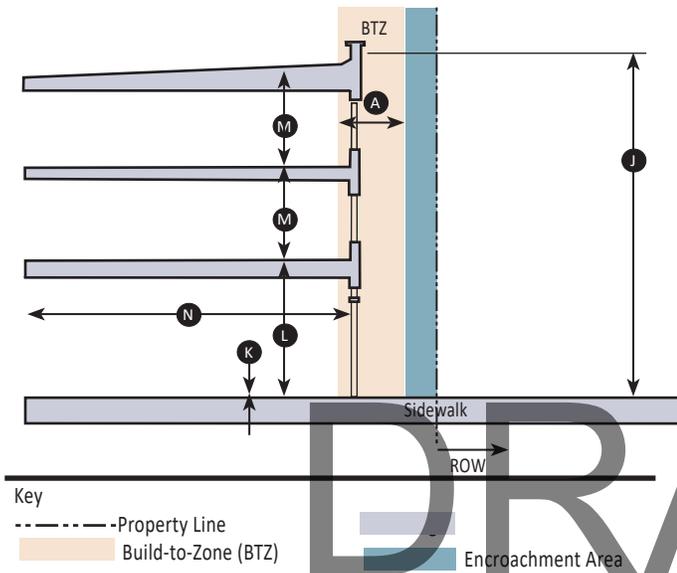
Key

-----	Property Line	Setback Line
■	Build-to-Zone (BTZ)	■	Potential Building Area (in addition to BTZ)
■		■	Encroachment Area

a. Building Placement		
Setbacks		
Front Build-to-Zone	0' min to 10' max	A
Side Street Setback	5' min to 10' max	B
Interior Side Property Line Setback	0' min (attached) 7.5' min (detached)	C
Rear Setback	5' min	D
Rear Setback abutting R District	10' min	D
Frontage Buildout		
Building Façade within Build-to-Zone		
Front Street Frontage	70% min	E
Side Street Frontage	50% min	F
Permitted Encroachments		
	Encroachment into BTZ	Residual Setback from Property Line
Front	8' max.	0'
Side Street	6' max.	3'
Rear	3' max.	2'
Coverage		
Impervious Coverage (% maximum)	90%	
Pervious Open Space (% minimum)	10%	

FB3

3. PARKING



b. Building Form		
Height		
Main Building	3 stories	J
	37' max	J
Maximum Building Height with Public Benefit Incentive	4 stories	
	48' max	
Rear Accommodation Building Height within 35' of Lot Line Abutting R District	NA	
Ground Floor Elev. Above Sidewalk	6" max (commercial)	K
Ground Story Height	13' min.	L
Upper Floor(s) Story Height	8' min. clear	M
Half Story Height	18' max pitched roof	
	12' max flat roof	
c. Frontage Type		
Depth, Ground Floor Active Use	15' min.	N
Ground Floor Fenestration	70% min	
Allowed Frontage Types	Storefront, Gallery, Stoop	
d. Miscellaneous		
All buildings must have a Principal Entrance along the Front Façade.		
¹See Lot & Building Standards for more information		

a. Parking Location (Distance from Property Line)		
Front Setback	20' min	O
Side Street Setback	3' min	P
Side Setback	0' min	Q
Rear Setback	5' min	R
Parking Curb Cut Width	15' max.	S

b. Parking District Requirements	
Parking shall be provided as established in the Parking Section 4E.	
Parking shall be located behind the Front Façade of buildings and accessed from Side Streets or through adjacent parking areas whenever possible.	
Streetscreens, Garden Walls, fences, or hedges are required along all un-built Street Right-of-Ways adjacent to parking.	
Shared driveways between adjacent lots are encouraged to reduce curb cuts.	
Shared parking areas, garages and decks are encouraged to allow more active frontages and reduce the number of on lot parking areas.	

FB4

H. CORE

This district forms the new core of the Belmont Center area. It is concentrated along Claflin Street and Concord Avenue and allows 4 stories and up to 65 feet of height. To maximize vibrancy and walkability, this district adds an additional street for commercial addresses to the area.

It is planned to host a mix of commercial and residential structures. Priority is placed on optimizing the physical characteristics of the built environment for increased walkability. While much of the land encompassed by this district is currently a parking lot, the intent is to facilitate a transition of Claflin Street to an active street with commercial addresses along with new structured parking. When a public benefit is provided, an additional story of height may be permitted.



Figure 1-4: Illustrative example of buildings and site arrangement in the FB4 Core District

1. EXAMPLES



Large Storefront windows can be shaded with awnings or other architectural building features.



The shallow build-to-zone locates buildings at the sidewalk



The height and massing on this district is based on the four-story buildings



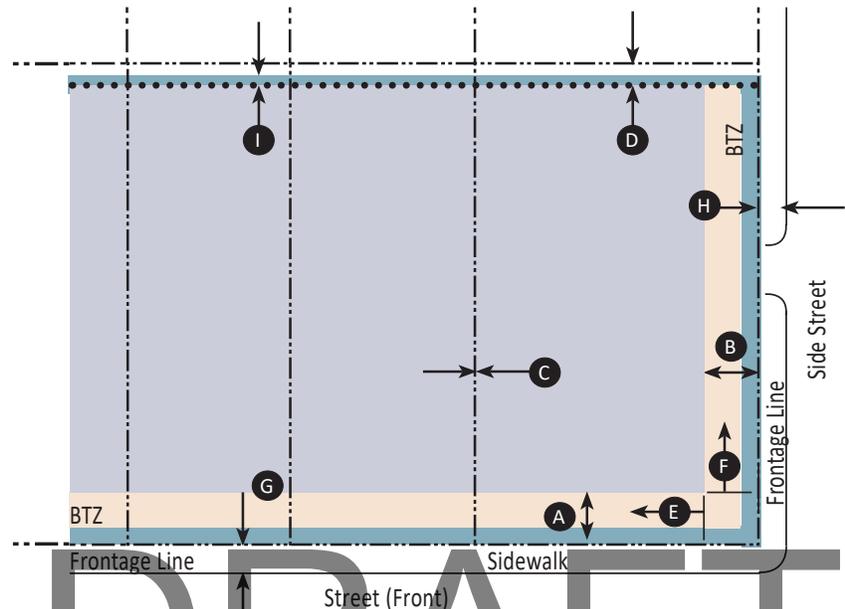
Large, mixed use buildings face public spaces.



Three and four-story buildings can line parking structures.

FB4

2. BUILDING FORM

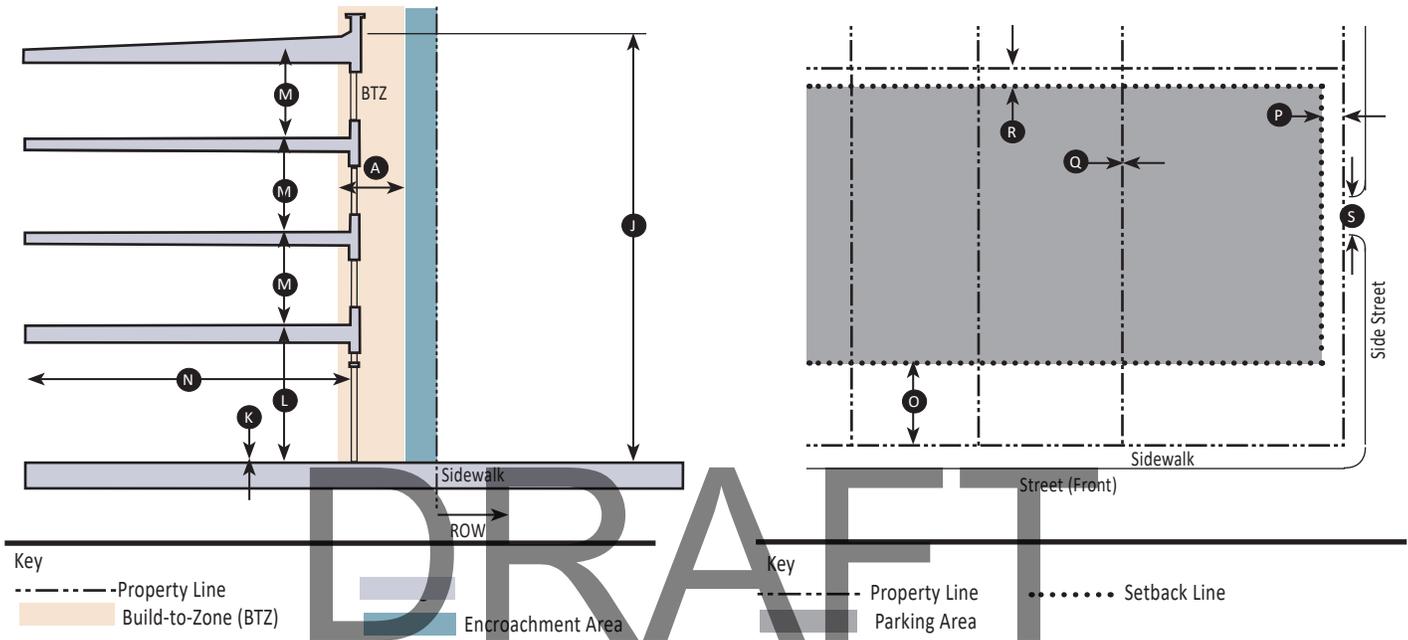


Key

- Property Line (dashed line)
- Setback Line (solid line)
- Build-to-Zone (BTZ) (orange shaded area)
- Potential Building Area (in addition to BTZ) (light blue shaded area)
- Encroachment Area (light blue shaded area)

a. Building Placement			
Setbacks			
Front Build-to-Zone	5' min to 10' max		A
Side Street Setback	5' min to 10' max		B
Interior Side Property Line Setback	0' min		C
Rear Setback	5' min		D
Rear Setback abutting R District	10' min		D
Frontage Buildout			
Building Façade within Build-to-Zone			
Front Street Frontage	70% min		E
Side Street Frontage	50% min		F
Permitted Encroachments			
	Encroachment into BTZ	Residual Setback from Property Line	
Front	8' max.	3'	G
Side Street	6' max.	3'	H
Rear	3' max.	2'	I
Coverage			
Impervious Coverage (% maximum)		95%	
Pervious Open Space (% minimum)		5%	

3. PARKING



b. Building Form		
Height		
Main Building	4 stories	J
	53' max	J
Maximum Building Height with Public Benefit Incentive	5 stories	
	65' max	
Rear Accommodation Building Height within 35' of Lot Line Abutting R District	NA	
Ground Floor Elev. Above Sidewalk	6" max (commercial)	K
Ground Story Height	13' min	L
Upper Floor(s) Story Height	8' min. clear	M
Half Story Height	18' max pitched roof	
	12' max flat roof	
c. Frontage Type		
Depth, Ground Floor Active Use	15' min.	N
Ground Floor Fenestration	70% min	
Allowed Frontage Types	Storefront, Gallery, Stoop	
d. Miscellaneous		
All buildings must have a Principal Entrance along the Front Façade.		

a. Parking Location (Distance from Property Line)		
Front Setback	20' min	O
Side Street Setback	3' min	P
Side Setback	0' min	Q
Rear Setback	5' min	R
Parking Curb Cut Width	15' max.	S

b. Parking District Requirements	
Parking shall be provided as established in the Parking Section 4E.	
Parking shall be located behind the Front Façade of buildings and accessed from Side Streets or through adjacent parking areas whenever possible.	
Streetscreens, Garden Walls, fences, or hedges are required along all un-built Street Right-of-Ways adjacent to parking.	
Shared driveways between adjacent lots are encouraged to reduce curb cuts.	
Shared parking areas, garages and decks are encouraged to allow more active frontages and reduce the number of on lot parking areas.	

FB5

I. GATEWAY

The FB5 District serves as the southeastern gateway to the Belmont Center area, forming a vital connection between the high school and Leonard Street. This district is envisioned as a vibrant, walkable destination that supports a dynamic mix of uses, reinforces a sense of place, and promotes an active public realm.

Designed to accommodate the highest intensity and diversity of development, the FB5 District allows buildings up to five stories and 76 feet in height. An additional story may be permitted when a public benefit is provided. The scale and height of buildings in this district are compatible with adjacent lower-scale neighborhoods due to natural and infrastructure buffers such as wide roads, public spaces, and the rail line.

A hotel use is strongly encouraged in this district. Buildings in this district are strongly encouraged to be redeveloped as a hotel or at minimum are required to have two floors of commercial square footage. These uses are compatible with the overall district supports economic activity while maintaining a pedestrian-oriented streetscape.

FB5 buildings are positioned along wide, shaded sidewalks that encourage walking and social interaction. Parking areas must be screened from view, and shared parking is encouraged. A parking structure is recommended to maximize the buildable footprint and support parking needs.



Figure 1-5: Illustrative example of buildings and site arrangement in the FB5 Gateway District

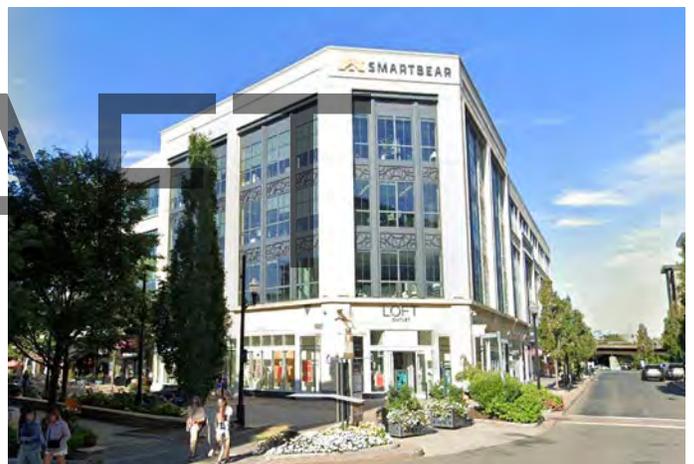
1. EXAMPLES



Entrances to buildings and Storefronts should be distinct.



Upper floors can be commercial uses like gyms, rooftop restaurants, office space, or personal services.

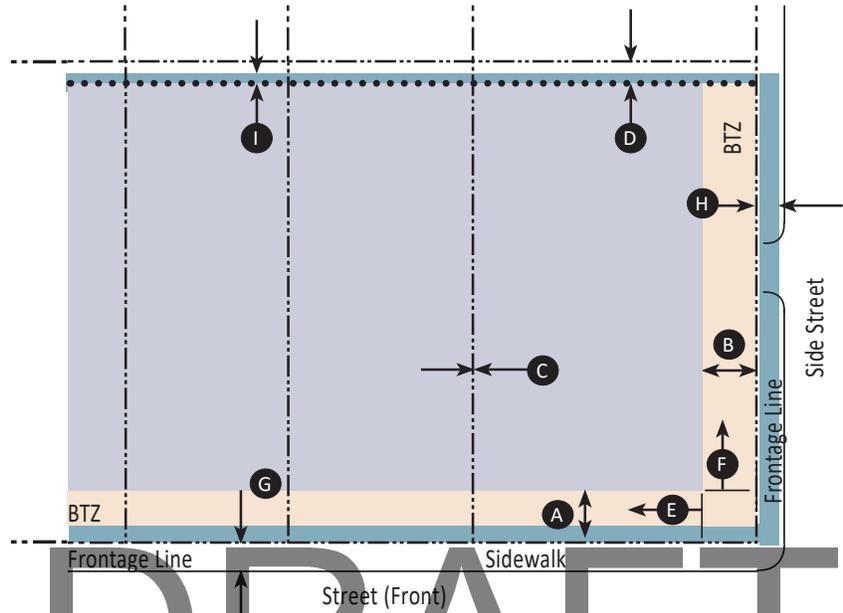


Parking garages and decks can be lined with businesses facing the streets.



FB5

2. BUILDING FORM



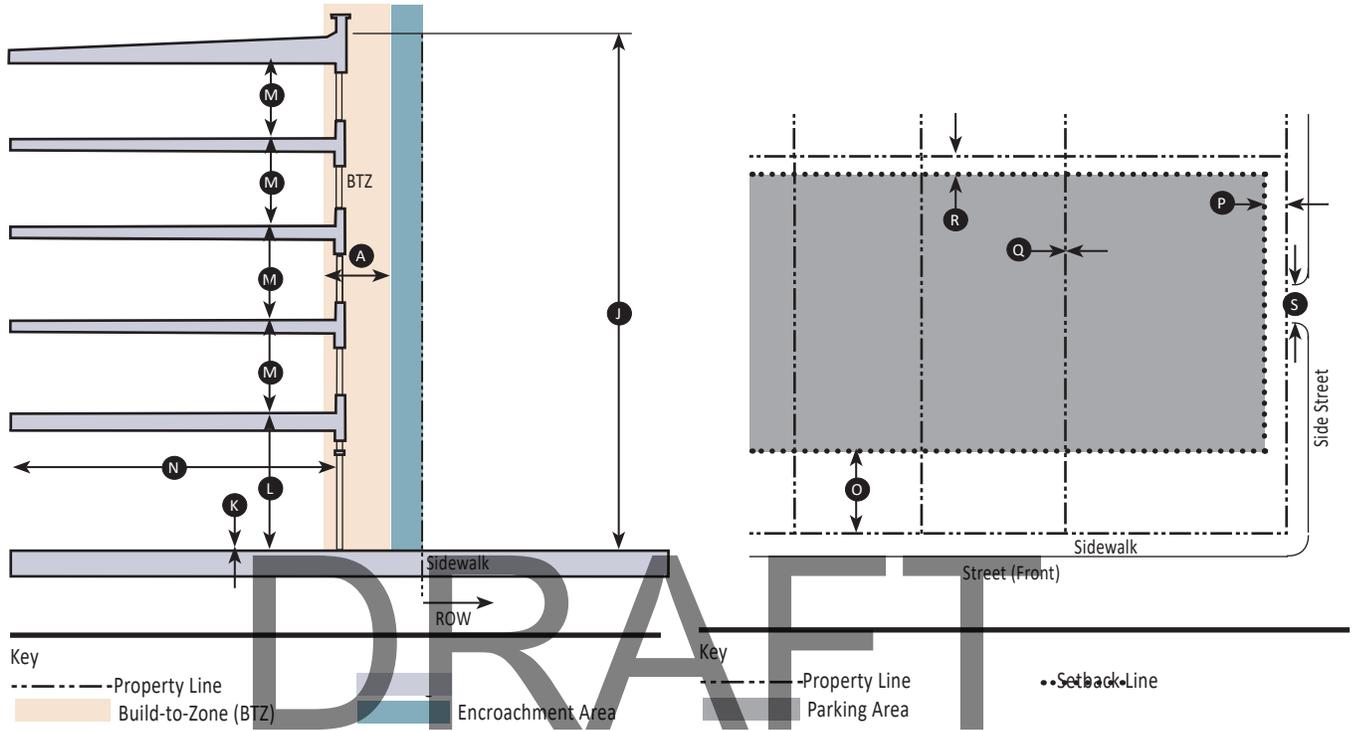
Key

- Property Line
- Setback Line
- BTZ Build-to-Zone (BTZ)
- Potential Building Area (in addition to BTZ)
- Encroachment Area

a. Building Placement		
Setbacks		
Front Build-to-Zone	8' min to 20' max	(A)
Side Street Setback	0' min to 10' max	(B)
Interior Side Property Line Setback	0' min	(C)
Rear Setback	5' min	(D)
Rear Setback abutting R District	10' min	(D)
Frontage Buildout		
Building Façade within Build-to-Zone		
Front Street Frontage	80% min	(E)
Side Street Frontage	50% min	(F)
Permitted Encroachments		
	Encroachment into BTZ	Residual Setback from Property Line
Front	8' max.	3'
Side Street	6' max.	3'
Rear	3' max.	2'
Coverage		
Impervious Coverage (% maximum)	95%	
Pervious Open Space (% minimum)	5%	



3. PARKING



Key
 - - - - - Property Line
 ■ Build-to-Zone (BTZ)

Key
 - - - - - Property Line
 ■ Parking Area
 ••••• Setback Line

b. Building Form		
Height		
Main Building	5 stories	J
	65' max	J
Maximum Building Height with Public Benefit Incentive	7 stories	
	87' max	
Rear Accommodation Building Height within 35' of Lot Line Abutting R District	NA	
Ground Floor Elev. Above Sidewalk	6" max (commercial)	K
Ground Story Height	13' min	L
Upper Floor(s) Story Height	8' min. clear	M
Half Story Height	18' max pitched roof	
	12' max flat roof	
c. Frontage Type		
Depth, Ground Floor Active Use	20' min.	N
Ground Floor Fenestration	60% min	
Allowed Frontage Types	Storefront, Gallery, Stoop	
d. Miscellaneous		
All buildings must have a Principal Entrance along the Front Façade.		

a. Parking Location (Distance from Property Line)		
Front Setback	20' min	O
Side Street Setback	3' min	P
Side Setback	0' min	Q
Rear Setback	5' min	R
Parking Curb Cut Width	15' max.	S

b. Parking District Requirements

Parking shall be provided as established in the Parking Section 4E.

Parking shall be located behind the Front Façade of buildings and accessed from Side Streets or through adjacent parking areas whenever possible.

Streetscreens, Garden Walls, fences, or hedges are required along all un-built Street Right-of-Ways adjacent to parking.

Shared driveways between adjacent lots are encouraged to reduce curb cuts.

Shared parking areas, garages and decks are encouraged to allow more active frontages and reduce the number of on lot parking areas.

3 PERMITTED USES

The Permitted Uses Table lists the various types of uses and identifies whether or not a use is permitted By Right, By Special Permit, or as an Accessory Use.

Y (Yes) = Permitted By Right

N (No) = Not-Permitted

SP = Special Permit

A = Accessory Use

A. LISTED USES

1. PERMITTED USE

A use that is allowed by right in a Form-Based District because it is considered to be consistent with the vision and goals established for that Form-Based District.

2. BY SPECIAL PERMIT

A use that is allowed By Special Permit shall seek approval by the Zoning Board of Appeals Special Permit Granting Authority.

3. ACCESSORY USE

A use that is incidental and subordinate to the principal use of a property and located on the same lot or within the same building.

B. USE NOT LISTED:

Uses that are not listed are not allowed.

**TABLE 1-2:
PERMITTED USES**

	FB1	FB2	FB3	FB4	FB5
RESIDENTIAL USE					
Single-Family Detached	N	N	N	N	N
Two-Family Detached	N	N	N	N	N
Multi-Family Residential	Y	Y	Y	Y	N
Assisted Living Facility	SP	N	N	SP	N
Nursing Home	SP	N	N	SP	N
Congregate Care Facility	SP	N	N	N	N
Senior Active-Living Residential	Y	N	N	Y	SP
Live/Work Space	SP	SP	SP	N	SP
Lodging/Boarding	SP	N	SP	SP	N
COMMERCIAL					
Animal Services: Sales and Grooming / Veterinary (No Boarding)	N	N	SP	SP	SP
ATM Stand Alone	A	A	A	A	A
Bank (Financial Services)	Y	Y	Y	Y	A
Business Incubator	Y	Y	Y	Y	N
Business Services	Y	Y	Y	Y	Y
Car Sharing or Rental	N	N	N	SP	A
Bicycle or Scooter Rental	Y	Y	Y	Y	A
Car Charging Station (accessory)	A	A	A	A	A
Craft Beverage Establishment	SP	SP	SP	SP	N
Dry Cleaning or Laundry Retail	N	N	Y	Y	A
Food Service Establishment	Y	Y	Y	Y	Y
Food Service Establishment, Formula Based	SP	SP	SP	SP	A-SP
Food Truck	-	SP	SP	SP	A-SP
Funeral Home	SP	N	N	N	N
Home Occupation (accessory)	SP	SP	SP	SP	N
Hotel or Lodging Establishment	N	N	N	N	Y
Job Printing	SP	SP	SP	SP	N
Medical Office	Y	Y	Y	Y	Y
Mixed-Use	Y	Y	Y	Y	SP
Office, General	Y	Y	Y	Y	Y
Open Air Business	SP	SP	SP	SP	A-SP
Barking Structure or Surface Parking Lot, Commercial	A	A	A	A	A
Personal Services	Y	Y	Y	Y	A
Place of Assembly, Amusement, or Athletic Exercise (Indoor)	N	Y	Y	Y	A-Y
Radio or Broadcasting Studio	N	N	Y	Y	N
Retail Sales	Y	Y	Y	Y	Y
Veterinary Hospital	N	N	SP	SP	N

**TABLE 1-2:
PERMITTED USES**

	FB1	FB2	FB3	FB4	FB5
CIVIC / INSTITUTIONAL USE					
Arts Exhibition	Y	Y	Y	Y	Y
Community Center	Y	Y	Y	Y	Y
Day Care Center	Y	Y	Y	Y	Y
Library, Museum	Y	Y	Y	Y	Y
Public Use	Y	Y	Y	Y	Y
Religious & Educational Uses Protected by M.G.L. 40A. Sec. 3	Y	Y	Y	Y	Y
School, Private, conducted for Profit, including nursery, dancing, and music schools	SP	SP	SP	SP	N
Shared Workspaces & Arts Education	Y	Y	Y	Y	Y
Theatre or Performance Space	Y	Y	Y	Y	Y
PUBLIC FACILITIES					
Research Service	Y	Y	Y	Y	Y
Public Utilities (Water, Sewer, Electrical, Broadband)	Y	Y	Y	Y	Y
Wireless Transmitter	N	N	N	SP	N
Community Center	N	N	A	A	A
Public Facilities & Services	Y	Y	Y	Y	Y
OTHER USES					
Commercial Art Studio	SP	SP	SP	SP	SP
Brewery, Cidery, Winery, Meadery,	N	N	SP	SP	SP
Distillery (non-micro)	N	N	SP	SP	SP
Craft and Artisan Manufacturing or	N	Y	Y	Y	Y
Assembly	N	N	N	N	SP
Research & Development or Laboratory	N	N	N	N	Y

DRAFT

4 GENERAL STANDARDS

A. PURPOSE

These General Standards apply to the Form-Based Overlay Districts and they will help new buildings fit the context set by the best the “Main Street” architecture found in New England. These standards also describe parking requirements and the design of signage, lighting, and public open space.

The character of new building façades should reflect and complement the materials and general scale of Belmont’s local commercial structures. They should employ materials and construction techniques that will result in long-lasting structures both in durability and design expression and help deliver a high quality public realm.

B. APPLICABILITY

These Building Standards shall apply to all principal buildings in the Form-Based Overlay Districts.

1. The Building Height Standards shall apply to all new or improved buildings.
2. The Site Design Standards (Garden Walls, Fences and Screening; Lighting; Required Landscape) shall apply to all site plan applications.

C. BUILDINGS STANDARDS

New or substantially renovated buildings shall comply with the following:

1. FAÇADE COMPOSITION

A. BASE, BODY AND CAP

The Base, Body, and Cap of a building communicate height and break down the building into discernible parts to prevent them from being out of scale with the surrounding community. Expression lines can be used to distinguish between each component.

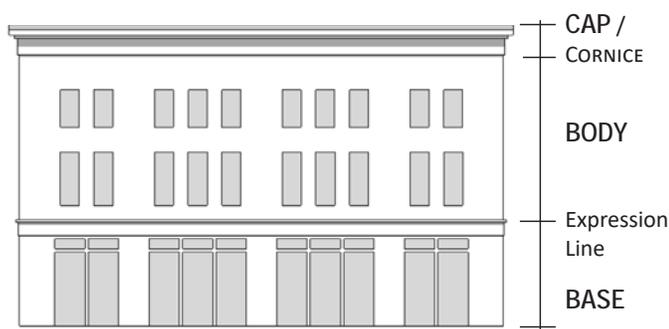


Figure 1-6: The Base, Body & Cap

- i. Expression lines shall either be moldings extending a minimum of two inches, or jogs in the surface plane of the building wall greater than two inches.
- ii. A building mass may be subdivided by expression lines into one, two, or three horizontal layers.
- iii. Required expression lines:
 - a. An expression line shall be used at the top of Storefronts, which may incorporate a band for signage.
 - b. The top of each building with a flat roof should be emphasized with a projecting cornice. This cornice should feature a deeper projection, and therefore stronger shadow line, than any other expression line on a façade.

B. WIDE FAÇADES

- i. To maintain visual interest, reinforce compatibility with surrounding context, and avoid monolithic building appearances, all new buildings shall incorporate façade articulation that breaks down massing and enhances the pedestrian experience.
- ii. Façade Length Threshold: Any building façade facing a public street or pedestrian way that exceeds 60 feet in length shall be visually divided into smaller increments to reflect the scale and rhythm of traditional building patterns.
- iii. Required Modulation Techniques: Façade articulation shall be achieved using the following techniques:
 - a. Changes in wall plane with a minimum depth or projection of 12 inches
 - b. Material or color changes that correspond with a structural bay or vertical break
 - c. Vertical articulation elements such as pilasters, engaged columns, or projecting bays
 - d. Variation in roofline, including changes in parapet height or cornice detail
 - e. Recessed building entries or storefronts
 - f. Regularly spaced bay systems with visible structural rhythm

- iv. Architectural Consistency: All modulation elements shall be architecturally integrated and consistent with the building's overall design language, rather than appearing as applied or decorative features.
- v. Pedestrian Orientation: On street-facing façades, modulation shall contribute to a human-scaled environment by aligning with ground-level entrances, storefront divisions, or other pedestrian-oriented elements.

2. PRIMARY ENTRANCES

The primary entrance of every building must directly face a street or a public space. A public space may include a central garden or courtyard when that public space opens directly onto the primary street. Additional building entrances are permitted.

3. ENTRY / EXIT DOORS

Public entry and exit doors which swing outward shall be recessed into the facade a minimum of three (3) feet where the sidewalk abuts the building.

4. WINDOW AND DOOR OPENINGS

- a. Window and door openings in masonry facades should express a structural lintel above to express the conveyance of building weight. A similar method using wood trim can be used on wood-clad facades.
- b. Storefront windows shall extend up from the sill at least eight (8) feet above the adjacent sidewalk.
- c. Doors or entrances for public access shall be provided at intervals no greater than fifty (50) feet, unless otherwise approved. The intent is to maximize street activity, to provide pedestrians with frequent opportunities to enter buildings, and to minimize any expanses of inactive wall.

5. MATERIAL CHANGES

- a. When materials are combined on a building façade horizontally, heavier materials should occur below lighter materials. Heavier materials are more substantial or dense, often used to convey a sense of solidity and permanence. These materials can include stone, brick, concrete, or metal panels. These materials are typically used at lower levels or at key structural points to provide a grounded and robust aesthetic.

- b. Cohesive Material Application: Buildings shall present a coherent and restrained material palette. Material and color changes should serve a clear architectural purpose, such as highlighting an entry, anchoring a base, or reinforcing structural rhythm—not simply to add visual variety.
- c. Façades with excessive material or color variation are discouraged. No more than three primary materials should be visible on any single building façade, excluding trim or accent materials.
- d. Material changes should wrap around corners where visible from public streets or pedestrian paths to avoid a false-front appearance.
- e. Changes from one material or color to another along the horizontal direction should occur at inside corner transitions which are design treatments where two walls meet at an interior corner of a building.
- f. Changes in material or color along the vertical direction should occur at a hard-edge bump-out transition which gives materials a surface to terminate into.
- g. Predominant exterior building materials shall be high quality materials, including, but not limited to, brick, sandstone or other stone, glass, stucco and/or masonry. Exterior building materials shall not include smooth-faced concrete block, tilt-up concrete panels or prefabricated steel panels, unless the visible finish is brick, stucco, slate shingles, or stone.
- h. The use of day-glow or fluorescent colors shall be prohibited. Earth-tone colors are encouraged.
- i. Building trim and accent areas may feature any color(s) not specifically excluded in this division provided said color is limited to ten percent of the affected facade segment, with a maximum trim height of 24 inches total for its shortest distance. Neon tubing shall not be an acceptable feature for building trim or accent areas.
- j. Entrances to a building shall be articulated with porches, porticos, Storefronts, or other architectural forms which create a distinct entrance.

- k. Awnings, arcades and canopies shall be designed to shelter pedestrians from the elements, create a transition of scale from the street to the building entry, reduce heat against the storefront glass, and provide a distinctive image and identity for businesses in the building. Lighting shall not be directly attached to a canopy or awning.

6. FRONTAGE TYPES

a. Purpose.

Frontage types refer to the design and layout of the interface between buildings and the street. These designs can significantly impact the aesthetic appeal, functionality, and social dynamics of an area.

Common types of residential frontages include the “stoop,” where a small staircase leads to the entrance, often seen in dense neighborhoods; the “porch,” which offers a covered outdoor space for residents; and the “forecourt,” a semi-public space often used for gardens or seating.

In commercial settings galleries and Storefronts are used to introduce potential clients to goods or services. Transition areas that were once or are adjacent to residential areas may have porches or stoops as part of the frontage.

Each frontage type provides varying levels of interaction between private and public spaces, influencing pedestrian activity and community engagement. Effective frontage design can enhance street vitality, promote safety, and foster a sense of place and community.

b. Applicability

Frontage types are encouraged unless required by the Special Requirements Plan. The Special Requirements Plan identifies a “Required Storefront” and this requires those buildings to use a Storefront Frontage Type.

c. Ground Floor Active Use

Ground floors with active uses need a minimum depth from the front of the building to ensure real active uses.

TABLE 1-3: APPROPRIATE FRONTAGE TYPES

	FB1	FB2	FB3	FB4	FB5
FRONTAGE TYPE					
Storefront	X	X	X	X	X
Gallery / Colonnade		X	X	X	X
Forecourt		X			X
Stoop	X	X		X	X
Porch	X	X		X	

d. Using Frontage Types

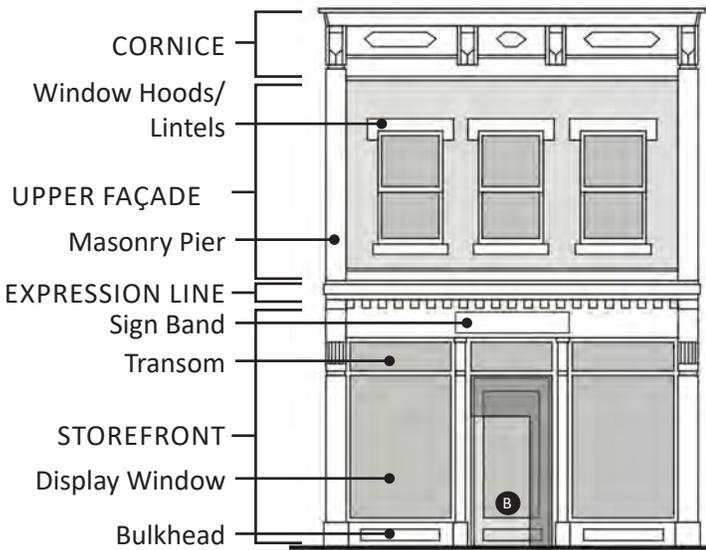
Building frontages in new construction or to enhance existing buildings should conform with the basic Frontage Types set forth in this section.

The illustrations and photographs provided are for illustrative purposes, and need not be interpreted literally with regard to architectural styles.

Individual descriptions and form requirements of each Frontage Type are detailed on the following pages.



I. STOREFRONT



A. DESCRIPTION

A frontage wherein the facade is aligned close to the property Line with the building entrance at sidewalk grade. This type is conventional for retail use. It has a substantial glazing on the sidewalk level and an awning, canopy, gallery, arcade, colonnade should overlap the sidewalk.

B. SIZE

Distance between Glazing	2' max.	(A)
Door Recess ¹	5' max.	(B)
Habitable Space Depth	15' min.	
Window Sill Height	3' above sidewalk max.	(C)
Storefront Window	8' min. above sill	(D)
Ground Floor Transparency	60% min.	

¹ A recessed entry may be designed in a variety of configurations (recessed door, sawtooth pattern, etc.) and may be located on the front façade or the corner of a building. An exception to meet ADA ramp compliance between sidewalk height and inside finished floor is permitted.

C. MISCELLANEOUS

- Doors may be recessed as long as main facade is at BTZ.
- Storefront doors shall contain at least 60 percent transparent glass. Solid doors are prohibited.
- Open ended awnings are encouraged. Rounded and hooped awnings are discouraged.
- Storefronts shall have a Cornice or Expression Line between the first and second story.
- Storefront windows should be transparent to be able see into the space.

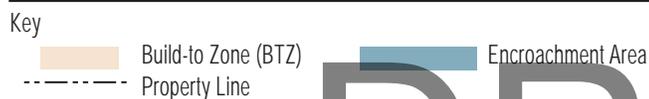
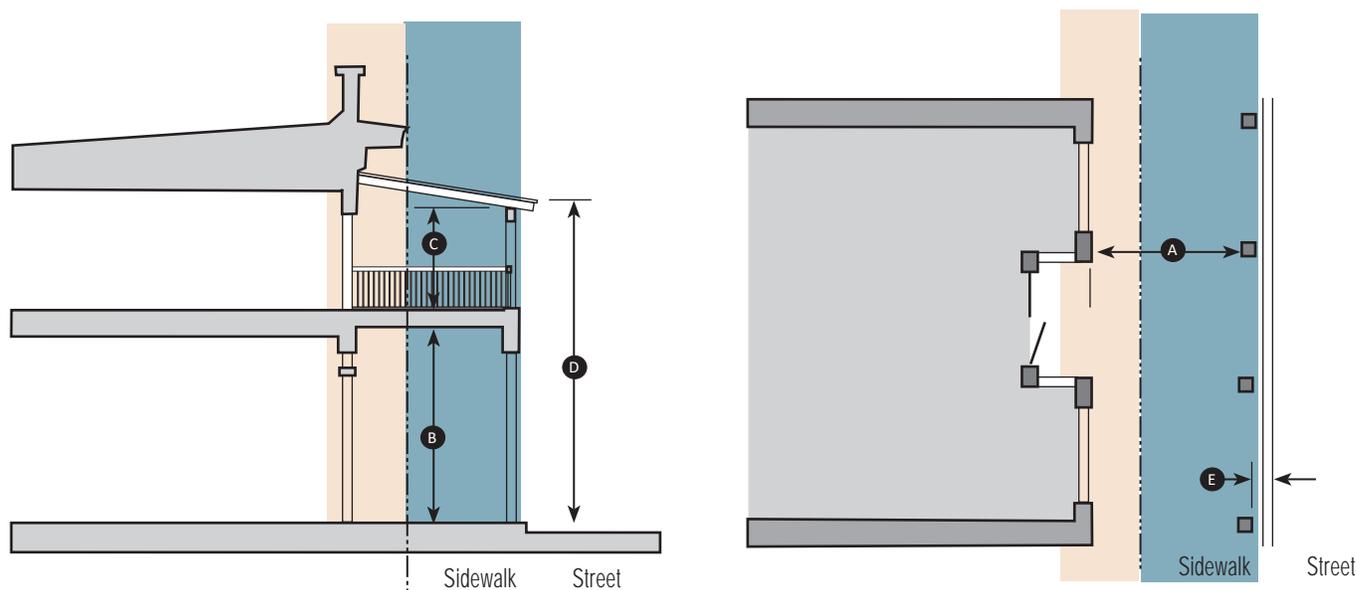


Figure 1-7: A Storefront with a recessed doorway



Figure 1-8: A Corner Storefront

II. GALLERY / COLONNADE



DRAFT

A. DESCRIPTION

The main façade of the building is at the Build-to Zone and the Gallery element overlaps the sidewalk, eliminating the need for an awning or canopy. This Frontage Type is intended for buildings with ground-floor commercial or retail uses and may be one or two stories in height.

B. SIZE

Depth, Clear	8' min.	A
Ground Floor Height, Clear	11' min.	B
Upper Floor Height, Clear	9' min.	C
Height	3 stories max	D
Setback from Curb	2' min.	E

C. MISCELLANEOUS

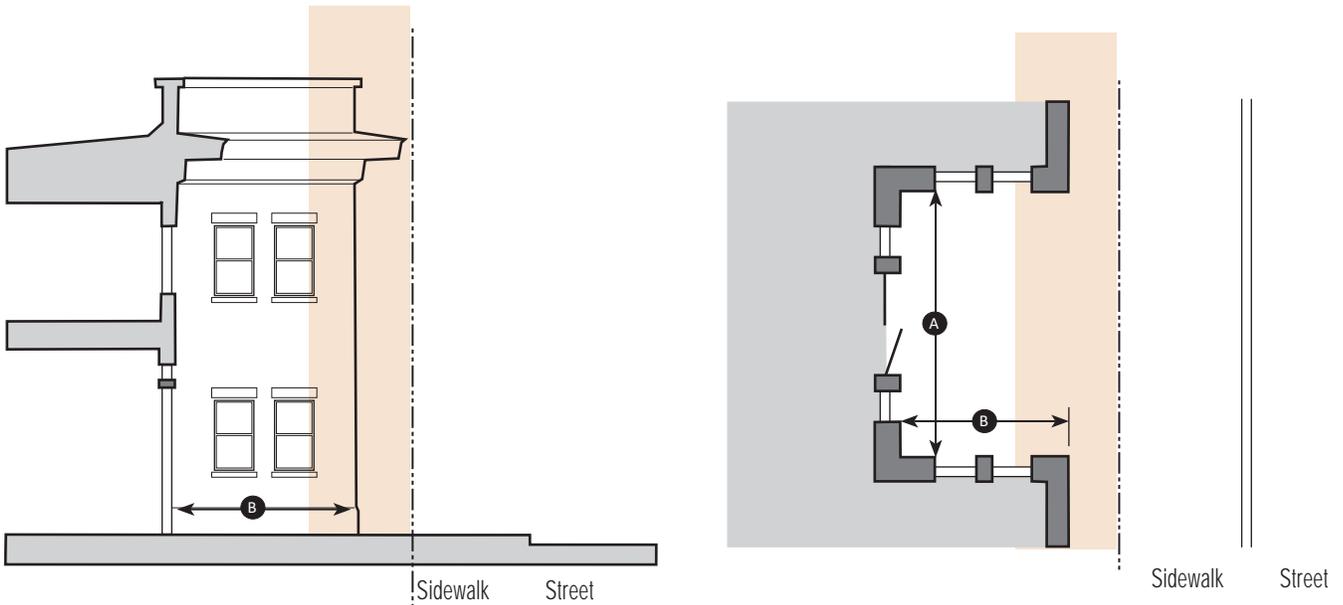
Galleries must also follow all the rules of the Storefront Frontage Type.

Figure 1-9: An arched gallery



Figure 1-10: Gallery shading the Storefronts creates a comfortable space to walk

III. FORECOURT



- Key
- Build-to Zone (BTZ)
 - Property Line

DRAFT

A. DESCRIPTION

The primary portion of the building's main facade is at the Build-to Zone while a small percentage is set back, creating a court space. This space can be used as an apartment entry court, garden space, or for restaurant outdoor dining.

B. SIZE

Width, Clear	12' min.	A
Depth, Clear	12' min.	B

C. MISCELLANEOUS

Forecourts are especially useful along larger, more auto-dominant thoroughfares in order to provide well-shaped, intimately sized public outdoor spaces.

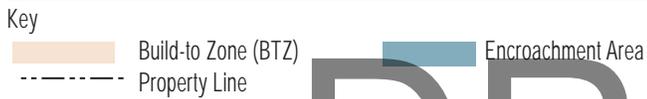
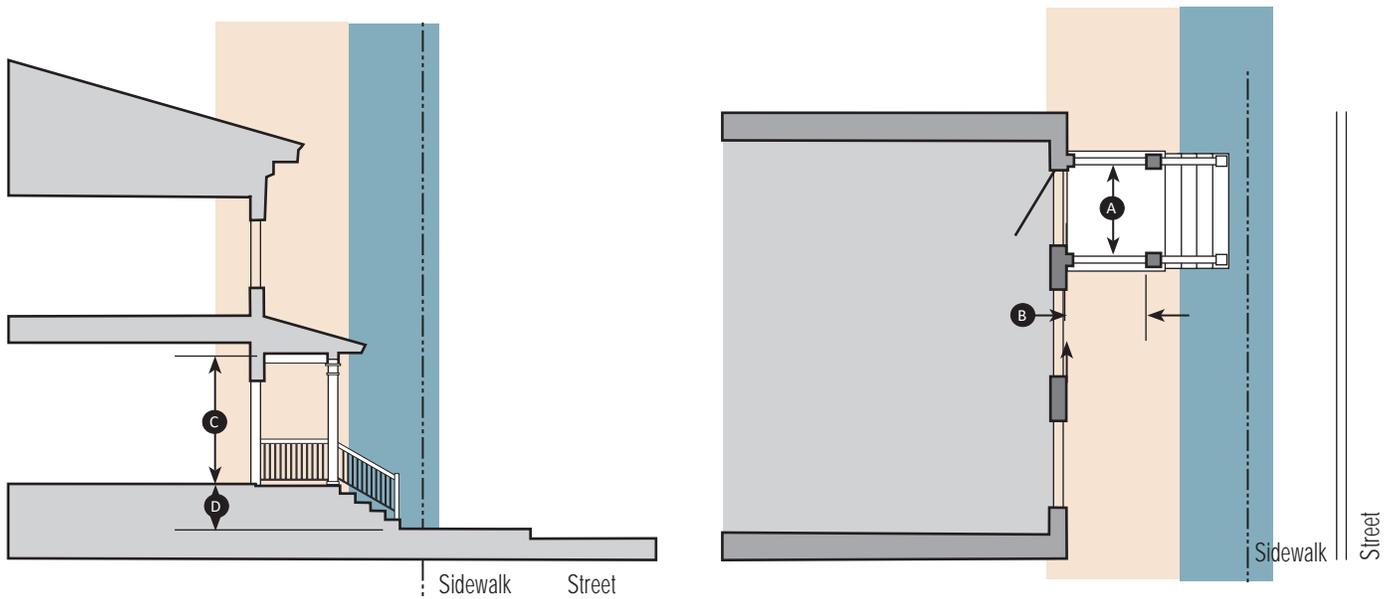


Figure 1-11: An elevated forecourt



Figure 1-12: The building shapes a forecourt connected to a terrace

IV. STOOP



DRAFT

A. DESCRIPTION

The main façade of the building is at the Build-to Zone and the elevated stoop projects forward. The stoop is used to access a first floor that is elevated above the sidewalk to ensure privacy within the building. Stairs from the stoop may descend forward or to the side. Stoops are limited to the first floor.

B. SIZE

Width, Clear	5' min.	A
Depth, Clear	5' min.	B
Height, Clear	8' min.	C
Height	2 stories max.	
Finish Level Above Sidewalk	18" min. in residential zones 6" max. in commercial areas	D

C. MISCELLANEOUS

Stairs may be perpendicular or parallel to the building facade.

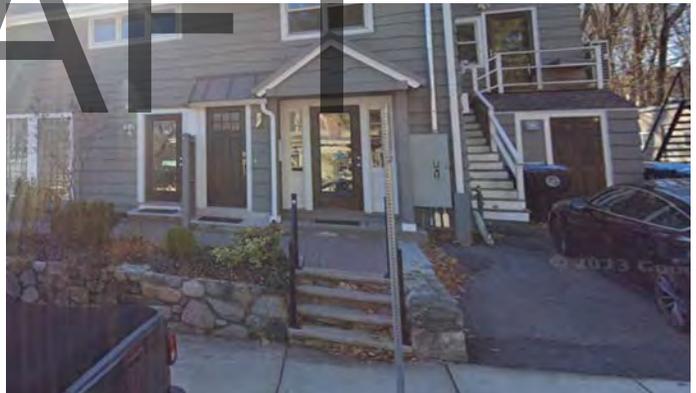
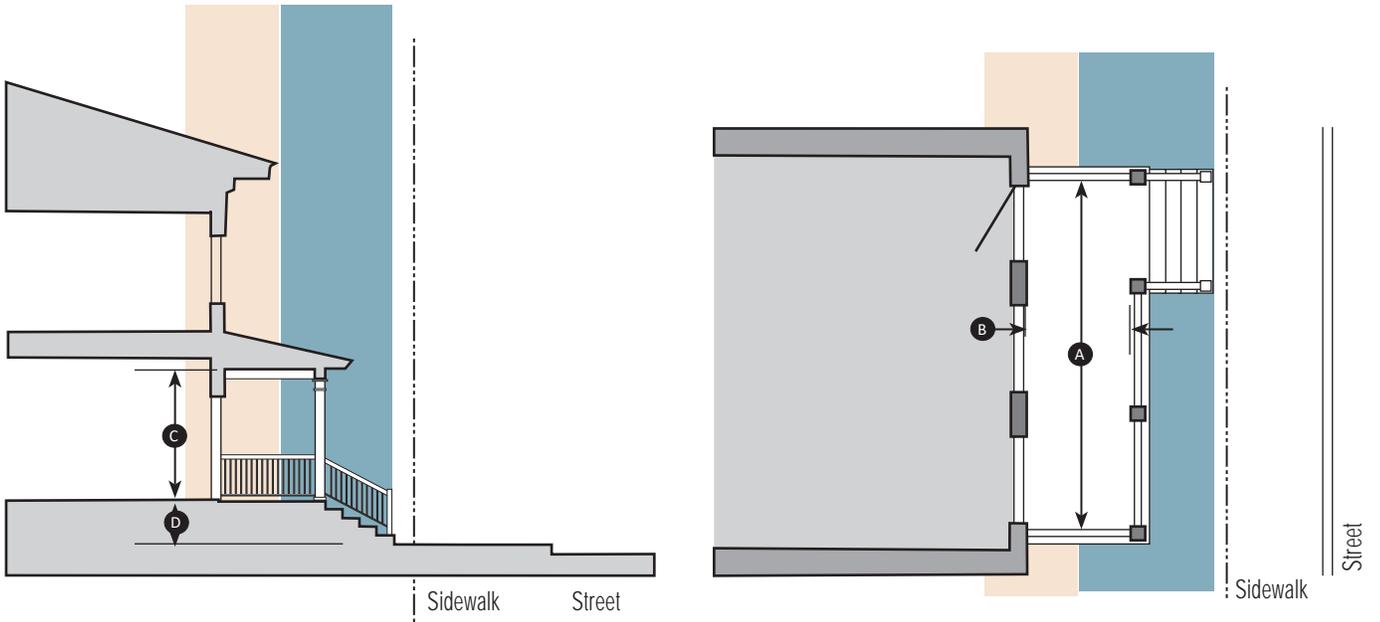


Figure 1-13: Residential stoops



Figure 1-14: Commercial stoops

V. PORCH



A. DESCRIPTION

The main facade of the building is at the Build-to Zone and the porch projects forward. The porch is used to access a first floor that is elevated above the sidewalk to ensure privacy within the building. A porch is large enough to function as an outdoor living space.

B. SIZE

Width, Clear	10' min.	A
Depth, Clear	8' min.	B
Height, Clear	8' min.	C
Height	3 stories max.	
Finish Level Above Sidewalk	18" min.	D



Figure 1-15: A porch on a commercial building.



Figure 1-16: A porch located close to the sidewalk.

7. APPURTENANCES

Each building with a Storefront on the ground story shall include appurtenances to enhance the functionality, identity, and pedestrian experience of a commercial frontage.

- a. Appurtenances may include:
 - i. Awnings or Canopies
 - ii. Projecting (Blade) Signs
 - iii. Pedestrian-Scale Lighting
 - iv. Outdoor Seating and Dining Elements
 - v. Display Windows
 - vi. Entry Recesses or Alcoves
 - vii. Planters, Window Boxes, or Hanging Baskets
 - viii. Menu or Service Boards (Restaurants/Cafes Only)
 - ix. Integrated Public Art or Murals
- b. Appurtenances may encroach within the setback or within the Build-to zone.
- c. When appurtenances are to extend over public sidewalks, the property owner may be required to enter into a right-of-way agreement establishing the property owner's responsibility for repairing any damage that may result from public maintenance or improvements.

8. FAÇADE TRANSPARENCY REQUIREMENTS

All building façades which face onto a street or public space shall meet the minimum transparency requirements.

- a. Facade Transparency is the transparent glazing (e.g., clear glass windows and doors) that allows visibility into and out of the interior space. This measurement is used to ensure that there are not blank walls facing a street and creates active street frontages, promotes pedestrian engagement, and enhances public safety through natural surveillance.
 - i. Ground floor commercial uses shall have 65% minimum facade transparency measured from 2 feet to 10 feet.
 - ii. Upper floors shall have 15% minimum facade transparency measured from the finished floor and finished ceiling.

- b. Applicants shall provide a diagram to demonstrate compliance with this provision.

9. BUILDING HEIGHT

- a. Overall building height shall be measured vertically in stories and in feet, and in accordance to existing by-law.
- b. Buildings may not exceed the number of stories as specified in the Building Dimensional Standards for each FBO District.
- c. One additional story of building height may be permitted as noted in the Building Dimensional Standards for each FBO District provided that the requirements for Public Benefit is met, except in the FB5 District where an addition 2 stories of building height may be provided as long as the required public benefit is met.
- d. When a lot slopes downward from the front lot line, an additional story in addition to the maximum number allowed is permitted only on the lower rear portion of the lot.
- e. The following are permitted above the top story:
 - i. Small footprint towers and cupolas may extend above the designated height limit.



Figure 1-17: Facade Transparency

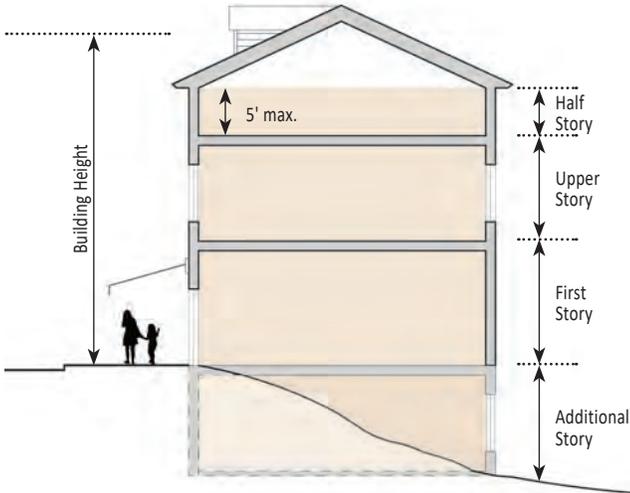


Figure 1-18: Building Height

- ii. Non-habitable roof structures including chimneys, elevator penthouses, rooftop mechanical equipment, railings, parapet walls, and similar projections may exceed the building height limit, provided such structures do not exceed twelve (12) feet above the eave of the roof or roof deck (if flat). (See Section 4.D.4 for mechanical equipment screening requirements.)

F. STORY HEIGHT

- i. The Ground Story of a building must comply with the minimum story height requirements specified in the Building Dimensional Standards for each FBO District.
- ii. The height of the ground story and upper story(ies) of a building is measured vertically from the surface of the finished floor to the surface of the finished floor above, or to the top of the highest roof beam if no finished floor is immediately above, at all points.
- iii. The height of a half-story is measured vertically from the surface of the finished floor to the top of the highest roof beam above.

G. FULL STORY WITH PITCHED ROOFS

- i. The rafters of pitched roofs may not exceed 8' in height.

H. HALF-STORY FOR PITCHED ROOFS

- i. Space located directly under a pitched roof is counted as a half (0.5)-story, provided the following standards are all met:

1. At least two (2) opposite roof planes are pitched toward each other.
2. A pitched roof may be composed of roof planes with different slopes.
3. The slope of any pitch must be no greater than 14:12 (49.4 degrees); otherwise, this story is counted as a full story.
4. The roof rafters must intersect the wall plate or top of wall frame of the exterior walls at a height no more than two (2) feet above the finished floor of the half (0.5)-story; otherwise, this story is counted as a full story.
5. Dormers must comply with the requirements set forth below:

- ii. A dormer may be no wider than ten (10') feet or 50 percent of the length of the exterior wall of the story next below, whichever is narrower. Where more than one dormer is located on the same side of the roof, the width of all dormers combined may not exceed 50 percent of the length of the exterior wall next below.
- iii. The vertical plane of the side wall of any dormer shall not be closer than 3 feet from the vertical plane of the intersection of the roof and the main building end wall nearest the dormer.
- iv. No dormer may project above the main ridge line.
- v. No dormer may project beyond the vertical plane of the building wall below.

I. HALF-STORY STEP-BACK FOR FLAT ROOFS

- i. The required step-backs for a half story with a flat roof is seven feet.
- ii. The maximum height of the highest roof beam is 12'.
- iii. A half story for a flat roof may cover no more than 50% of the building footprint.
- iv. Areas on the flat roof but outside of the built half story may be habitable.
- v. Buildings must meet the upper story step-back requirement along any lot line abutting a residential district.

vi. Exceptions.

1. Sections of buildings that are on a portion of a lot where the lot depth is less than seventy (70) feet are exempt from the upper story step-back requirement along the rear lot line, except when the rear lot line abuts a residential district.
2. Any portion of the half-story set back more than twenty-five (25) feet from any lot line is exempt from the upper story step-back requirement, except when the lot line abuts a residential district where it must meet the rear accommodation setbacks for the zone.

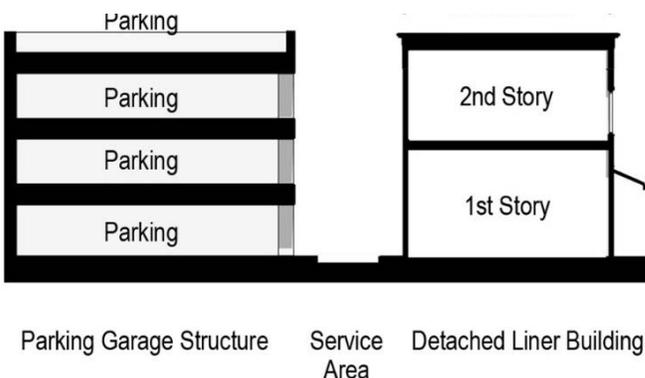
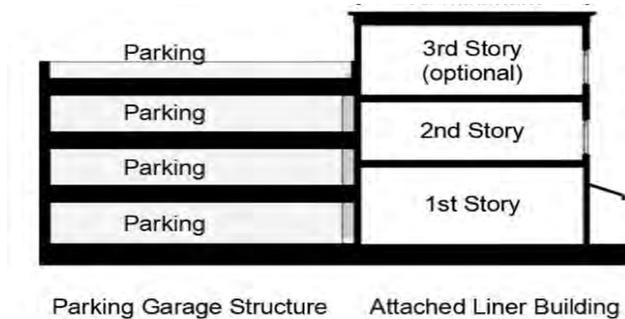


Figure 1-19: Attached and detached liner buildings

10. REQUIRED LINER BUILDINGS

A liner building is a shallow building designed to mask the edge of a larger structure like a parking garage or other non-pedestrian friendly use in order to create a more active, attractive, and walkable street frontage.

- a. The character of some uses of land, such as parking lots or structures, theaters, or grocery stores, may preclude buildings from complying with the façade transparency requirements and detract from walkability of the surrounding area. Liner buildings are required in the following conditions:

18 ft max. height to top of highest roof beam with pitched roof

12 ft max. height to top of highest roof beam when flat roof

2 ft max. height rafter intersect with wall

0 ft floor level

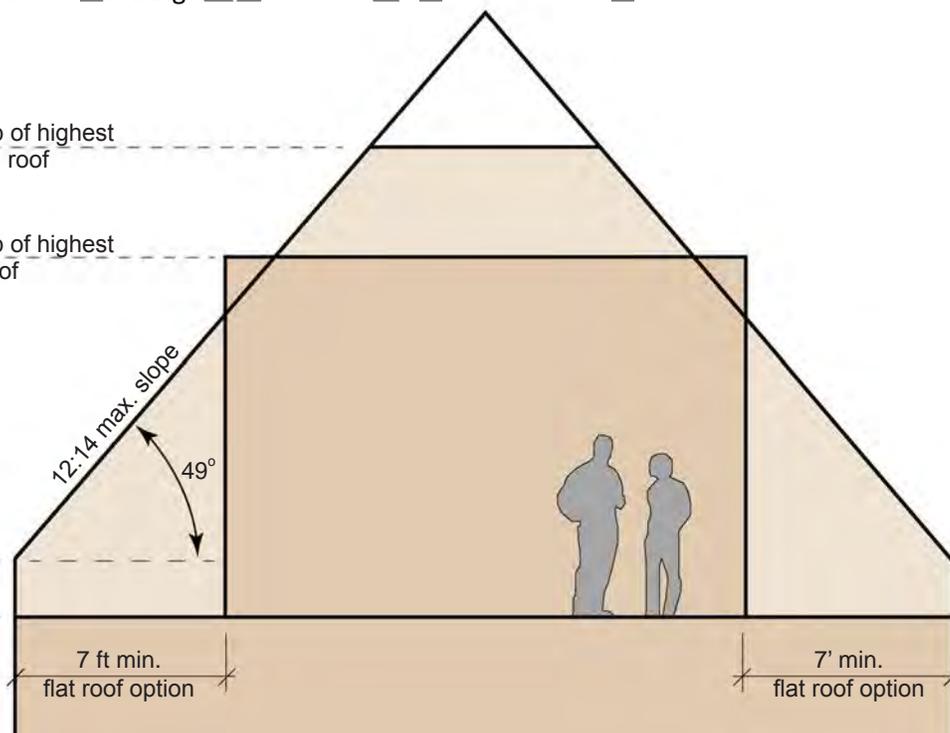


Figure 1-20: Half Stories

- i. Liner buildings are required to shield the view of parking structures.
- ii. Liner buildings are required for new buildings that cannot meet the façade transparency requirements.
- iii. Required liner buildings shall be a minimum of two stories in height and twenty (20) feet in depth.
- iv. Required liner buildings may be used for any purpose allowed on the lot on which they are located.
- v. Required liner buildings shall meet the façade transparency requirements.

TABLE 1-4: PERMITTED OPEN SPACE TYPES

	FB1	FB2	FB3	FB4	FB5
Front Yards / Garden Yards	X	X	X	-	-
Courtyards	X	X	X	X	X
Rear Yards	X	X	X	X	X
Balconies / Stoops	X	X	X	X	X
Rooftop Terraces / Green Roofs	-	X	X	X	X
Podium-Level Amenity Decks	-	-	X	X	X
Public Plazas / Pocket Parks	X	X	X	X	X
Through-Block Pedestrian Ways	X	-	X	X	-
Stormwater Green Space	X	X	X	X	X

- v. Rear Yards: Often used for parking, but can be activated with green buffers, seating, or stormwater management features like rain gardens.

D. SITE STANDARDS

1. REQUIRED OPEN SPACE

All development must provide open space appropriate to its transect. Open space may be public, semi-public, or private and shall be designed to support the form, scale, and function of the building and its surroundings. Open space may be at ground level or integrated into the building design.

- a. Required open spaces may be of the following types, which are permitted in the Form-Based Overlay Districts as indicated by the letter “X” in Table 1-4.
- b. Ground Level Open Spaces include:
 - i. Front Yards / Setbacks: Landscaped or paved with pedestrian amenities. Encourages a transitional buffer between buildings and sidewalks. May include seating, planters, signage, or stoops
 - ii. Courtyards: Internal or external spaces enclosed or partially enclosed by buildings, courtyards are ideal for passive recreation or dining areas.
 - iii. Pocket Parks or Plazas: Small public spaces integrated into the street frontage. Suitable for sitting areas, public art, and green relief in dense areas.
 - iv. Side Yards / Passages: Narrow spaces between buildings. May serve as pedestrian connections, garden space, or outdoor dining areas.

C. BUILDING-INTEGRATED OPEN SPACE

- i. Balconies: May be private open space for residential or hotel units that enhances the livability and façade articulation
- ii. Rooftop Terraces or Gardens: Useful for social space, amenities, or green roofs (stormwater/ heat reduction)
- iii. Podium Decks / Courtyards: Located above ground-floor parking or podiums. They are often used for pools, recreation areas, or gathering spaces in mixed-use developments.
- iv. Building Setbacks at Upper Floors: Creates terrace spaces on multistory buildings and helps to reduce bulk and provide private or shared open space
- v. Through-Site Connections / Pedestrian Ways: Mid-block walkways that connect front and rear of buildings or adjacent streets. When left open these may be considered open space.

2. GARDEN WALLS, FENCES AND SCREENING

A garden wall is a wall that defines the property line and/or the perimeter of a property. Garden walls are required along all un-built street rights-of-way to shield views to parking, provide privacy to a side yard, and strengthen the spatial definition of the public realm.

A. GENERAL TO GARDEN WALLS AND FENCES

- i. All garden walls and fences along property lines at public street rights-of-way shall be a maximum of three (3) feet in height.
- ii. All walls or fences not along property lines at public street rights-of-way, including walls or fences along side (mid-block) and rear property lines, shall be a maximum of six (6) feet in height.
- iii. Any fence, wood, stockade, or any other type of fence shall have the smooth side or finished side facing to the outside of the property owner installing the fence. Fence posts shall be placed on the inside of the fence.
- iv. Barbed wire, plastic slats, or plastic screening fabric is prohibited.

B. SPECIFIC TO GARDEN WALLS ALONG A RIGHT-OF-WAY:

- i. Garden walls shall be constructed of brick, stone, cast stone, or other masonry, or may be constructed with iron, steel, or a combination of masonry, iron and steel.
- ii. When both the building walls and the garden walls are faced with stucco, the finish and color shall be identical on both.
- iii. Garden walls may include panels of wood or metal, or hedges, between piers.

C. SPECIFIC TO FENCES ALONG A RIGHT-OF-WAY:

- i. Fences shall be constructed of wood (picket fences with corner posts), vinyl, or metal.
- ii. Chain link fences are not permitted.

D. GATES

- i. Pedestrian and vehicular gates within walls and fences shall be a maximum of twenty (20) feet in width, unless a wider opening is required for fire/emergency access, and no taller than the adjacent wall or fence height.
- ii. Gates shall be constructed of wood, vinyl, or metal.

E. RETAINING WALLS

- i. The placement of a retaining wall of four (4) feet or more anywhere on a lot requires a Special Permit.

3. LOADING ZONES

- a. On-street loading and unloading activities shall be conducted from the public right-of-way (i.e., the street) in FB1, FB2, FB3, and FB4. Off-street loading areas shall not be required unless explicitly authorized through a special permit or variance. All on-street loading must comply with applicable local traffic, safety, and parking regulations.
- b. Loading zones in FB5 may occur on-street or at the rear of the lot.
- c. Exceptions may be granted by the Planning Board of Appeals upon demonstration that on-street loading is infeasible due to safety, congestion, or operational constraints.
- d. Loading and delivery activities shall only occur between 7:00 a.m. and 10:00 a.m. to minimize disruption to residential, business, and pedestrian activity.

4. SERVICE AREAS & WASTE ENCLOSURES**A. LOADING AREAS**

In FB1, FB2, FB3, and FB4 where on-street loading is required, no off-street loading docks or service bays shall be permitted. All loading and unloading activities shall occur from the public right-of-way, subject to local traffic and safety regulations.

B. VISIBILITY OF SERVICE AREAS:

All service areas, including those for waste and recycling, shall be screened to minimize visibility from public streets, sidewalks, parks, and other publicly accessible spaces to the extent feasible.

C. WASTE AND RECYCLING FACILITIES:

- i. Access: Driveways and aisles leading to waste and recycling areas must remain clear and unobstructed at all times.
- ii. Screening and Enclosure: All waste and recycling containers shall be fully enclosed and screened from view from any public right-of-way or publicly accessible area. Enclosures must include:
 - a. A gate or door that can be securely closed;
 - b. Full screening on all sides;
 - c. Placement on a permanent concrete pad.

- iii. Enclosures must be at least one (1) foot higher than the tallest container inside, and no more than eight (8) feet in total height.
- iv. Enclosures must be maintained to prevent adverse impacts such as noise, odors, and pest attraction. Containers shall be covered either by a roofed structure or by securely covered receptacles.

5. MECHANICAL EQUIPMENT

For the purposes of these standards, mechanical equipment shall include any heating, ventilation, and air conditioning (HVAC) or electrical machinery but also includes air compressors, hoods, mechanical pumps, exterior water heaters, water softeners, utility and telephone company transformers, meters or boxes, garbage cans, storage tanks, generators, geothermal wells, and similar elements.

- a. Mechanical equipment shall not be located on a front building façade where visible from streets and public spaces.
- b. If mechanical equipment is located at-grade, and is visible from an adjacent street or sidewalk, it shall be screened by a fence, garden wall, or enclosure. When equipment is taller than the maximum height for garden walls and fences, the height may be extended to match that of the mechanical equipment with the approval of a minor waiver.
- c. All mechanical equipment or penthouse screening to be placed on the roof shall be set back from the roof line by a distance at least equivalent to the height of the screening in order to minimize visibility from surrounding streets.

E. SIGNAGE

All signage shall conform to the Town’s adopted signage code.

F. PARKING STANDARDS

1. PURPOSE AND INTENT

- a. The purpose of this section is to promote efficient and sustainable parking solutions in the Belmont Center area through the use of shared parking facilities, cross-access between lots, and municipal or joint-use parking structures. These provisions are intended to reduce the proliferation of individual curb cuts, support walkability, and optimize land use in higher-intensity areas.

2. APPLICABILITY

- a. These requirements apply to all new development, redevelopment, or substantial expansions of existing structures within the Form-Based Overlay District.

3. REQUIRED PARKING

- a. Parking shall be provided for each use based upon the minimum and maximum requirements outlined by use in the Parking Requirement Chart.

TABLE 1-5: PARKING REQUIREMENT CHART

Use	Number of Spaces Required
Residential	0.3 spaces per dwelling unit
Lodging	0.5 per guest room
Office	1 per 350 sq. ft. of office space
Retail	1 per 350 sq. ft. of office space
Civic	Per Zoning By-Laws
Education	1 per 12 students

- b. A minimum of one bicycle parking space within a bicycle rack shall be provided for every eight vehicular spaces.

4. MUNICIPAL AND SHARED PARKING STRUCTURES

A. INCENTIVIZED USE OF MUNICIPAL PARKING FACILITIES

Within ¼ mile of the municipally managed parking lot or parking structure the subject properties may satisfy up to 100% of their off-street parking requirements.

B. ENCOURAGEMENT OF JOINT-USE PARKING FACILITIES

Property owners and developers are encouraged to collaborate on shared or joint-use parking facilities. Such facilities may serve multiple uses or properties and may be located on separate parcels within 500 feet of the primary use.

C. FEE-IN-LIEU OPTION

The municipality may allow payment of a fee in lieu of constructing required off-street parking, where funds are designated for the development or maintenance of a municipal parking structures within the district.

5. SHARED PARKING ON PRIVATE LOTS

A. SHARED PARKING AGREEMENTS

Where compatible land uses with differing peak demand periods exist, off-street parking requirements may be met through shared use of existing or proposed parking areas, subject to a shared parking agreement approved by the Zoning Administrator.

B. CALCULATION OF SHARED PARKING

Shared parking reductions shall be based on a professionally prepared parking demand study or standard shared parking ratios accepted by the municipality.

6. ACCESS BETWEEN LOTS AND CURB CUT REDUCTION

A. CROSS-ACCESS REQUIREMENT

All new development or redevelopment shall provide internal vehicular and pedestrian connections to adjacent lots to facilitate access to shared parking areas. Easements for cross-access shall be recorded and maintained in perpetuity.

B. CURB CUT MINIMIZATION

- i. No new curb cuts are permitted on Leonard Street.
- ii. New curb cuts shall be limited to the minimum necessary for safe access. Where feasible, developments shall utilize existing curb cuts or access points from adjacent properties through cross-access easements.

C. CONSOLIDATION OF ACCESS POINTS

When adjacent lots are under common ownership or control, access drives shall be consolidated to the maximum extent feasible to reduce curb cuts and promote safe, efficient circulation.

7. DESIGN STANDARDS FOR SHARED AND STRUCTURED PARKING

- a. Shared and structured parking facilities shall be designed to:
 - i. Provide clear pedestrian pathways to building entrances.
 - ii. Include appropriate lighting, signage, and landscaping.
 - iii. Meet all applicable ADA and safety standards.
- b. Multi-level parking structures are encouraged to include ground-floor active uses or architectural screening to maintain an engaging streetscape.

G. LIGHTING STANDARDS

Lighting standards protect against glare, preserve the night sky, and reduce unnecessary energy use from over lighting. There shall also be consistency within the Form FBO districts in creating a unifying scheme of illumination that is appropriate to the scale of the street and the level of evening activity. Lamp styles should not be mixed along any one particular block of a street.

Light fixtures shall be downcast or low cut-off fixtures to prevent glare and light pollution.

In order to conserve energy and reduce long-term costs, energy-efficient lamps shall be used for all public realm lighting.

1. PEDESTRIAN WALKWAY LIGHTING

- a. Light fixtures located along pedestrian walkways adjacent to parking lots shall not exceed fifteen (15) feet in height.
- b. Light fixtures located along internal pedestrian walkways or paths not adjacent to a parking area shall not exceed ten (10) feet in height.

2. PARKING LOT LIGHTING

- a. All fixtures shall be full cutoff and downward facing.
- b. Light fixtures located within the interior asphalt area of a parking lot shall not exceed thirty feet in height. Light fixtures located along the perimeter edge of a parking area within fifty feet of a property line shall not exceed fifteen feet.

3. BUILDING AND SECURITY LIGHTING

- a. All exterior building or security lighting must be full cutoff, shielded, and/or angled downward to focus the light only on the intended doorway or walkway as necessary.
- b. Security lighting is required to be provided with regular pedestrian light fixtures where visible from the street or public way to match others used on site.
- c. Building mounted architectural “accent lights” are encouraged to emphasize architectural character and signage.
- d. Business owners are encouraged to assist with lighting the sidewalk and to accent their business location by leaving display window and interior lighting on at night. Lighting shall be designed in such a way as to prevent the direct view of the light source to neighboring residential areas.
- e. No LED strip lighting shall be allowed in window frames or on architectural details.

H. LANDSCAPE STANDARDS

1. REQUIRED LANDSCAPING

- a. The following standards shall apply in addition to any applicable standards in Zoning By-Laws which are not modified below.
 - i. The landscape buffer area between parcels otherwise required for side property boundaries is not required between FBO Districts.
 - ii. The landscape buffer required between commercial properties and residential properties applies to the FB2 District, particularly where rear accommodations are required on the Special Requirements Plan.

2. ADDITIONAL STANDARDS.

- a. Building setbacks shall be adjusted to preserve existing native tree canopies, where feasible.
- b. Use of trees to provide shade, color, and interest, and use of vines, or trained plant materials is appropriate.
- c. Maintenance. All fences, trees, plantings, shrubbery or other screening required by Zoning By-Laws shall be maintained at all times at least to the same quality required of said items at the time they were initially installed.
- d. Detention and Retention Areas. Detention and retention areas should be designed without fencing and in a manner that does not call attention to its storm management function.

I. STORMWATER MANAGEMENT STANDARDS

1. GENERAL REQUIREMENT

- a. All development and redevelopment projects must manage stormwater runoff to reduce volume, improve water quality, and mimic pre-development hydrology to the maximum extent practicable.

2. VOLUME CONTROL REQUIREMENT

- a. Projects shall retain and treat the first 1.0 inch of rainfall from impervious surfaces through on-site management practices.

3. GREEN INFRASTRUCTURE / LID PRIORITY

- a. Stormwater management shall prioritize green infrastructure and Low Impact Development (LID) strategies before considering traditional gray infrastructure. Preferred practices include:
 - i. Bioretention areas (rain gardens)
 - ii. Permeable pavement
 - iii. Green roofs
 - iv. Street trees with structural soil
 - v. Vegetated swales
 - vi. Cisterns or rain barrels

4. ON-STREET AND PUBLIC REALM INTEGRATION

- a. Stormwater features may be integrated into sidewalks, medians, and curb extensions (e.g., stormwater curb bump-outs) where space allows, provided they maintain pedestrian accessibility and safety.

5. SITE DESIGN FLEXIBILITY

- a. Applicants are encouraged to incorporate LID practices into site design early in the planning process. The use of shared or district-scale green infrastructure is permitted where appropriate.

6. MAINTENANCE

- a. All green infrastructure systems shall include a maintenance plan to ensure long-term functionality and shall be maintained by the property owner, business improvement district, or a designated public entity.

J. PUBLIC BENEFIT INCENTIVES

This section establishes a bonus height incentive program designed to encourage the provision of valuable public benefits within the Form-Based Overlay Districts. In recognition of the positive impact such benefits have on the community, properties that provide one or more of the prescribed public benefits listed herein may be granted as prescribed in the Building Dimensional Standards for each Form-Based Overlay (FBO) districts.

The intent of this program is to promote the development of projects that enhance the public realm, improve quality of life, increase the commercial tax base, and foster sustainable growth while maintaining compatibility with surrounding uses.

The following public benefits are eligible for the bonus height incentive program. To qualify for an additional story of height, developments must meet the specific requirements outlined below for each public benefit:

1. GREATER THAN TWO FLOORS OF COMMERCIAL/OFFICE SPACE

- a. The project must include more than two (2) floors dedicated to commercial or office use. Each qualifying floor shall provide a minimum of 10,000 square feet of total commercial floor area, inclusive of both leasable and necessary non-leasable space (e.g., restrooms, mechanical rooms, service areas, and circulation directly supporting the commercial use), or an amount equivalent to more than two (2) times the building footprint, excluding vertical circulation space.
- b. Rooftop commercial space shall be counted as a commercial floor, provided it meets the minimum floor area requirement and is functionally integrated into the building's commercial operations. The commercial or office spaces must be designed to accommodate a variety of businesses, ensuring flexible layout options to attract a diverse range of tenants.
- c. Second floor commercial space may be internally accessible provided if part of the same business.
- d. Separate commercial spaces located on upper floors must be accessible via a clearly visible, well-marked ground-level entrance directly from the public sidewalk or main building lobby.
- e. Commercial uses on upper floors shall provide clear, visible, and inviting signage at the ground level to identify and promote those businesses.
- f. The commercial/office space must be reserved for non-residential uses and cannot be converted to residential uses.

2. MID-BLOCK ARCADE

- a. The development includes a dedicated, clearly marked pedestrian access or arcade that provides a direct, safe, and accessible pedestrian route within the mid-block arcade Zone as located on the Special Requirements Plan.
- b. The Mid-Block Arcade should be designed to meet or exceed ADA (Americans with Disabilities Act) standards for accessibility and safety.
- c. The pedestrian corridor must be at least 12 feet wide and have at minimum 12 feet clearance of height with proper lighting, signage, and clear pathways, ensuring that pedestrian movement is prioritized and convenient.
- d. The Mid-Block Arcade may have businesses that open directly onto it increasing the amount of commercial street frontage for the property.
- e. The Mid-Block Arcade may have development above it on the upper floors of the building.

3. PROVISION OF A DESIGNATED CIVIC OPEN SPACE

- a. The development must provide a minimum of 30% of the total lot area as open space, designed to enhance the public realm.
- b. Open space areas must be accessible to the general public, and at least 50% of the space must be landscaped or feature natural elements (e.g., grass, trees, gardens, water features).
- c. The civic open space should be designed with seating, shading, and pedestrian amenities to encourage social interaction and community use.
- d. The design of the civic open space must align with the surrounding neighborhood character, incorporating materials, planting, and features that complement the context of the site.
- e. New civic open spaces must incorporate the design elements in Table 1-5: Civic Open Space Type Requirements

5 STREETS AND CIVIC OPEN SPACES

A. STREETS

Street configurations, public or private, shall be as designated on the Streets and Civic Spaces Map or as otherwise approved.

1. STREET DESIGN

The design of streets and modifications to existing streets shall adhere to the following requirements:

- a. Improvements to existing thoroughfares shall be coordinated with the Town Engineer. Some dimensional flexibility is permitted for street types to account for varying ROW widths, however they shall be designed to have all the basic functional characteristics including roadway width, on-street parking, sidewalks, street trees and landscaped areas.
- b. On-street parking lanes shall not be closer than twenty-five (25) feet to intersections measured from the curb line.
- c. All streets shall have sidewalks which are a minimum width of five (5) feet, and have a continuous unobstructed path of a width no less than sixty (60) inches. This path shall be unobstructed by utility poles, fire hydrants, benches or any other temporary or permanent structures.
- d. With the exception of fire hydrants, utilities shall run underground and above-ground projections of utilities shall be placed in rear service areas wherever practicable.

2. CLAFLIN STREET SECTION

Claflin Street shall be designated as a Local Public Street and shall no longer function as a drive aisle within a parking lot.

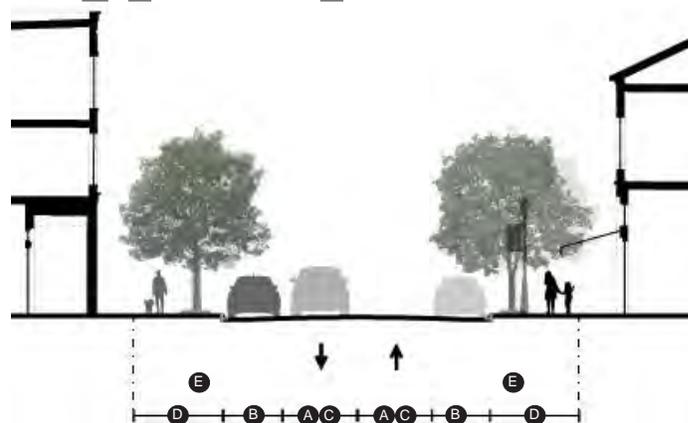
- a. Two-way Street Section – The standard cross-section for Claflin Street shall accommodate two-way vehicular travel, on-street parking, sidewalks, and landscaping consistent with the City’s Local Street Design Manual.

- b. One-Way Street Section – Where appropriate and subject to approval by the Planning Board, Claflin Street may be configured as a one-way street functioning as a pair with Leonard Street. The one-way pair configuration must maintain multimodal access and meet minimum public safety and circulation standards.

3. CURB RADIUS

Corner curb radius designs fall into two distinct categories: corners with, and without, on-street parking.

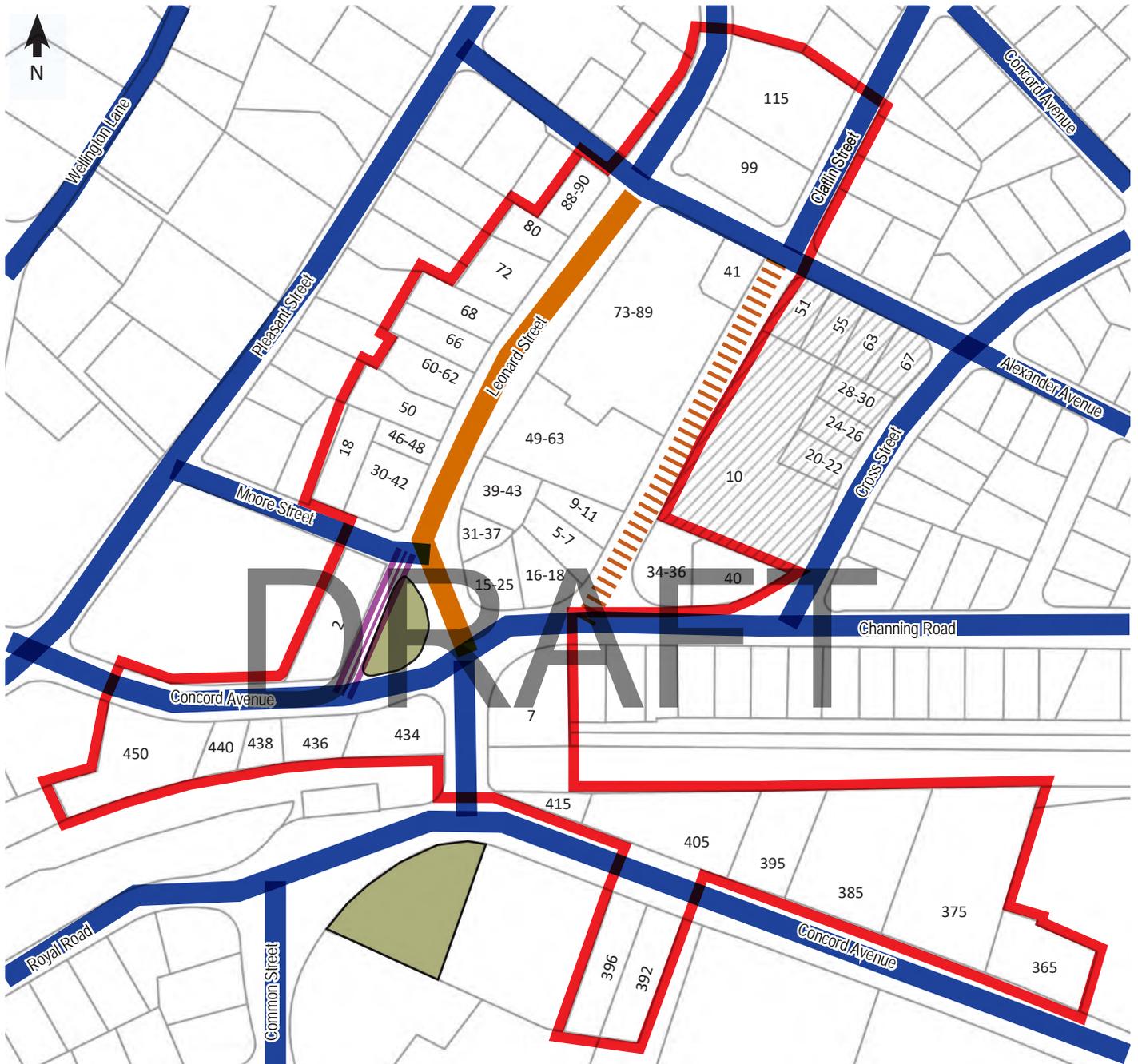
- a. Streets with on-street parking shall have curb radii of ten (10) feet maximum. Tight curb radii inhibit drivers from turning corners at high speeds, enhancing safety for pedestrians. The effective turning radius is larger than the curb radius when parking is present. Thus, the effective turning radius is larger.
- b. Corners without parallel parking shall have a turning radii of fifteen (15) feet. Radii should not exceed 15 feet unless justified by specific turning movement needs (e.g., frequent large truck turns).



Sample Elements	Claflin Street ROW
ROW Width	48'
A Vehicle Lanes	2 lanes, 10' each
B Parking Lanes	8', both sides
Target Speed	25 mph
C Bike Facility	Shared Lane
D Sidewalk	6', both sides
E Planting area	5' Tree Grates (soil cells encouraged) Aligned with on-street parking
Edge/Radius/Drainage	Vertical curb / 15' radius

Figure 1-22: Claflin Street Section

4. STREETS AND OPEN SPACE MAP



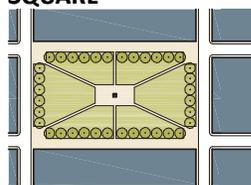
LEGEND

- Parcels
- Overlay Boundary
- Potential Future Inclusion in Overlay District
- Existing Open Space
- Remain to remain unchanged
- Potential one-way pair
- Potential street vacation for additional open space
- Revise street section (One-way Pair or preferred Street Section)

B. CIVIC OPEN SPACES

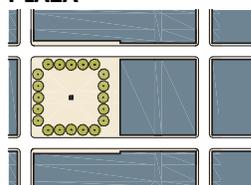
1. New civic open spaces may be of the following types, which are allowable in various Form-Based Overlay Districts as indicated by the letter “X” in Table 1-5.
2. Civic space shall be in the form of squares, plazas, or playground and shall meet the requirements in Table 1-6 Open Space Type Requirements.
3. All designated civic spaces shall be at grade level and shall be accessible to the public.
4. Ground surface shall be a combination of paving, lawn or ground cover integrated in design with trees and shrubs. Fountains, sculpture, and works of art are encouraged. Street furniture shall not obstruct sight visibility triangles at street intersections.
5. Storm water management improvements shall be integrated with the final landscape design as aesthetically and visually pleasing design elements.
6. Whenever appropriate, landscape design shall promote sustainability awareness and education through interpretive signs, demonstrations and other forms of interpretation.

SQUARE



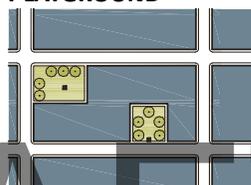
A Square is a formally designed, primarily green public open space framed by building frontages and streets on multiple sides. Typically located at the center of a neighborhood, commercial district, or civic area, squares serve as focal gathering places for passive recreation, social interaction, or programmed events.

PLAZA



A Plaza is a predominantly hardscaped, urban open space located adjacent to high-activity buildings such as commercial or civic. Plazas are typically paved and furnished with seating, lighting, and landscaping elements such as planters or trees. They are designed for high pedestrian use, casual gathering, and programmed events like performances or markets.

PLAYGROUND



An open space designed and equipped for children's recreation.

Figure 1-23: Civic Open Space Types

TABLE 1-6: APPROPRIATE CIVIC OPEN SPACE TYPES

	FB1	FB2	FB3	FB4	FB5
Square		X	X	X	X
Plaza		X	X	X	X
Playground	X	X	X	X	X

TABLE 1-7: OPEN SPACE TYPE REQUIREMENTS

	Size Range	Frontage & Location	Typical Features	Planting	Surrounding Building Frontages	Accessibility
Square	5,000 sf – 1 acres	Bounded on at least 2–3 sides by streets with active frontages	Formal lawn, trees, symmetrical layout, central monument/fountain, café seating	Formally arranged trees, planters	Minimum 50% active ground-floor frontages	Directly accessible from sidewalks
Plaza	1,000–10,000 sf	Fronts civic, commercial, or mixed-use buildings, near intersections	Hardscaped; seating, lighting, kiosks, shade structures; may support events	Sparse; primarily potted or perimeter trees	75% fronted by building façades	Public or semi-public; level access required
Playground	1,500–10,000 sf	Near schools, parks, or residential areas; may be within larger park	Play equipment, seating for caregivers, fencing, shade structures, water play	Shade trees, turf, perimeter planting	Passive building or park edges	Fully ADA accessible; secure perimeter

6 ADMINISTRATION

A. PURPOSE

The Belmont Center Form-Based Code (FBC) Overlay District is established to provide an optional regulatory framework that supports a walkable, mixed-use, and context-sensitive urban environment in Belmont Center. This section governs the administration and application of the FBC Overlay.

B. APPLICABILITY

1. The FBC Overlay applies to properties within the area defined on the Belmont Center FBC Overlay Map.
2. Property owners may choose to opt in to the Form-Based Code as an alternative to the underlying zoning regulations.
3. Upon opting in, the property shall be subject to all applicable provisions of the Form-Based Code and shall not be required to comply with the dimensional and use standards of the underlying base zoning district, except where explicitly stated.

C. OPT-IN PROCEDURE

1. Applicants must submit a complete Form-Based Code Development Plan in accordance with Section 6.H (Application Requirements).
2. The applicant shall indicate their intent to proceed under the FBC Overlay on the cover sheet of the application materials.
3. Projects using the FBC shall be reviewed and approved by the Planning Board as the Special Permit Granting Authority (SPGA) for the overlay district.

D. PRE-APPLICATION CONFERENCE

Applicants are strongly encouraged to schedule a pre-application meeting with Planning Department staff to review overlay standards, goals, and procedures prior to formal submission.

E. REVIEW PROCESS

1. All FBC applications shall follow the Site Plan Review and Special Permit process as described in Section 7.4 of the Belmont Zoning Bylaw.
2. The Planning Board shall evaluate the proposal for compliance with the Form-Based Code, including:
 - a. Building form and frontage type
 - b. Street and public realm relationship
 - c. Pedestrian orientation and scale
 - d. Architectural and material standards
3. Design input from the Belmont Design Review Committee may be requested at the discretion of the Planning Board.

F. AMENDMENTS AND MODIFICATIONS

1. Minor modifications to approved FBC projects may be authorized by the Planning Department.
2. Major amendments require Planning Board review and may trigger a new public hearing.

G. CONFLICTS AND INTERPRETATION

1. Where the Form-Based Code is silent, the provisions of the underlying zoning district shall apply.
2. In case of conflict between the FBC Overlay and the base zoning, the provisions of the FBC Overlay shall govern for opted-in properties.
3. The Planning Board shall have the authority to interpret the provisions of the Form-Based Code.

H. APPLICATION REQUIREMENTS

1. PURPOSE

The purpose of this section is to establish standardized submission requirements for development applications within the Form-Based Code (FBC) Overlay District. These requirements ensure that all applications provide sufficient detail to allow for effective and consistent review by the Planning Board and other relevant authorities.

2. APPLICABILITY

The provisions of this section shall apply to all projects submitted under the optional Form-Based Code Overlay District. No application shall be deemed complete unless it includes all items specified herein or unless specific items are waived in writing by the Planning Board or its designee.

3. REQUIRED SUBMISSIONS

All applications submitted pursuant to the FBC Overlay shall include the following materials:

A. GENERAL INFORMATION

- i. A completed application form, signed by the property owner or authorized agent.
- ii. A narrative statement describing the proposed development, intent to utilize the FBC Overlay, and its consistency with the goals of the overlay district.
- iii. Proof of ownership or a letter of authorization from the property owner, if the applicant is not the owner.
- iv. Applicable application and filing fees as determined by the Planning Board.

B. SITE AND CONTEXT PLANS

- i. A site context plan depicting the subject parcel and surrounding parcels within a 300-foot radius, including existing buildings, zoning districts, public rights-of-way, and transportation access.
- ii. An existing conditions plan showing parcel boundaries, existing buildings, utilities, topography at two-foot intervals, and vegetation.

- iii. A proposed site plan showing the building footprint(s), setbacks, build-to zone compliance, frontage types, circulation patterns, parking and loading areas, and open space.

C. ARCHITECTURAL PLANS AND BUILDING FORM DOCUMENTATION

- i. Elevation drawings for all sides of all proposed buildings, including dimensions, rooflines, and architectural details.
- ii. A building height diagram demonstrating compliance with the height definition under §1.4 of the Zoning By-Law.
- iii. A frontage type identification plan with labeling and dimensioning for all frontages, consistent with the standards of the FBC Overlay.
- iv. Three-dimensional massing drawings or rendered perspectives, at the discretion of the Planning Board.

D. STREETScape AND PUBLIC REALM PLANS

- i. A pedestrian realm plan showing sidewalks, street trees, lighting, seating, and other street furniture.
- ii. Plans for any publicly accessible open space or civic space, including proposed treatments, materials, and furnishings.

E. ENVIRONMENTAL AND INFRASTRUCTURE PLANS

- i. A stormwater management plan, giving preference to green infrastructure or low impact development (LID) techniques.
- ii. A utility plan indicating existing and proposed service connections and locations of infrastructure.
- iii. A sustainability narrative (optional) describing energy efficiency, environmental performance, or other green building strategies.

F. COMPLIANCE AND SUPPORTING MATERIALS

- i. A compliance summary matrix demonstrating how the proposal conforms to each applicable provision of the Form-Based Code Overlay District.
- ii. A list and written justification for any waivers or modifications requested from the standards of the Form-Based Code.
- iii. An operations and maintenance plan for any shared amenities or publicly accessible areas.

G. ADDITIONAL STUDIES (IF REQUIRED BY THE PLANNING BOARD)

- i. A traffic impact assessment, if deemed necessary due to project scale or location.
- ii. A shadow study or sunlight access analysis for large-scale buildings.
- iii. Any additional technical reports deemed necessary by the Planning Board for adequate review.

4. SUBMISSION FORMAT

All application materials shall be submitted in both digital format (PDF) and printed copies, as follows:

- i. One (1) complete digital submission
- ii. Three (3) full-size plan sets (24" x 36")
- iii. One (1) reduced-size plan set (11" x 17")

5. WAIVER OF APPLICATION REQUIREMENTS

The Planning Board may waive any of the above submission requirements by majority vote if it determines that the information is not necessary for the review of the application or would create an undue hardship on the applicant without serving a substantial public purpose.

DRAFT

7 DEFINITIONS

As used in this Chapter, the following terms and phrases shall have the meanings indicated: When a term or phrase does not appear in this section refer to the definitions within the Belmont, MA Zoning By-Laws Section 1.4.

A

ANIMAL SERVICES

An establishment used by a veterinarian where animals are treated.

APPURTENANCES

Porches, balconies, patios, canopies, awnings, etc., which extend outward from the facade of a building which do not count as an extension of the facade itself for the purposes of measuring setbacks and Build-to Zones.

B

BUILD-TO-ZONE (BTZ)

The range of allowable distances from the front property line along which the principal vertical plane of the building's primary façade shall be built in order to create a moderately uniform line of buildings along the street. The intent of the Build-to zone is to allow for flexibility in creating wider sidewalks in commercial areas.

BUMP-OUT TRANSITION

An architectural feature where a portion of the building facade projects outward, creating a "bump" or extension from the main plane of the wall. This can be used to highlight a specific feature, such as a bay window, entryway, or decorative element. The transition refers to how the building facade moves from the main wall to the bumped-out section, which might involve changes in materials, window placement, or the shaping of the corner. The bump-out serves both functional and aesthetic purposes, providing depth and variety to the overall facade design.

C

CIVIC BUILDING

A building designed specifically for a civic use.

CIVIC OPEN SPACE

Civic open space occurs at the ground level and be accessible to the public. They take the form of parks, greens, squares, plazas, playgrounds, or community gardens.

CIVIC USE

A use that is open to the public at least some of the time and provides a focal point for community interaction and fosters citizen participation in civic activities, including churches, temples, synagogues, mosques, and other religious facilities; lodges; college or university facilities; exhibition halls and art galleries; grade schools; library; meeting halls; museum or similar facilities; performance theaters; post office; fire house; public administration offices; trade or specialty school facilities; or similar uses.

COLONNADE

See Gallery

CORNICE

Projecting horizontal decorative molding along the top of a wall or building.

E

ENCROACHMENT

A structural or architectural element that breaks the plane of a vertical or horizontal regulatory limit extending into a setback, into the public frontage, or into the right-of-way.

EXPRESSION LINE

A horizontal line, expressed by a material change or by a continuous projection not less than two inches deep.

F

FAÇADE

The exterior wall of a building.

FAÇADE TRANSPARENCY

The proportional amount of transparent window glass or other openings in the façade of a building, relative to the overall surface area of the façade.

FINISHED GRADE

The natural surface of the ground or the surface of the ground after completion of any change in contour.

FOOTPRINT

The gross floor area of an individual structure measured to the furthest exterior wall face at the ground floor.

FORECOURT

The primary portion of the building's main facade is at the Build-to Zone while a small percentage is set back, creating a court space. This space can be used as an apartment entry court, garden space, or for restaurant outdoor dining.

FRONT FAÇADE

The façade of a building that faces the front street. In the case of a corner lot, it is the façade along the higher priority street on the Street Hierarchy.

FRONT STREET FRONTAGE

The length of a lot that directly abuts the primary street—typically the street of highest classification or greatest pedestrian and commercial activity. This frontage establishes the principal orientation of the building and is subject to the most stringent frontage, entry, and transparency requirements.

FRONTAGE

The area between a building façade and the vehicular lanes or pedestrian-only street, inclusive of its built and planted components.

FRONTAGE BUILDOUT

The minimum percentage of the lot width which must be occupied by the principal building(s) primary façade within the build-to-zone. For example, a property which is 100 feet wide with a frontage buildout of 60% would require that at least 60 feet of façade length be maintained in the build-to-zone. Any additional length of front façade would be allowed to step back further from the build-to-zone, if desired. The intent of this requirement is to encourage development to maximize their front façade exposure along a street or open space.

FRONTAGE ELEMENTS

The structural and architectural elements which extend outward from the façade of a building along frontages, including awnings, canopies, galleries, porches and stoops, and which do not count as an extension of the façade itself for the purposes of measuring setbacks and build-to-zone. (See also Appurtenances)

G**GALLERY**

The main façade of the building is at the Build-to Zone and the Gallery element overlaps the sidewalk, eliminating the need for an awning or canopy. This Frontage Type is intended for buildings with ground-floor commercial or retail uses and may be one or two stories in height.

GARDEN WALL

A wall that defines the property line and/or the perimeter of a property, dividing private areas from streets, rear lanes, or adjacent lots.

GROUND FLOOR ACTIVE USE DEPTH

The depth of the space from the front facade into a building that includes the active use rather than parking or a passive entrance to private space.

H**HOME OCCUPATION**

Any use customarily conducted entirely within a dwelling and carried on by the resident thereof, which use is clearly incidental and secondary to the use of the dwelling for dwelling purposes.

HEAVIER MATERIALS

Materials that are more substantial or dense, often used to convey a sense of solidity and permanence. These materials can include stone, brick, concrete, or metal panels. These materials are typically used at lower levels or at key structural points to provide a grounded and robust aesthetic.

I**INSIDE CORNER TRANSITIONS**

Design treatment where two walls meet at an interior corner of a building. In facade design, these transitions are important for creating a smooth or interesting change in the plane of the facade. This could involve a beveled, rounded, or angled edge that softens the junction between two walls, allowing the change in direction to appear intentional and aesthetically pleasing. The treatment of inside corner transitions can help add visual interest and define the volume of the building.

L**LINER BUILDING**

A shallow building designed to mask the edge of a larger structure like a parking garage or other non-pedestrian friendly use in order to create a more active, attractive, and walkable street frontage.

LIVE/WORK UNIT

A mixed-use residential unit that is allowed to house a flexible combination of limited commercial functions and the primary residential function. The commercial function may be anywhere in the unit. It is intended to be occupied by a business operator or employee who lives in the same structure that contains the commercial activity or industry.

LOT LINE

The lines bounding a lot.

LOT LINE, FRONT

The lot line dividing a lot from a street right-of-way. On a corner lot only one lot line shall be considered as a front lot line, where it is the lot line along the higher priority street on the Street Hierarchy.

LOT LINE, REAR

The lot line opposite the front lot line. In case of an irregular, triangular or gore-shaped lot, it shall mean a line within the lot, ten feet long, parallel to and at the maximum distance from the front lot line.

LOT LINE, SIDE

Any lot line which is not a front lot line or rear lot line.

LOT WIDTH

The length of the front lot line of a lot.

M**MEDICAL OFFICE**

Establishments that provide a variety of health services to a local or regional customer base.

O**OFFICE (GENERAL)**

A broad range of office based commercial and other business and professional service uses.

P**PARKING STRUCTURE**

A structure that provides multiple levels of parking with liner buildings along adjacent streets.

PLAYGROUND

An open space designed and equipped for children's recreation.

PLAZA

A Plaza is a predominantly hardscaped, urban open space located adjacent to high-activity buildings such as commercial or civic. Plazas are typically paved and furnished with seating, lighting, and landscaping elements such as planters or trees. They are designed for high pedestrian use, casual gathering, and programmed events like performances or markets.

PORCH

The main facade of the building is at the Build-to Zone and the porch projects forward. The porch is used to access a first floor that is elevated above the sidewalk to ensure privacy within the building. A porch is large enough to function as an outdoor living space.

PRINCIPAL USE

The primary use of a lot.

PRINCIPAL BUILDING

The building or buildings on a lot that contain the principal use or uses.

PRINCIPAL ENTRANCE

The main point of access for pedestrians into a building.

PUBLIC FRONTAGE

The area between the vehicular lanes and the property line.

R**REGULATING PLAN**

A map that designates the appropriate form and scale of development, rather than just land use types, and is used to ensure a high-quality public realm.

RETAIL

A broad range of commercial uses and services.

RIGHT-OF-WAY

A strip of land reserved or dedicated to public use for pedestrian, bicycle and/or vehicular movement, railway, waterway, or utility line. This strip of land is either publicly owned or subject to an easement for right-of-way purposes benefiting the general public.

S**SIDE STREET FRONTAGE**

The length of a lot that abuts a secondary or intersecting street, typically of lower classification or intensity than the front street. Side street frontages are present on corner lots and have reduced building placement and transparency requirements.

SINGLE-FAMILY

A building comprised of one or more rooms providing cooking, sleeping, and bathroom facilities, designed for the exclusive use of a single household.

SITE PLAN

A plan that indicates the proposed development and use of land or structures.

SPECIAL REQUIREMENTS PLAN

A plan document that outlines specific, non-standard design or development requirements for site specific areas deviating from the general standards.

SQUARE

A Square is a formally designed, primarily green public open space framed by building frontages and streets on multiple sides. Typically located at the center of a neighborhood, commercial district, or civic area, squares serve as focal gathering places for passive recreation, social interaction, or programmed events.

STOOP

The main façade of the building is at the Build-to Zone and the elevated stoop projects forward. The stoop is used to access a first floor that is elevated above the sidewalk to ensure privacy within the building. Stairs from the stoop may descend forward or to the side. Stoops are limited to the first floor.

STOREFRONT

A frontage type wherein the facade is aligned close to the property line with the building entrance at sidewalk grade. This type is conventional for retail use. It has a substantial glazing on the sidewalk level and an awning, canopy, gallery, arcade, colonnade should overlap the sidewalk.

SURFACE PARKING

Improved or unimproved surface level parking facilities. Surface parking shall be an accessory use to a principal building on a lot unless approved by Special Permit.

U**USE**

The specific purpose for which land or a building is designed, arranged, intended or for which it is or may be occupied or maintained.

USE, ACCESSORY

A use customarily incidental and subordinate to the main use on a lot, whether such accessory use is conducted in a principal or accessory structure.

V**Vertical Circulation Space**

The area within a building that is dedicated to movement between different floors or levels, including but not limited to stairways, elevators, escalators, and associated lobbies or landings. Vertical circulation space does not include occupiable floor area and is typically excluded from calculations of usable or leasable space.

W**WALKABLE**

Built environments with a mix of housing, civic, public open space, retail and service choices within a compact, transit ready environment. The ability to safely and comfortably access these amenities by foot, along a network of streets offers an option for the selected transportation mode (pedestrian, cyclist, or motorist), reducing the need for cars to travel.

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