

RECEIVED  
TOWN CLERK  
BELMONT, MA

CASE NO. 19-27

2019 JUN 28 AM 8: 28

NOTICE OF PUBLIC HEARING BY THE  
BELMONT ZONING BOARD OF APPEALS

ON APPLICATION FOR 1 SPECIAL PERMIT

Notice is hereby given that the Belmont Zoning Board of Appeals will hold a public hearing on Monday July 15, 2019 at 7:00 PM in the Art Gallery, 3<sup>rd</sup> floor, Homer Municipal Building, 19 Moore St., to consider the application of Ryan Casillo at 44 Palfrey Road located in a Single Residence C (SRC) Zoning District for One Special Permit under §1.5 of the Zoning Bylaw to construct a third story addition. Special Permit 1.- §4.2.2 of the Zoning By-law Dimensional Regulations allows a maximum of 2-1/2 stories. The existing structure is three and a half (3-1/2) stories, the lowest level of the dwelling is a basement (54% of the foundation walls are exposed) and is considered a story. The proposed addition is a third story addition.

ZONING BOARD OF APPEALS



Town of Belmont  
Zoning Board of Appeals

RECEIVED  
TOWN CLERK  
BELMONT, MA

2019 JUN 28 AM 8: 28

**APPLICATION FOR A SPECIAL PERMIT**

Date: 5/20/2019

Zoning Board of Appeals  
Homer Municipal Building  
19 Moore Street  
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 44 Palfrey Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for construction of a third story addition

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

|                          |                          |
|--------------------------|--------------------------|
| Signature of Petitioner  | <u>Ryan Casillo</u>      |
| Print Name               | <u>Ryan Casillo</u>      |
| Address                  | <u>44 Palfrey Road</u>   |
|                          | <u>Belmont, MA 02478</u> |
| Daytime Telephone Number | <u>774-239-2672</u>      |



OFFICE OF COMMUNITY DEVELOPMENT  
TOWN OF BELMONT  
19 Moore Street  
Homer Municipal Building  
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division  
(617) 993-2664  
Engineering Division  
(617) 993-2665  
Planning Division  
(617) 993-2666

June 3, 2019

Mr. Ryan Casillo  
44 Palfrey Road  
Belmont, MA 02478

RE: Denial to Construct Third Story Addition at 44 Palfrey Road

Dear Mr. Casillo:

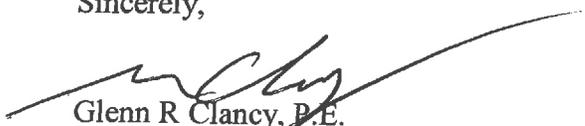
The Office of Community Development is in receipt of your building permit application for the construction of a third story addition at the rear of your home located in the Single Residence (SR-C) Zoning District.

Your application has been denied because it does not comply with the Zoning By-Law. More specifically, 1. Section 4.2.2 of the Zoning By-law Dimensional Regulations allows a maximum of 2-1/2 stories. The existing structure is three and a half (3-1/2) stories, the lowest level of your dwelling is a basement (54% of the foundation walls are exposed) and is considered a story.

1. The proposed addition is a third story addition.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and Resubmit a building permit application, or you may request one (1) Special Permit from the Zoning Board of Appeals. If you choose this option, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant Director, at (617) 993-2650 in order to begin the process.

Sincerely,

  
Glenn R. Clancy, P.E.  
Inspector of Buildings

# Request for Special Permit

## Introduction:

We are Ryan and Cintia Casillo of 44 Palfrey Rd., Belmont, MA 02478. Our daughter, Anna, is 7 years old and she is in first grade. Our son, John, is 5 years old and he is in PreK. We are proposing a second-floor addition project that will create the additional space our growing family needs.

## Project Description:

Our home currently has a basement, a first-floor, and a second-floor. The first floor has an existing  $\frac{1}{2}$  bathroom, and a family room (figure 1) located on the rear side of the house. The second floor has 3 bedrooms and a  $\frac{3}{4}$  bathroom (without a tub).



**Figure 1: First floor family room**

Our proposal is to build a second-floor addition on top of the existing structure of the first-floor family room. The addition does not extend beyond the existing footprint of the house, and it will not change the height of the building. Furthermore, none of the existing nonconformities will be impacted by this change. From an exterior standpoint, the proposed addition is on the back side of the house, and as such, the front façade will remain unchanged.

The additional space on the second floor will allow us to create an additional bathroom, as well as, one extra bedroom. The new bathroom will allow us to install a tub for the kids, and more space to store their laundry. We will move our washer and dryer from the basement to the second-floor to better keep up with our growing kids' daily activities. Our family will also benefit by having an additional bedroom to host family members that visit us from overseas, and to expand our family in the future.

We are applying for a special permit because 53.76% of the foundation is above grade, classifying it as a basement and not a cellar. As such, it constitutes a story, making our proposed addition a third story addition.

We would like to note that we have spoken with and acquired signatures of support from our neighbors. We believe that the proposed changes keep in line with the character of the neighborhood and are not detrimental to the community.

We are asking the Zoning Board of Appeals to grant a special permit allowing us to perform this renovation and sincerely appreciate your consideration.

**NOTES:**

- 1) THIS PLAN IS NOT TO BE CONSIDERED AN ALTA/ACSM LAND TITLE SURVEY, NOR IS IT TO BE USED FOR RETRACEMENT OF PROPERTY LINES.
- 2) ELEVATIONS SHOWN HEREON REFER TO AN ASSUMED DATUM.
- 3) SITE IS NOT WITHIN A WETLAND ZONE

**ASSESSORS:**

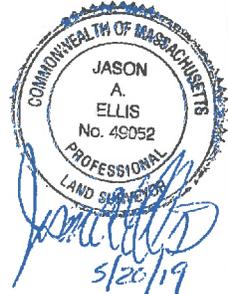
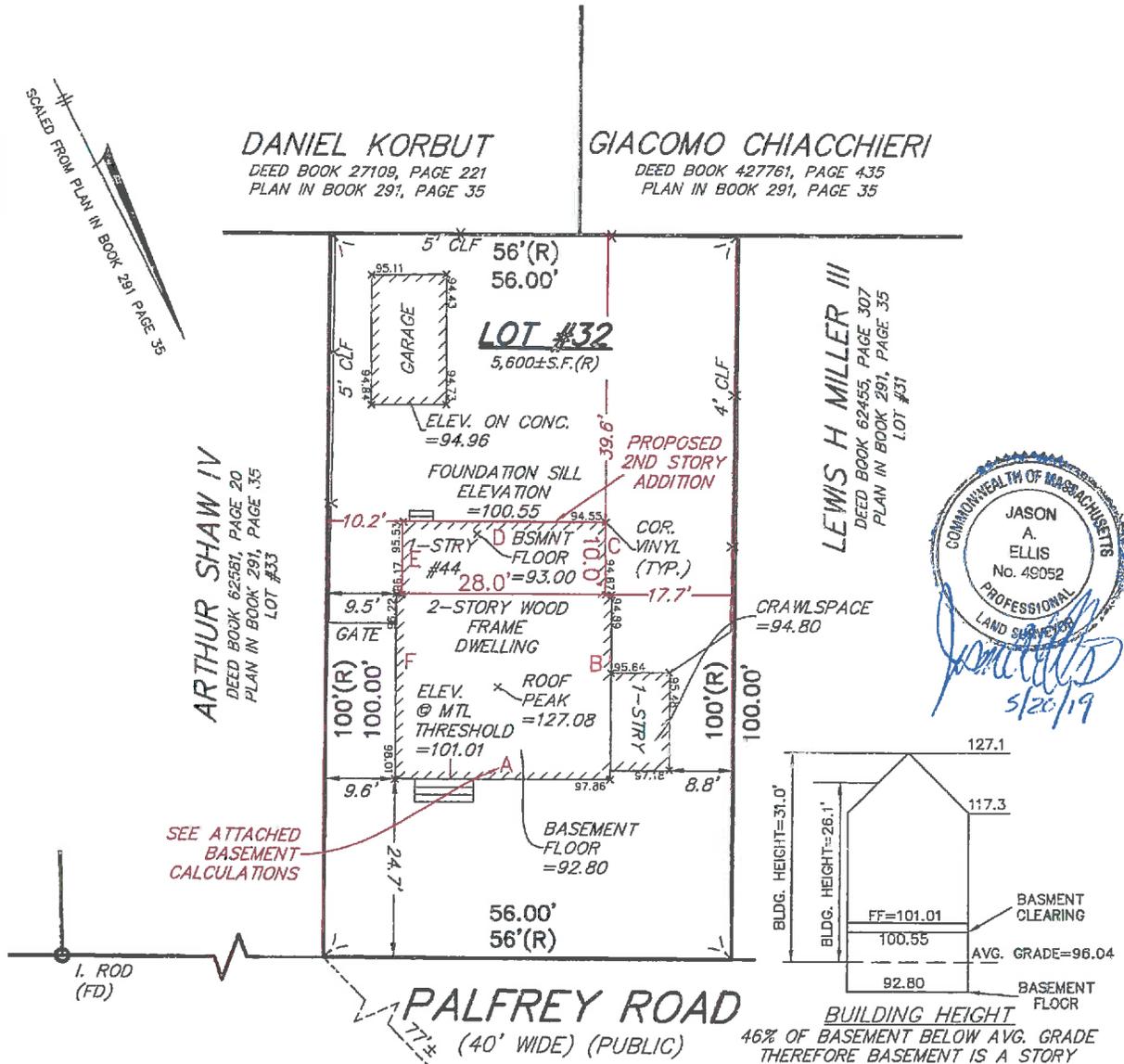
PARCEL ID: 12-144

**ZONING:**

SINGLE RESIDENCE C

**REFERENCES:**

DEED BOOK: 72320, PAGE 508  
PLAN IN BOOK 291, PAGE 35



ZONING DISTRICT = SRC

|                   | REQ. | EXIST. | PROP. |
|-------------------|------|--------|-------|
| MAX. LOT COVERAGE | 25%  | 24%    | 24%   |
| MIN. OPEN SPACE   | 50%  | 76%    | 76%   |
| FRONT SETBACK     | 25'  | 24.7'  | 24.7' |
| SIDE SETBACK      | 10'  | 8.8'   | 8.8'  |
| REAR SETBACK      | 30'  | 39.6'  | 39.6' |
| HEIGHT            | 30'  | 26.1'  | 26.1' |

SBDH (FD)

**PLOT PLAN OF LAND IN BELMONT, MA**  
PREPARED FOR  
**RYAN CASILLO**

**HANCOCK**  
Survey Associates, Inc.  
121 EAST BERKELEY ST, BOSTON, MA. 02118  
VOICE (617) 357-8145, FAX (617) 357-9495

SCALE: 1" = 20'



CHK. BY:  
JAE  
DATE:  
5/14/19  
JOB NO.  
22457

# HANCOCK ASSOCIATES

Surveyors | Engineers | Scientists

May 9th, 2019

**44 Palfrey Road  
Belmont, MA 02478**

Basement Calculations:

There are six segments. The foundation walls for sections "A", "B" and "F" are 7.75' high. The foundation walls for sections "C", "D" and "E" are 7.55' high.

| Section: | Length: | Area (S.F.): | Area Below (S.F.): |
|----------|---------|--------------|--------------------|
| A        | 29.6'   | 229.40       | 152.14             |
| B        | 24.3'   | 188.33       | 86.99              |
| C        | 9.99'   | 75.43        | 17.08              |
| D        | 28.0'   | 211.40       | 57.12              |
| E        | 9.93'   | 74.97        | 28.30              |
| F        | 25.6'   | 198.40       | 110.59             |

Total:

$$452.22 / 977.93 = 0.4624$$

**46.24% of the foundation wall is below grad**



SEC. "C"

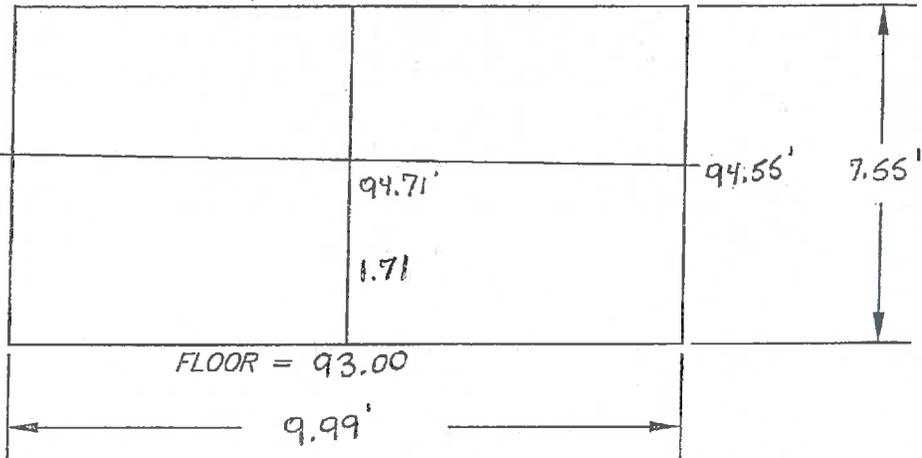
$$\begin{array}{r} 9.99 \\ \times 7.55 \\ \hline 75.43 \end{array}$$

TOTAL FACE OF WALL

CEILING = 100.55

$$\begin{array}{r} 9.99 \\ \times 1.71 \\ \hline 17.08 \end{array}$$

FACE OF WALL BELOW GRADE



$$\frac{17.08}{75.43} = 0.2264$$

22.64% BELOW GRADE

SEC. "D"

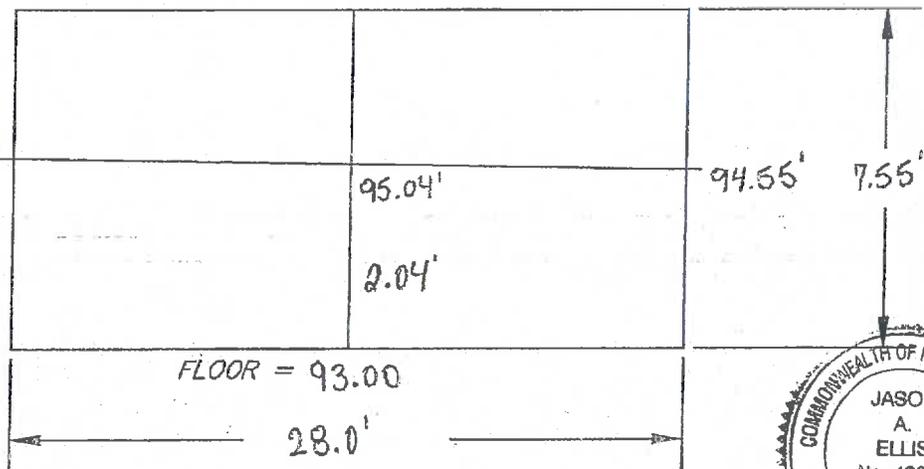
$$\begin{array}{r} 28.0 \\ \times 7.55 \\ \hline 211.40 \end{array}$$

TOTAL FACE OF WALL

CEILING = 100.55

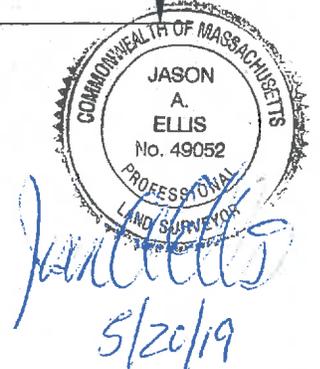
$$\begin{array}{r} 28.0 \\ \times 2.04 \\ \hline 57.12 \end{array}$$

FACE OF WALL BELOW GRADE



$$\frac{57.12}{211.40} = 0.2702$$

27.02% BELOW GRADE

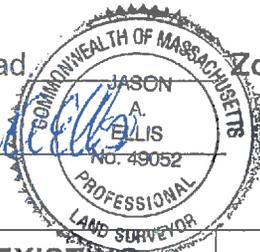


# Zoning Compliance Check List

## (Registered Land Surveyor)

Property Address: \_\_\_\_\_ 44 Palfrey Road \_\_\_\_\_ Zone: SR-C

Surveyor Signature and Stamp: \_\_\_\_\_ Date: 5/20/19



|                       | REQUIRED     | EXISTING   | PROPOSED   |
|-----------------------|--------------|------------|------------|
| Lot Area              | 9,000 S.F.   | 5,600 S.F. | 5,600 S.F. |
| Lot Frontage          | 75'          | 56'        | 56'        |
| Floor Area Ratio      | N/A          | N/A        | N/A        |
| Lot Coverage          | 25%          | 24%        | 24%        |
| Open Space            | 50%          | 76%        | 76%        |
| Front Setback         | 25'          | 24.7'      | 24.7'      |
| Side Setback          | 10'          | 8.8'       | 8.8'       |
| Side Setback          | 10'          | 9.5'       | 9.5'       |
| Rear Setback          | 30'          | 39.6'      | 39.6'      |
| Building Height       | 30'          | 26.1'      | 26.1'      |
| Stories               | <u>2 1/2</u> | <u>3</u>   | <u>3</u>   |
| 1/2 Story Calculation | <u>N/A</u>   |            |            |
|                       |              |            |            |
|                       |              |            |            |

|               |
|---------------|
| <b>NOTES:</b> |
|               |
|               |
|               |
|               |

We, the neighbors of Ryan and Cintia Casillo of 44 Palfrey Road, Belmont, MA, have reviewed their plans to add an addition at the above-mentioned address. Furthermore, we support their petition for a special permit allowing them to proceed with this addition.

1. Agusta Richardsdottir AGUSTA RICHARDSDOTTIR  
(signature) (name)

26 Palfrey Rd.  
(address)

2. Talin Abidjan Talin Abidjan  
(signature) (name)

32 Palfrey Rd.  
(address)

3. Frances C Kelley Frances C Kelley  
(signature) (name)

34 Palfrey Rd.  
(address)

4. Quentin Fennessy Quentin Fennessy  
(signature) (name)

34 Palfrey Rd  
(address)

5. Vanesa Luchessa VANESSA LUCHESSA  
(signature) (name)

50 Palfrey Rd  
(address)

6. Steen Kennedy STEEN KENNEDY  
(signature) (name)

59 PALFREY ROAD  
(address)

We, the neighbors of Ryan and Cintia Casillo of 44 Palfrey Road, have reviewed their plans to add an addition at the above-mentioned address. Furthermore, we support their petition for a special permit allowing them to proceed with this addition.

7.  Akemi Shimada  
(signature) (name)

33 Palfrey Rd, Belmont Ma 02478  
(address)

8. Yell Wilson Phil Wilson  
(signature) (name)

8 Hammond Rd Belmont, Ma 02475  
(address)

9. Nancy Catalano Nancy Catalano  
(signature) (name)

181 Trapelo Rd Belmont  
(address)

10. Paul Raymond Paul Raymond  
(signature) (name)

159 Trapelo Rd Belmont, MA  
(address)

11.  Rachel Nathan  
(signature) (name)

16 Hammond Rd Belmont  
(address)

12. Francis A. Dwyer Francis A. Dwyer  
(signature) (name)

12 Cochran Rd.  
(address)

13. Robert Stewart Robert Stewart  
11 Cochran Rd Belmont

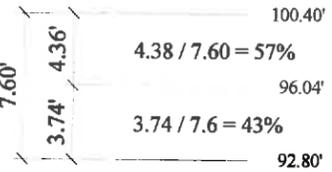
# Additions and Alterations for Ryan and Cintia Casillo 44 Palfrey Road, Belmont, MA

## LIST OF DRAWINGS

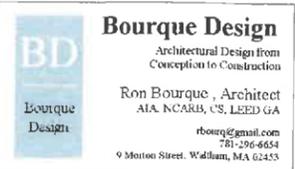
- |   |   |
|---|---|
| <p>EX1 - EXISTING BASEMENT / FIRST FLOOR PLANS</p> <p>EX2 - EXISTING SECOND FLOOR / ROOF PLANS</p> <p>EX3 - EXISTING FRONT / REAR ELEVATIONS</p> <p>EX4 - EXISITING LEFT / RIGHT ELEVATIONS</p> <p>D1 - BASEMENT / FIRST FLOOR DEMOLITION PLANS</p> <p>D2 - SECOND FLOOR / ROOF DEMOLITION PLANS</p> <p>D3 - FRONT / REAR ELEVATION DEMO PLANS</p> <p>D4 - LEFT / RIGHT ELEVATION DEMO PLANS</p> <p>A - SPECIFICATIONS</p> <p>A1 - BASEMENT / FIRST FLOOR PLANS</p> | <p>A2 - SECOND FLOOR / ROOF PLANS</p> <p>A3 - FRONT / REAR ELEVATIONS</p> <p>A4 - LEFT / RIGHT ELEVATIONS</p> <p>A5 - FIRST / SECOND FLOOR FRAMING PLANS</p> <p>A6 - ATTIC / ROOF FRAMING PLANS</p> <p>A7 - BUILDING SECTION</p> <p>E1 - BASEMENT / FIRST FLOOR ELECTRICAL PLANS</p> <p>E2 - SECOND FLOOR ELECTRICAL PLAN</p> |
|---|---|

**Half Story Height Calculation**

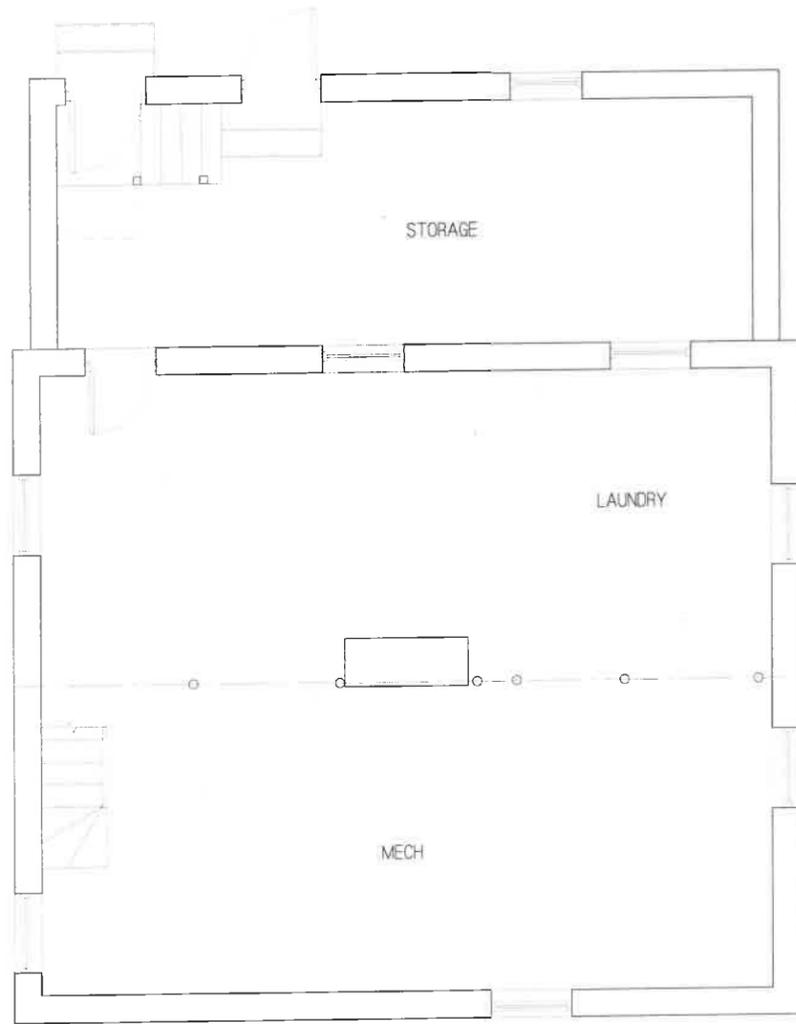
Average Grade @ Building = 96.04'  
 Basement Ceiling Elev = 100.40'  
 Basement Finish Floor Elev = 92.80'



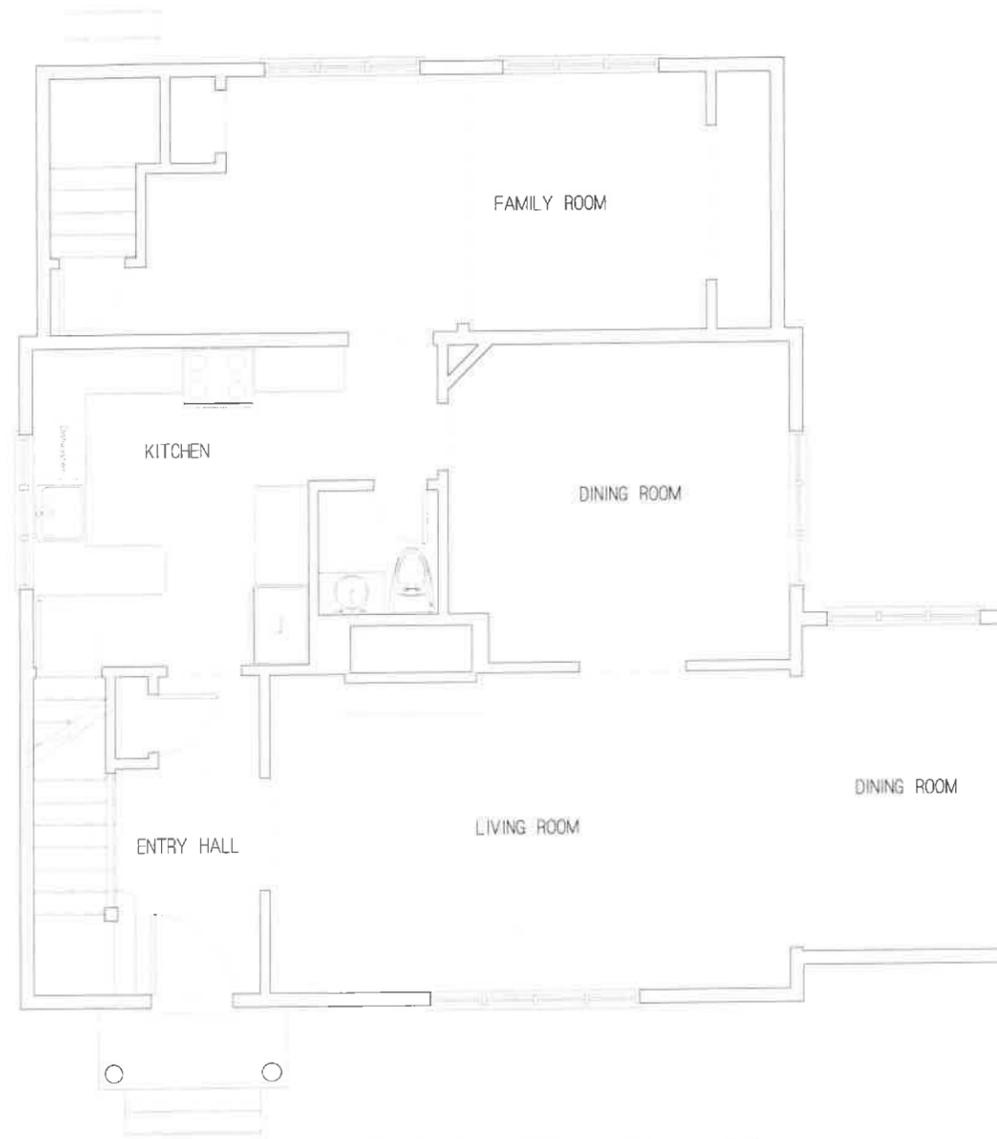
BASEMENT IS 57% ABOVE AVERAGE GRADE  
 BASEMENT IS 43% BELOW AVERAGE GRADE  
 ( Refer to Hancock Survey Plan 4/26/18 )



**Bourque Design - Waltham, MA**  
 Issued for Permit May 3, 2019



**Existing Basement Floor Plan**  
 BASEMENT FLOOR ELEVATION = 93'-0"



**Existing First Floor Plan**  
 FIRST FLOOR ELEVATION = 101'-0"



Residential Addition for  
 Ryan & Cintia Casillo  
 44 Palfrey Road, Belmont, MA

**EXISTING BASEMENT /  
 FIRST FLOOR PLANS**

**EX1**

ISSUED FOR PERMIT - MAY 3, 2019



Residential Addition for  
 Ryan & Cintia Casillo  
 44 Palfrey Road, Belmont, MA

**EXISTING SECOND FLOOR / ROOF PLANS**

**EX2**



**Bourque Design**  
 Architects & Planners  
 1000 Main Street, Suite 100  
 Belmont, MA 02458  
 Tel: 617-339-1100  
 Fax: 617-339-1101  
 www.bourquedesign.com

Project: Residential Addition for  
**Ryan & Cintia Casillo**  
 44 Palfrey Road, Belmont, MA

EXISTING FRONT /  
**REAR ELEVATIONS**

**EX3**



ISSUED FOR PERMIT - MAY 3, 2019

SCALE: 1/4" = 1'-0"



- TOP OF RIDGE  
ELEV. = 127'-1"
- BUILDING HEIGHT  
ELEV. = 122'-2 1/2"
- FINISHED ATTIC FLOOR  
ELEV. = 118'-4"
- FINISHED SECOND FLOOR CLG.  
ELEV. = 117'-9 1/4"
- FINISHED SECOND FLOOR  
ELEV. = 110'-3 1/4"
- FINISHED FIRST FLOOR CLG.  
ELEV. = 109'-0"
- FINISHED FIRST FLOOR  
ELEV. = 101'-0"
- FINISHED BASEMENT CEILING  
ELEV. = 99'-2 3/4"



- TOP OF RIDGE  
ELEV. = 127'-1"
- BUILDING HEIGHT  
ELEV. = 122'-2 1/2"
- FINISHED ATTIC FLOOR  
ELEV. = 118'-4"
- FINISHED SECOND FLOOR CLG.  
ELEV. = 117'-9 1/4"
- FINISHED SECOND FLOOR  
ELEV. = 110'-3 1/4"
- FINISHED FIRST FLOOR CLG.  
ELEV. = 109'-0"
- FINISHED FIRST FLOOR  
ELEV. = 101'-0"
- FINISHED BASEMENT CEILING  
ELEV. = 99'-2 3/4"

LEFT ELEVATION

RIGHT ELEVATION



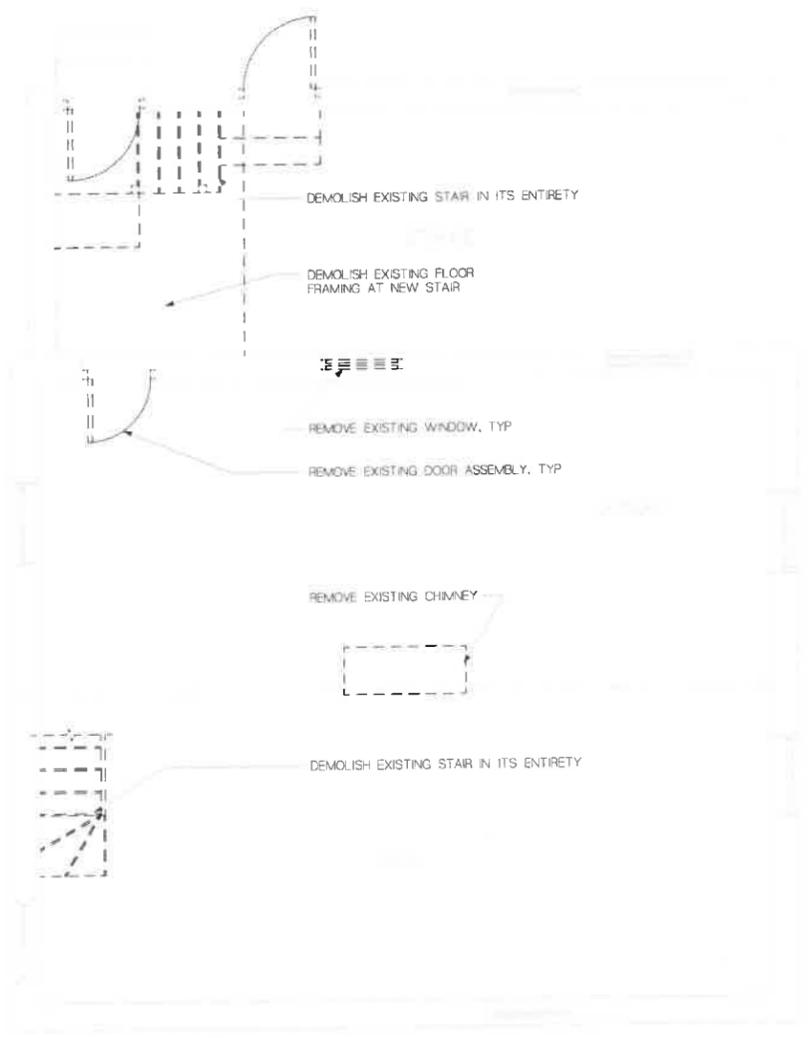
**Bourque Design**  
Architectural Firm  
1000 Bourque Drive  
Boston, MA 02114  
Tel: 617-552-1111



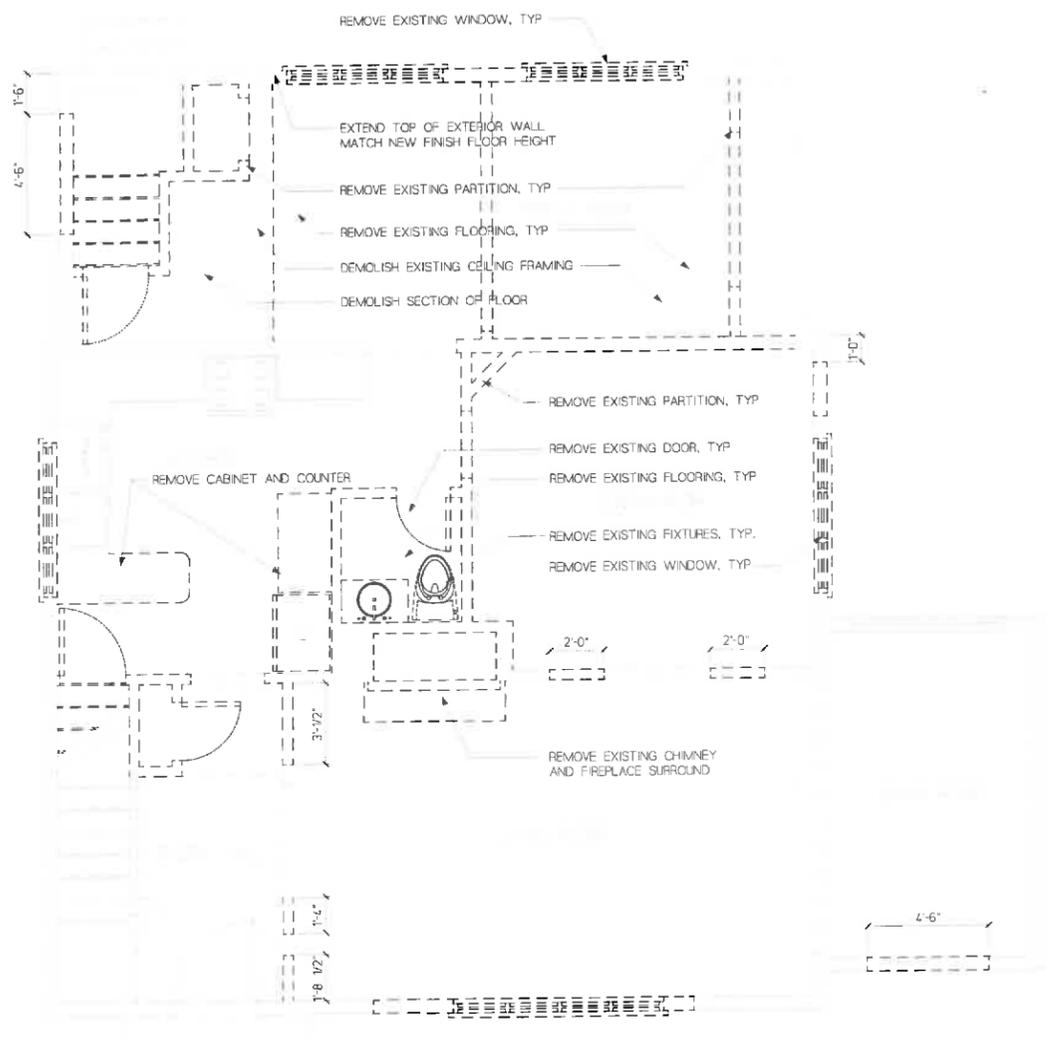
Residential Addition for  
**Ryan & Cintia Casillo**  
44 Palfrey Road, Belmont, MA

**EXISTING LEFT /  
RIGHT ELEVATIONS**

**EX4**



Basement Demolition Plan



First Floor Demolition Plan



ISSUED FOR PERMIT - MAY 3, 2019

SCALE: 1/4" = 1'-0"

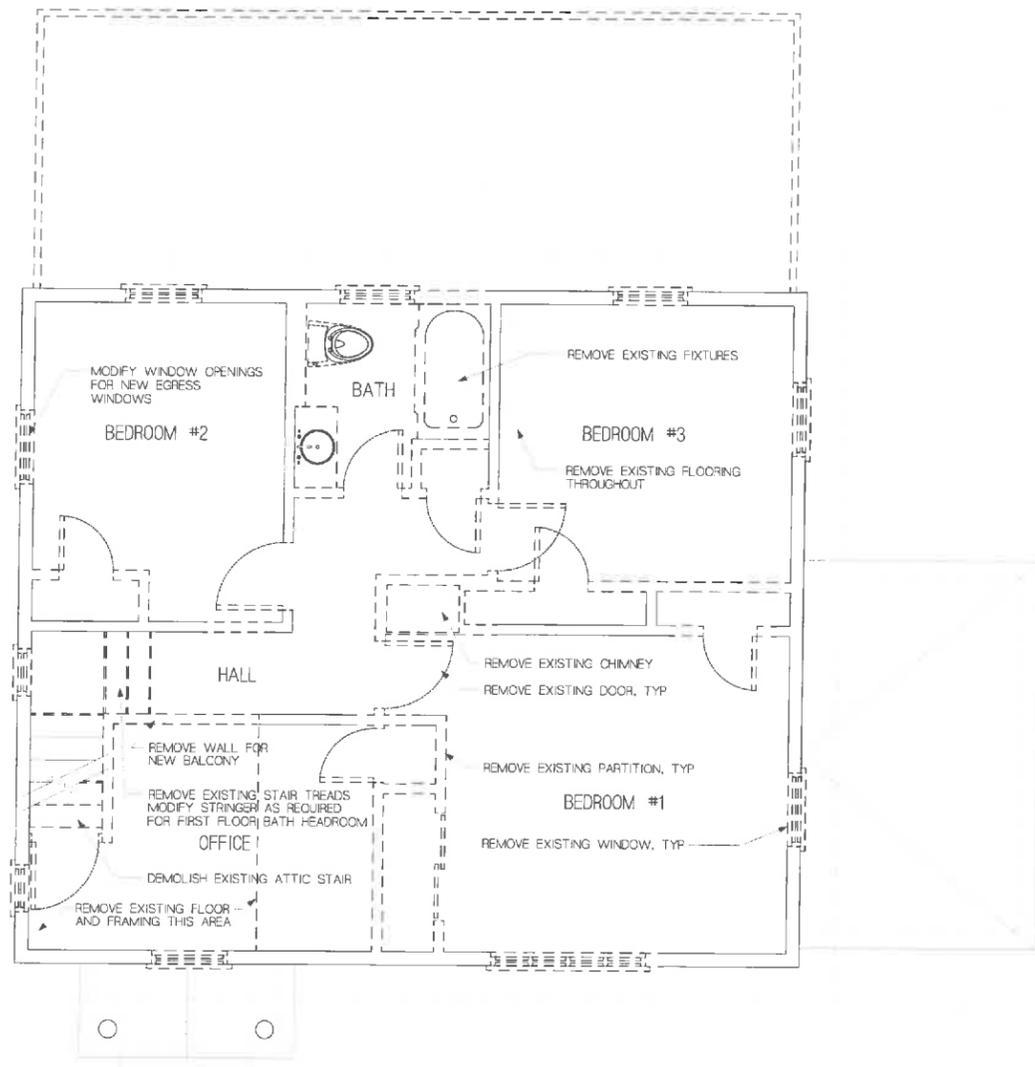


Client: Ryan & Cintia Casillo  
**Residential Addition for Ryan & Cintia Casillo**  
 44 Palfrey Road, Belmont, MA

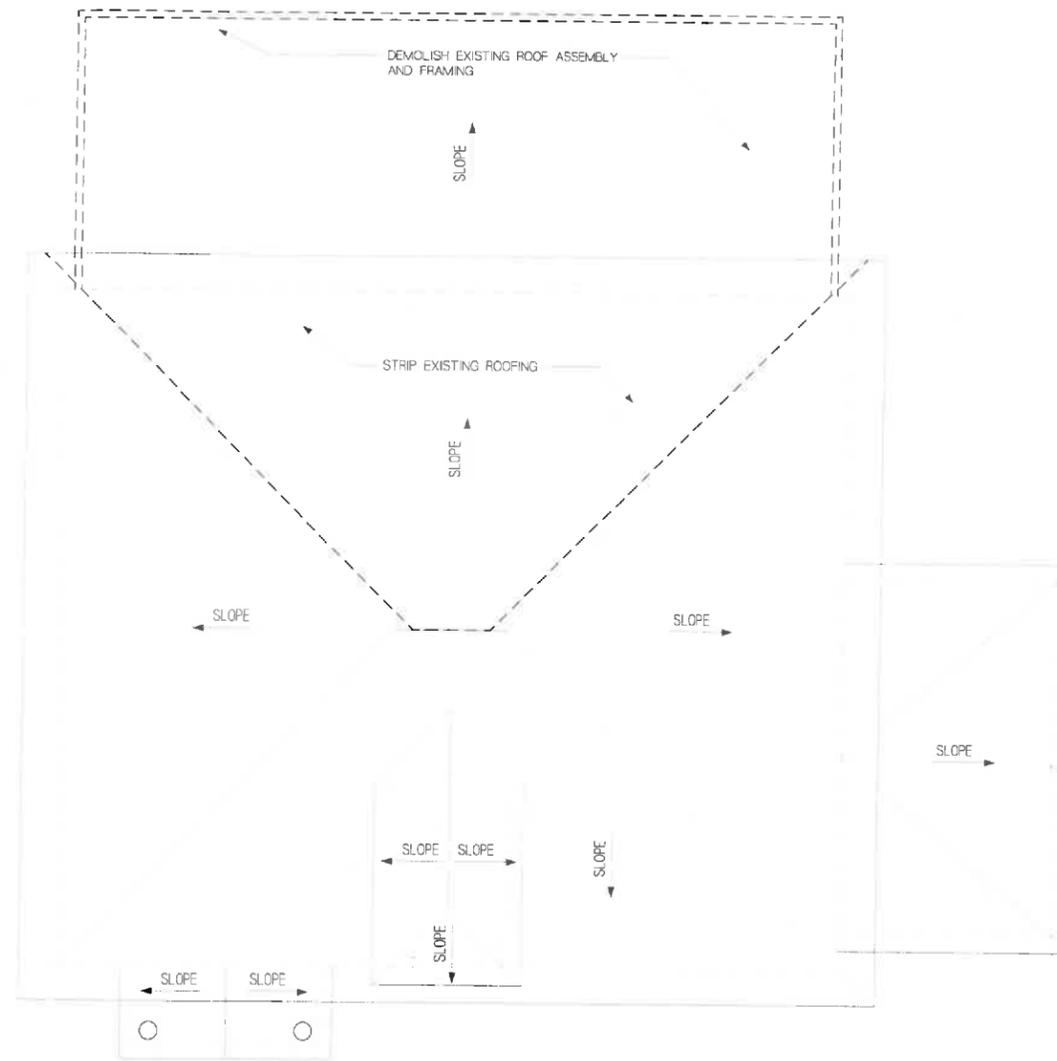
Project Title:  
**BASEMENT / FIRST FLOOR DEMO PLANS**

Project No.:  
**D1**

Project Location:  
 44 Palfrey Road, Belmont, MA



Second Floor Demolition Plan



Roof Demolition Plan



Residential Addition for  
 Ryan & Cynthia Casillo  
 44 Palfrey Road, Belmont, MA

**SECOND FLOOR / ROOF  
 DEMOLITION PLANS**

**D2**



REAR DEMOLITION ELEVATION

FRONT DEMOLITION ELEVATION

**Bourque Design**  
 ARCHITECTURAL & INTERIOR DESIGN  
 1000 W. 10th Street, Suite 100  
 Minneapolis, MN 55408  
 Tel: 612.338.1111  
 Fax: 612.338.1112  
 www.bourquedesign.com

Residential Addition for  
**Ryan & Cintia Casillo**  
 44 Palfrey Road, Belmont, MA

**FRONT / REAR  
 DEMOLITION ELEV**

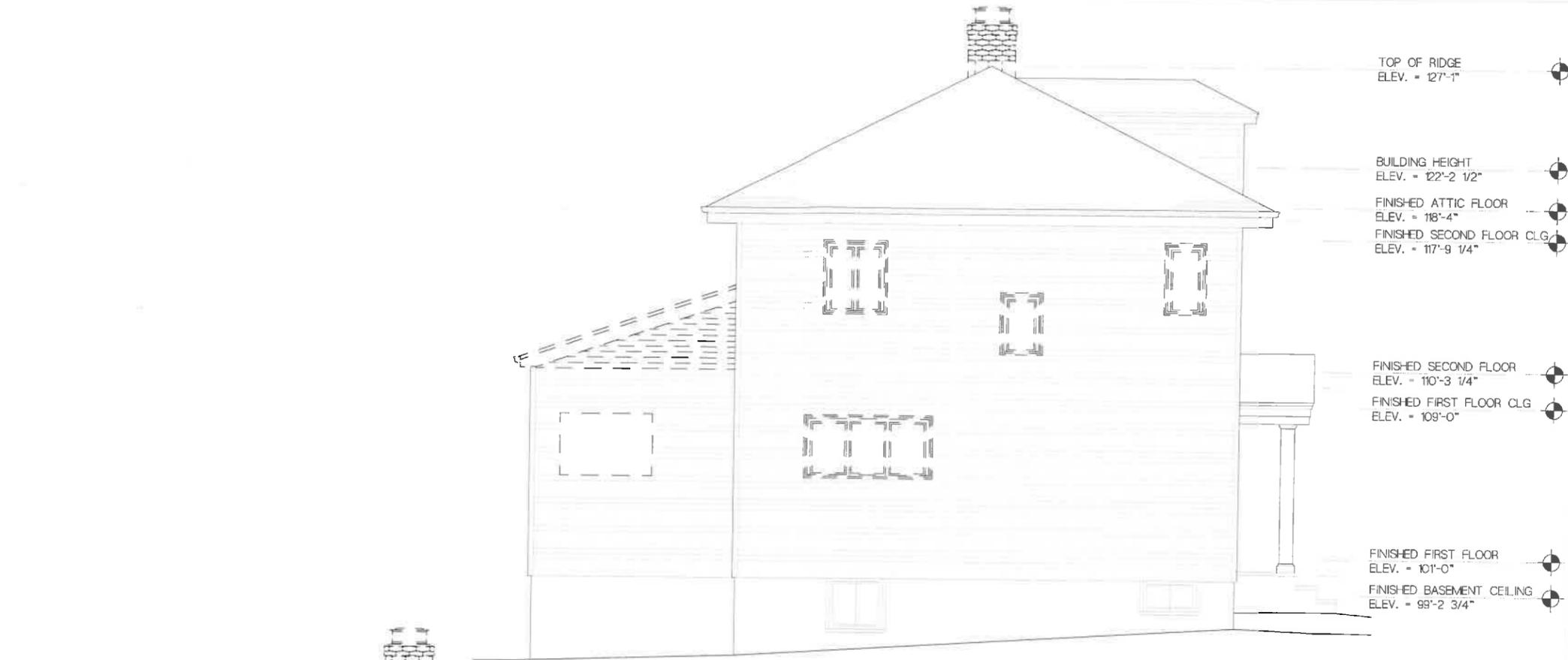
**D3**



ISSUED FOR PERMIT - MAY 3, 2019

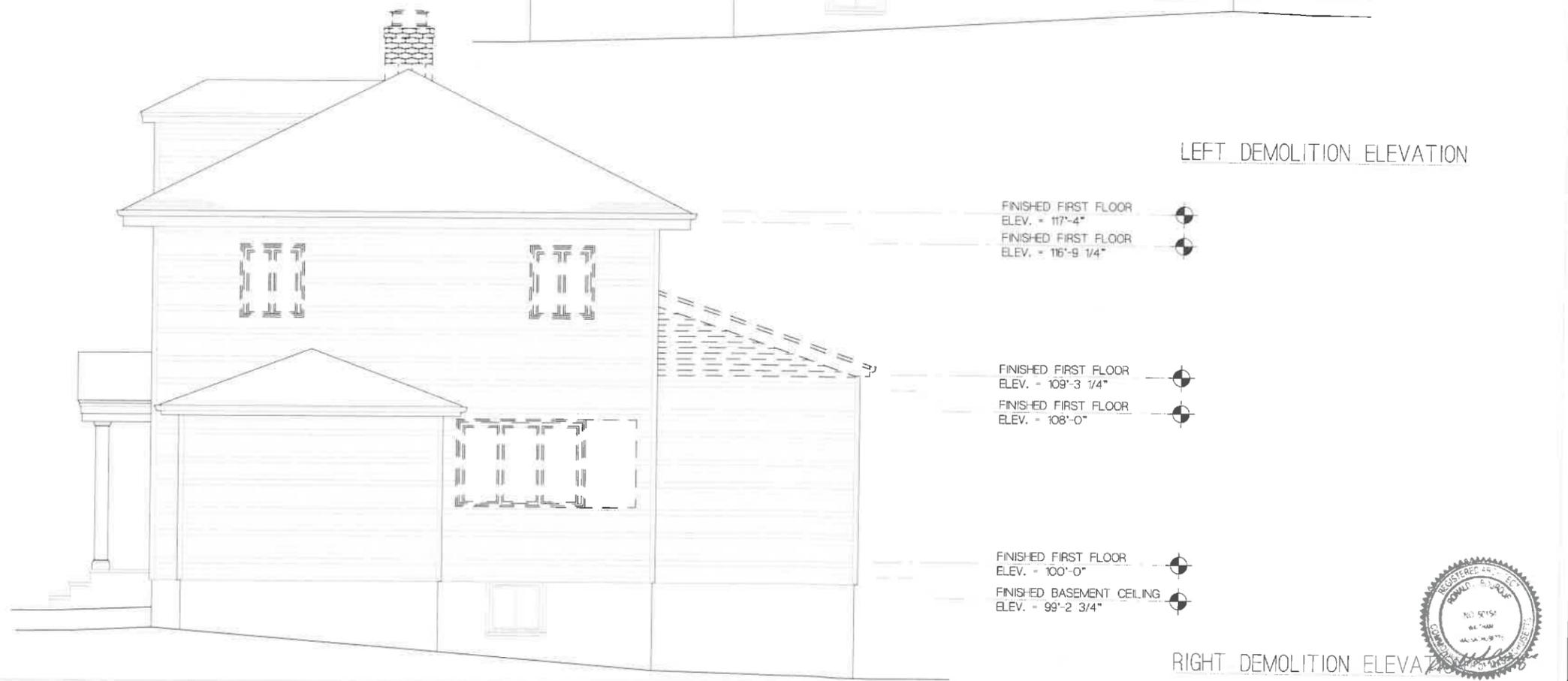
SCALE: 1/4" = 1'-0"

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**Bourque Design**  
 ARCHITECTS  
 100 HIGHLAND AVENUE  
 SUITE 100  
 BELMONT, MA 02458  
 TEL: 617.338.1111  
 WWW.BOURQUEDESIGN.COM

Residential Addition for  
 Ryan & Cintia Casillo  
 44 Palfrey Road, Belmont, MA



LEFT DEMOLITION ELEVATION

RIGHT DEMOLITION ELEVATION



**LEFT / RIGHT  
 DEMOLITION ELEVS.**

**D4**

**Demolition**

The contractor shall safely remove and dispose of all debris in an approved container from a rubbish disposal company.

Excavation - The contractor shall perform the following excavation at the contractors costs:

- Removal of all tree or bush growth in area of excavation. Strip and stockpile topsoil.
- Removal of concrete pavement in the area of work. All necessary looting excavation.
- All necessary foundation backfilling.
- Spreading of stockpiled soil upon completion of structure.

The owner shall pay the expense for any labor or material for the following items:

- Removal of all tree or bush growth outside of the area of excavation. Additional grading beyond spreading of topsoil.
- Removal and disposal of any buried 'unforseen' conditions items such as buried tanks, piping, etc.

**Driveway**

The existing driveway shall be protected from damage due to equipment or movement of materials / dumpsters.

**Concrete Footings and Foundations**

All footings and foundations shall reach a minimum of 3000 psi after 28 days. Steel reinforcing bars and anchor bolts shall be 1/2" outside diameter and installed at locations shown on the design drawings.

**Steel members**

Steel pipe columns shall be 3 1/2" outside diameter. The steel pipe columns shall conform to ASTM standards.

**Concrete Slabs**

All concrete slabs shall be poured on a minimum of 4 in. of gravel and all interior slabs shall have a minimum of 6 mil poly vapor barrier. The concrete slabs shall be reinforced with welded wire fabric. The concrete mix shall be such that the strength of the concrete is a minimum of 2500 psi within 28 days.

**Foundation Wall Damproofing**

All portions of the foundation wall that will be buried below grade shall have a coating of an asphalt based foundation damproofing on the exterior face. Damproofing shall be applied when the temperature is above 40 degrees F and no rain or snow will occur within 12 hours. Damproofing shall consist of two layers applied in opposite directions.

**Footing Drains**

Footing drains shall be a minimum of 4" diameter plastic perforated pipe. The drain shall be placed in a minimum of 12 in. of crushed stone. The footing drain shall empty by gravity away from the structure or into a sump pit or drywell as located by the site engineer.

**Exterior Walls**

Exterior walls shall be constructed of 2" x 6" wood studs at 16" o.c. unless otherwise noted on the construction documents. Exterior siding shall be as noted on the construction documents. A building wrap shall be used between the cladding and the sheathing.

**Interior Walls**

Interior walls shall be constructed of 2" x 4" wood studs at 16" o.c. unless otherwise noted on the construction documents.

**Floor and Ceiling Framing**

All wood framing shall be 2" x 8", 2" x 10", or 2" x 12" and spaced as noted on the construction documents. Sods shall be no. 1 grade or better. Joists shall have bracing located between adjacent joists.

**Roofing**

Roofing shingles shall be 210 lbs, type 'Architect 80' with a one year warranty on labor and a minimum 35 year warranty on the material. Final color selection to be determined at a later date. Felt under shingles shall be a minimum of 20 lbs. The roofing material shall be secured to 5/8" thick tongue and groove exterior grade plywood.

**Gutters and Downspouts**

All gutters and downspouts shall be 5 in. aluminum box type construction.

**Windows**

All windows shall be as noted in the window schedule with vinyl clad exterior and shall be manufactured by Andersen or an approved equal. All operable doors and windows shall include screens.

**Plumbing**

The general contractor shall provide a complete plumbing and heating system. All fixtures to be purchased and installed as part of the based contract.

**Paint**

Two coats of flat latex paint shall be applied to all walls and ceilings. Colors other than white shall result in an additional charge.

**Trim**

All interior trim shall be poplar and stained to match existing. General contractor to provide allowance for gumwood trims to match existing.

**Interior Doors**

All interior doors shall be 1 3/8" thick, 2 panel pine. Hardware sets to be selected by owner. GC to provide allowance based on flair design lockset.

**Cabinets**

Kitchen cabinet styles and components to be selected by owner. Kitchen Counters to be selected by owner, style and color to be determined.

**Stairs**

Stairs and handrails shall be oak and be sized to meet the applicable building codes.

**Finished Floors**

Ceramic Tile shall be installed in locations noted on the floor plans. All tile to be supplied and installed by GC. GC to coordinate proper floor preparation to facilitate installation. All tile to be laid on cementitious backerboard or applied to concrete slab.

**Finished Floors**

All hardwood flooring to be installed by GC in locations noted on construction documents GC will facilitate installation. Hardwood floor material to be either red / white oak or maple.

**Carpet**

All carpet will include pad. Carpet shall be installed in locations noted on construction documents or in the finish schedule. GC to provide allowance for carpet purchase. Final color and type to be selected by owner.

**Vanities and Countertops**

All vanities and countertops to be selected by owner, installed by general contractor. GC to provide allowance.

**Appliances**

All appliances are to be purchased by owner. GC to coordinate plumbing and electrical requirements.

**Electrical Service**

Light fixtures - The contractor shall provide and install all wiring and switches for light fixtures and plug receptacles. All downlights shall be included in the base bid. All hanging fixtures shall be provided by the owner, installed by the GC. Telephone and cable TV wiring shall be included in the electrical scope of work. See electrical plan for quantity and locations.

**Air Conditioning**

Heating and Air Conditioning to be design build. GC is responsible for coordination of all chases and cross trade coordination.

**Insulation**

Insulation with the following R values shall be provided, in Table 402.1.3 of the International Residential Code.

Table 402.1.3  
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

| Climate Zone   | ROOFS                 |                   |                     |                                       |                         | WALLS ABOVE GRADE          |                   | WALLS BELOW GRADE        |                    | FLOORS                   |                             | SLAB ON GRADE FLOORS      |  |
|----------------|-----------------------|-------------------|---------------------|---------------------------------------|-------------------------|----------------------------|-------------------|--------------------------|--------------------|--------------------------|-----------------------------|---------------------------|--|
|                | Fenestration U-Factor | Skylight U-Factor | Glazed Fenestration | Insulation Entirely Roof Deck U-Value | Attic And Other R-Value | Wood Frame Wall            | Mass Wall R-Value | Below Grade Wall R-Value | Mass Floor R-Value | Joists / Framing R-Value | Floor U-Value Unheated Slab | Floor U-Value Heated Slab |  |
| 5 and Marine 4 | 0.35                  | 0.60              | NR                  | 30                                    | 49                      | 13 + 7.5<br>or<br>20 + 3.8 | 13.3              | 7.5                      | 12.5               | 30                       | 10<br>24" BELOW             | 15<br>36" BELOW           |  |

Table 402.1.3  
EQUIVALENT U VALUES

| Climate Zone   | ROOFS                 |                   |                     |                                       |                         | WALLS ABOVE GRADE       |                   | WALLS BELOW GRADE        |                    | FLOORS                   |                             | SLAB ON GRADE FLOORS      |  |
|----------------|-----------------------|-------------------|---------------------|---------------------------------------|-------------------------|-------------------------|-------------------|--------------------------|--------------------|--------------------------|-----------------------------|---------------------------|--|
|                | Fenestration U-Factor | Skylight U-Factor | Glazed Fenestration | Insulation Entirely Roof Deck U-Value | Attic And Other U-Value | Wood Frame Wall U-Value | Mass Wall U-Value | Below Grade Wall U-Value | Mass Floor U-Value | Joists / Framing U-Value | Floor U-Value Unheated Slab | Floor U-Value Heated Slab |  |
| 5 and Marine 4 | 0.30                  | 0.55              | NR                  | 0.032                                 | 0.027                   | 0.064                   | 0.090             | 0.119                    | 0.074              | 0.033                    | 0.054                       | 0.065                     |  |

**SYMBOLS AND LEGEND KEYS**

**FLOOR PLAN SYMBOLS**

- EXISTING WALL CONSTRUCTION
- EXISTING WALL TO BE DEMOLISHED
- NEW INTERIOR WALL CONSTRUCTION
- LINE OF WORK ABOVE
- EXISTING DOOR AND TRIM
- NEW DOOR AND TRIM

**LIGHTING SYMBOLS**

- CEILING MOUNTED LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE W/ FAN
- TRACK LIGHTING
- RECESSED DOWNLIGHT
- MOTION DETECTION SECURITY LIGHT

**ELECTRICAL SYMBOLS**

- SINGLE POLE SWITCH
- DOUBLE POLE SWITCH
- TRIPLE POLE SWITCH
- DUPLEX RECEPTACLE
- GFI RECEPTACLE
- SMOKE DETECTOR
- HEAT DETECTOR
- CARBON MONOXIDE DETECTOR
- CIRCUITING HOME RUN
- TELEPHONE JACK

Section 404.1 Lighting Equipment ( Prescriptive )  
2009 International Energy Conservation Code

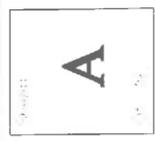
Lighting Note: A minimum of 50 percent of the lamps in permanently installed lighting fixtures shall be high efficacy lamps.

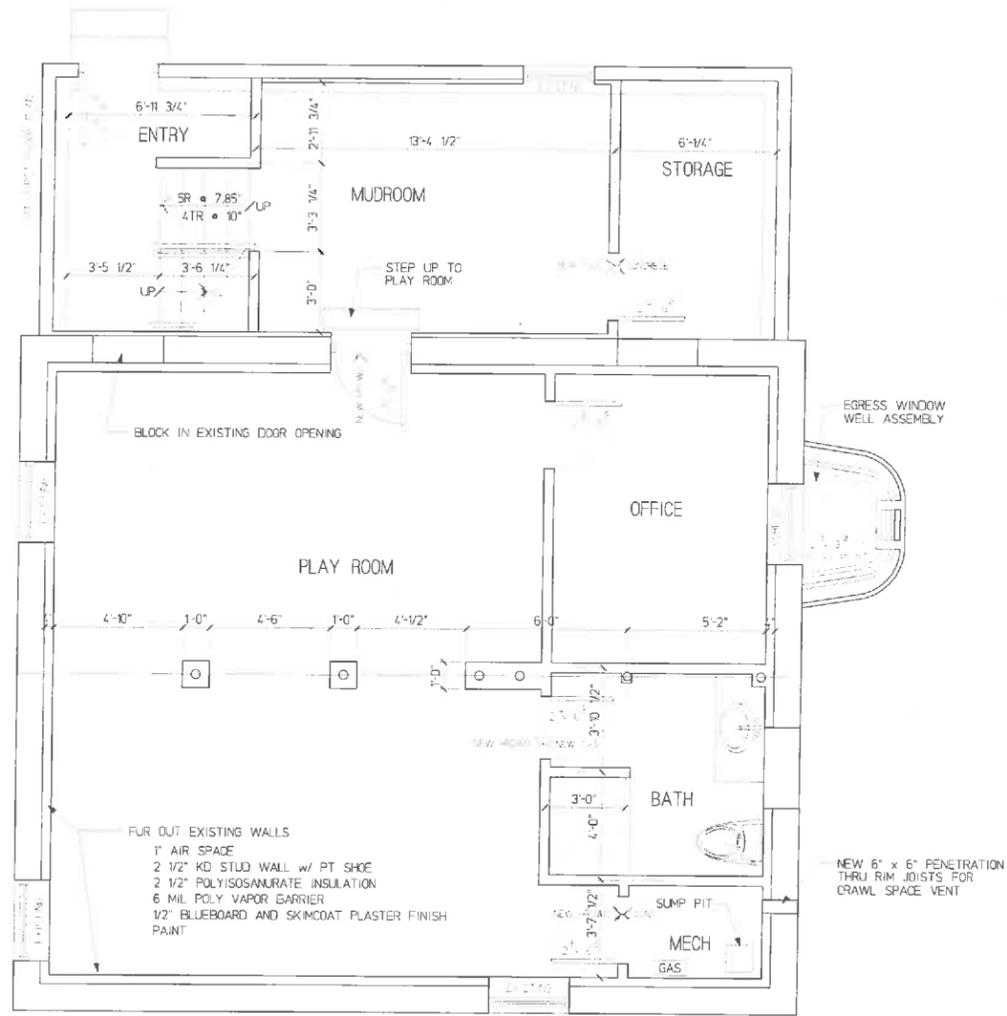
Note: General Contractor to comply with Stretch Energy Code.  
General Contractor to comply with requirements of Energy Star Qualified Thermal Bypass Inspection Checklist.



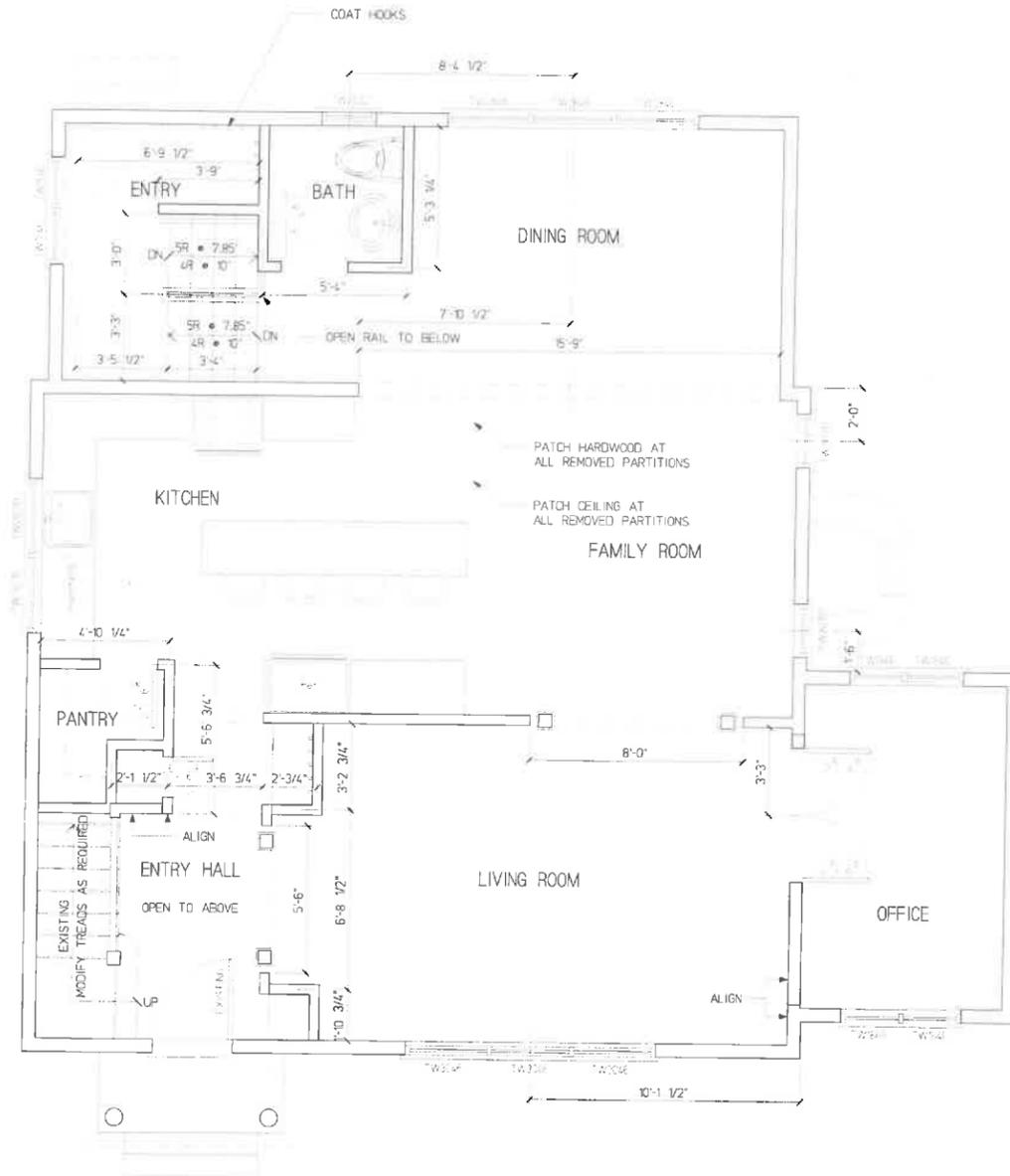
Residential Addition for  
Ryan & Cintia Casillo  
44 Palfrey Road, Belmont, MA

**SPECIFICATIONS**





**Basement Floor Plan**  
 BASEMENT FLOOR ELEVATION = 93'-0"  
 1012 GROSS SQ. FT.



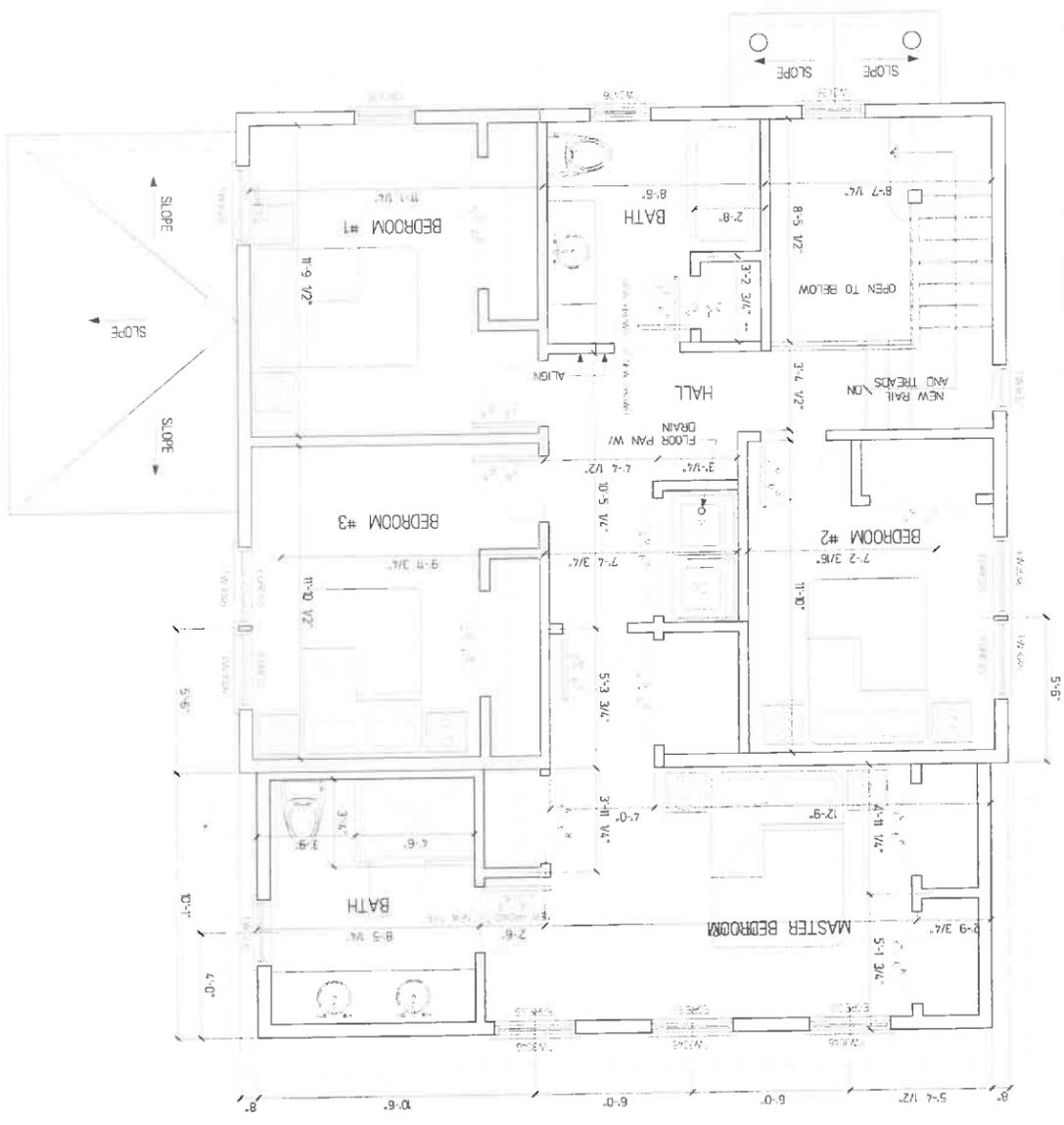
**First Floor Plan**  
 FIRST FLOOR ELEVATION = 101'-0"  
 1118 SQ. FT.



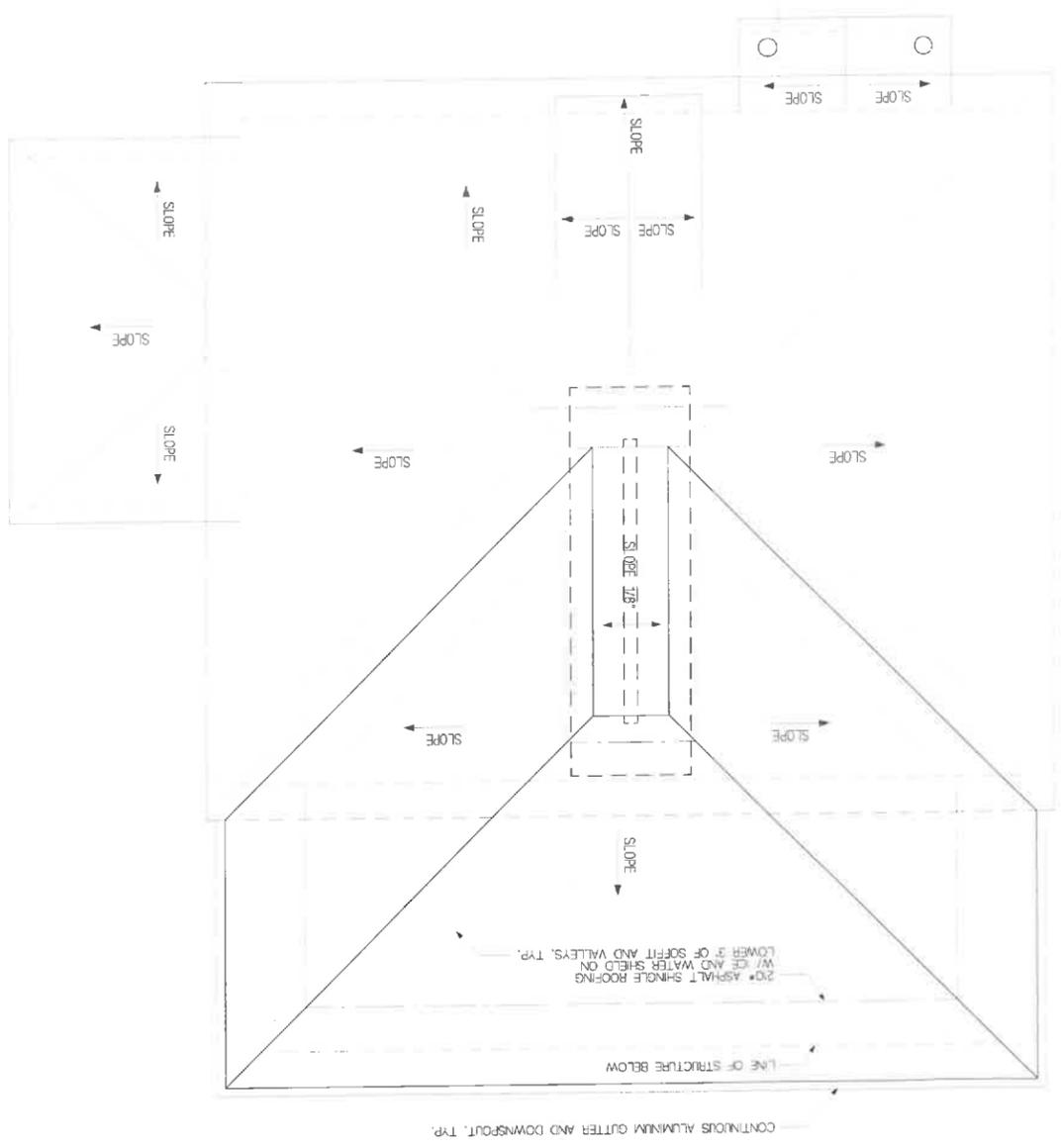
Residential Addition for  
 Ryan & Cintia Casillo  
 44 Palfrey Road, Belmont, MA

**BASEMENT / FIRST FLOOR PLANS**

**A1**



**Second Floor Plan**  
 SECOND FLOOR ELEVATION = 10'-3 1/4"  
 1012 GROSS SQ. FT.



**Roof Plan**



SCALE: 1/4" = 1'-0"

ISSUED FOR PERMIT - MAY 3, 2019

**A2**

**SECOND FLOOR / ROOF PLANS**

Residential Addition for  
 Ryan & Cintia Casillo  
 44 Palfrey Road, Belmont, MA



**Bourque Design**  
 ARCHITECTURE & INTERIOR DESIGN  
 Ron Bourque, Architect  
 100 WOODS CIRCLE  
 BELMONT, MASSACHUSETTS 02458  
 TEL: 617-351-1111



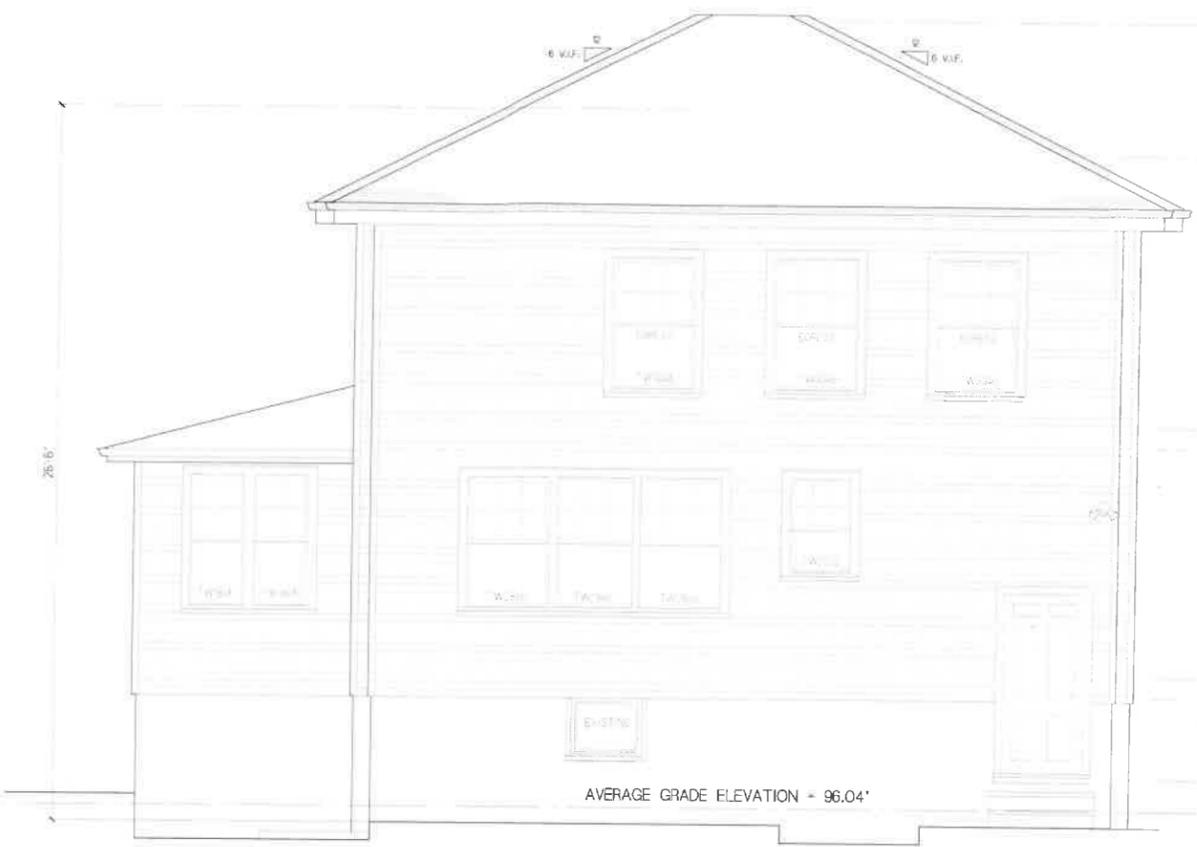
Residential Addition for  
 Ryan & Cintia Casillo  
 44 Palfrey Road, Belmont, MA

**FRONT / REAR ELEVATIONS**

**A3**

NOT TO SCALE  
 SEE PLAN SHEET FOR DIMENSIONS  
 DIMENSIONS ARE IN FEET AND INCHES

- TOP OF RIDGE  
ELEV. = 127'-1"
- BUILDING HEIGHT  
ELEV. = 122'-2 1/2"
- ATTIC FLOOR  
ELEV. = 118'-4"
- SECOND FLOOR CEILING  
ELEV. = 117'-9 1/4"
- FINISHED SECOND FLOOR  
ELEV. = 110'-3 1/4"
- FIRST FLOOR CEILING  
ELEV. = 109'-0"
- FINISHED FIRST FLOOR  
ELEV. = 101'-0"
- FINISHED BASEMENT CEILING  
ELEV. = 99'-2 3/4"
- REAR ENTRY LANDING  
ELEV. = 96'-2 3/4"



REAR ELEVATION

- ATTIC FLOOR  
ELEV. = 118'-4"
- SECOND FLOOR CEILING  
ELEV. = 117'-9 1/4"
- FINISHED SECOND FLOOR  
ELEV. = 110'-3 1/4"
- FIRST FLOOR CEILING  
ELEV. = 109'-0"
- FINISHED FIRST FLOOR  
ELEV. = 101'-0"
- FINISHED BASEMENT CEILING  
ELEV. = 99'-2 3/4"



FRONT ELEVATION



ISSUED FOR PERMIT - MAY 3, 2019

SCALE: 1/4" = 1'-0"

PROFESSIONAL SEAL AND EXPIRATION DATE



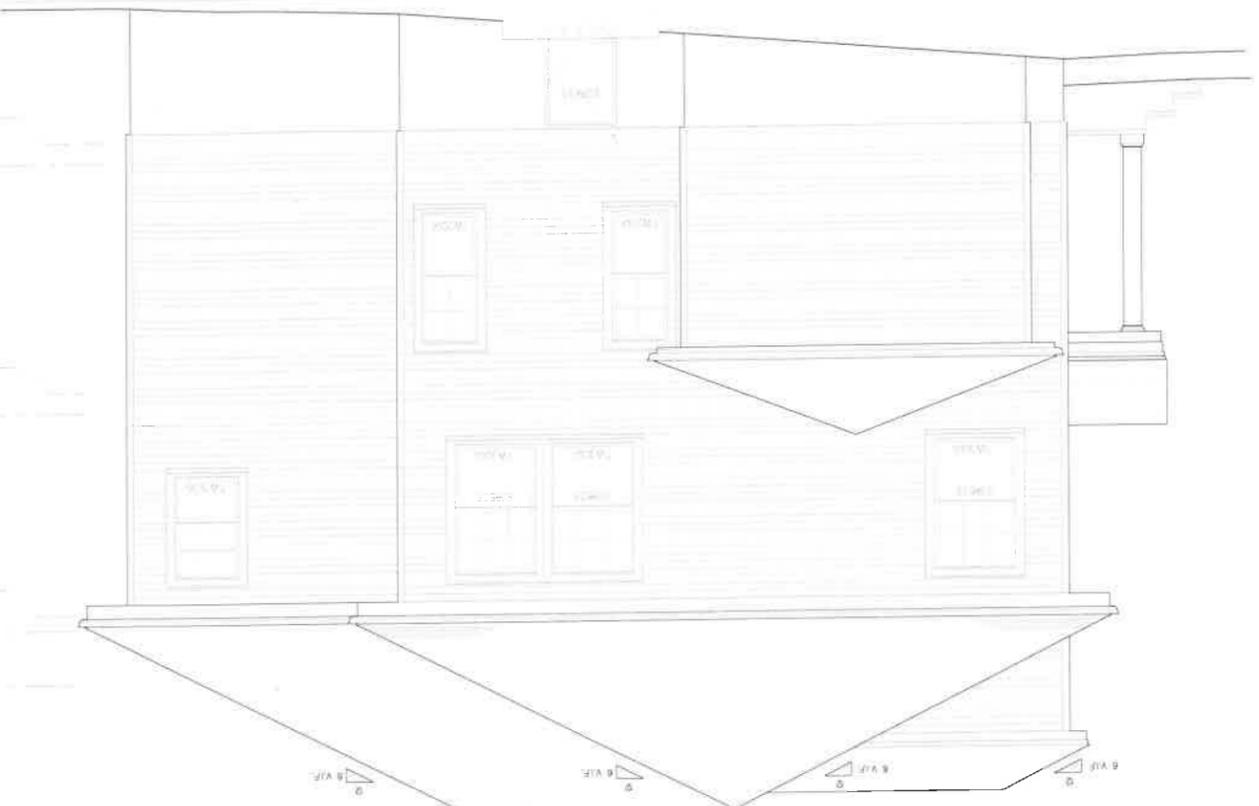
RIGHT ELEVATION

FINISHED FIRST FLOOR  
ELEV. = 101'-0"  
FINISHED BASEMENT CEILING  
ELEV. = 99'-2 3/4"

FINISHED SECOND FLOOR  
ELEV. = 110'-3 1/4"  
FIRST FLOOR CEILING  
ELEV. = 109'-0"

BUILDING HEIGHT  
ELEV. = 122'-2 1/2"  
ATTIC FLOOR  
ELEV. = 118'-4"  
SECOND FLOOR CEILING  
ELEV. = 117'-9 1/4"

TOP OF RIDGE  
ELEV. = 127'-1"



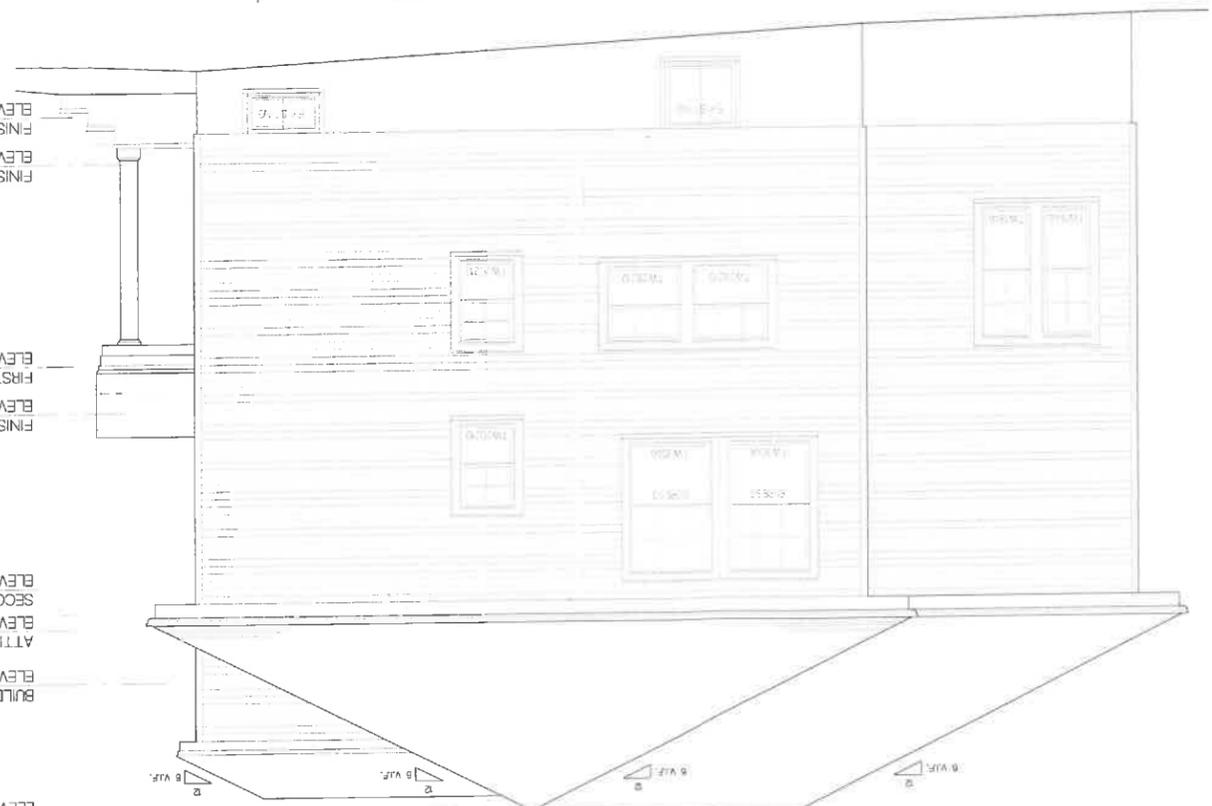
LEFT ELEVATION

FINISHED FIRST FLOOR  
ELEV. = 101'-0"  
FINISHED BASEMENT CEILING  
ELEV. = 99'-2 3/4"

FINISHED SECOND FLOOR  
ELEV. = 110'-3 1/4"  
FIRST FLOOR CEILING  
ELEV. = 109'-0"

BUILDING HEIGHT  
ELEV. = 122'-2 1/2"  
ATTIC FLOOR  
ELEV. = 118'-4"  
SECOND FLOOR CEILING  
ELEV. = 117'-9 1/4"

TOP OF RIDGE  
ELEV. = 127'-1"



A4

LEFT /  
RIGHT ELEVATIONS

Residential Addition for  
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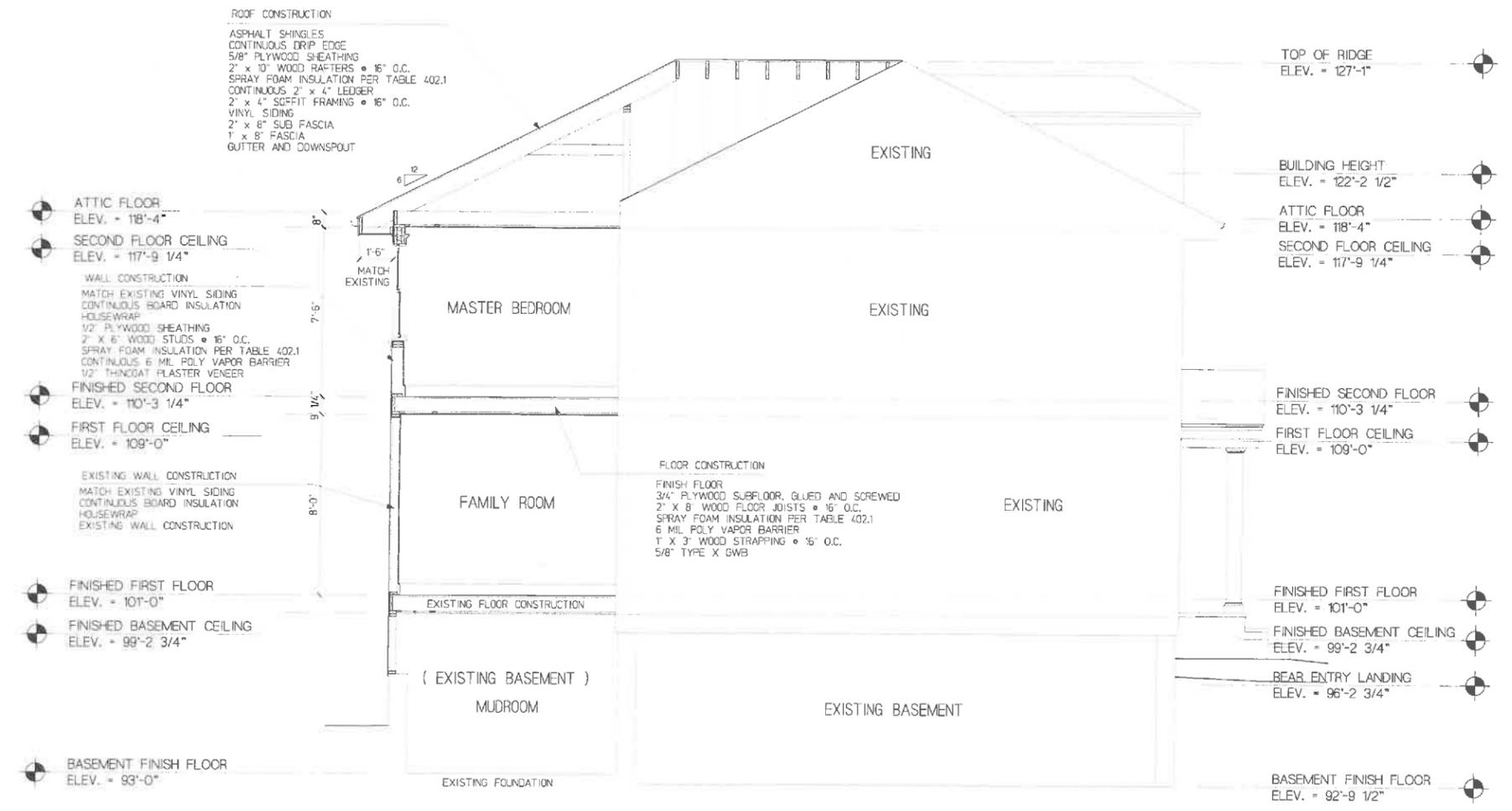


**Bourque Design**  
Architectural & Interior Design

Robert Bourque, Architect  
100 South Street, Suite 200  
Boston, MA 02111  
Tel: 617.552.1111  
www.bourquedesign.com

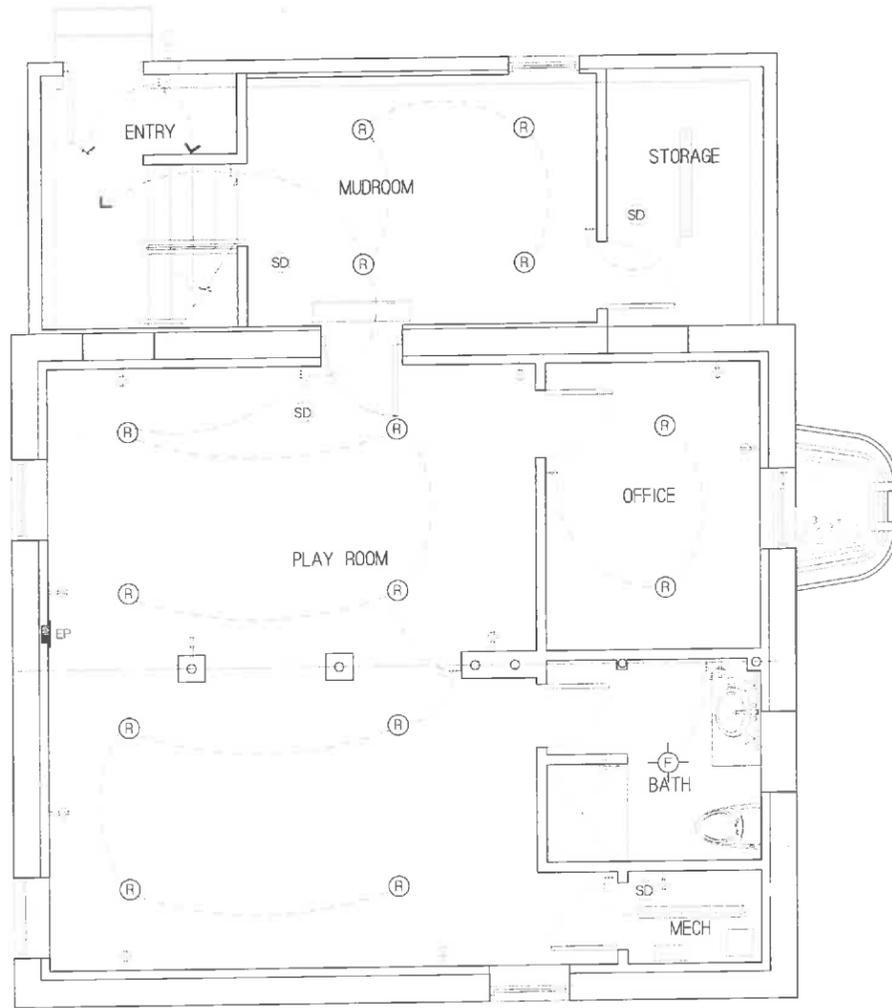




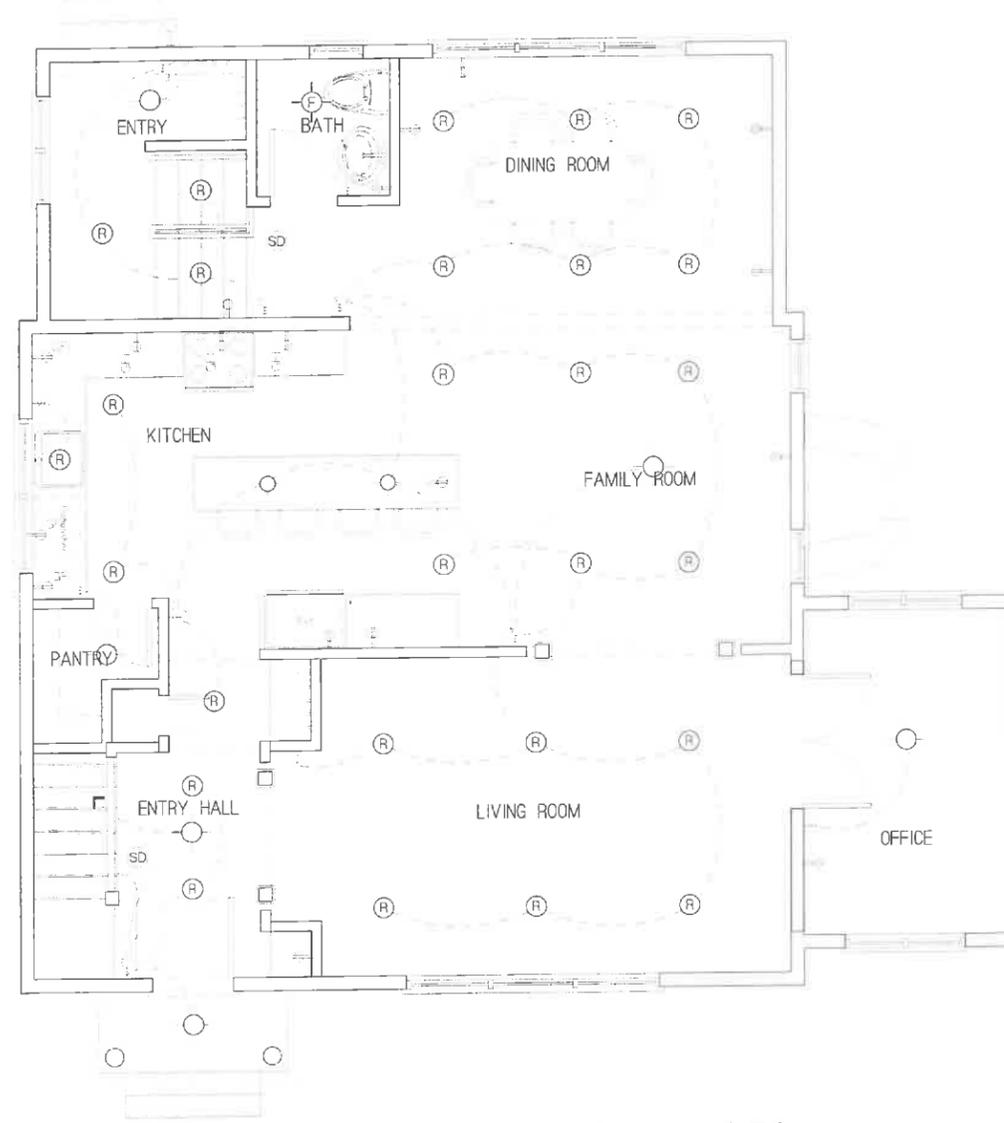


TYPICAL BUILDING SECTION





Basement Electrical Plan



First Floor Electrical Plan



ISSUED FOR PERMIT - MAY 3, 2019

SCALE: 1/4" = 1'-0"



Residential Addition for  
 Ryan & Cintia Casillo  
 44 Palfrey Road, Belmont, MA

**BASEMENT / FIRST FLR  
 ELECTRICAL PLANS**

**E1**

ISSUED FOR PERMIT - MAY 3, 2019



**NOTES:**

- 1) THIS PLAN IS NOT TO BE CONSIDERED AN ALTA/ACSM LAND TITLE SURVEY, NOR IS IT TO BE USED FOR RETRACEMENT OF PROPERTY LINES.
- 2) ELEVATIONS SHOWN HEREON REFER TO AN ASSUMED DATUM.
- 3) SITE IS NOT WITHIN A WETLAND ZONE

**ASSESSORS:**

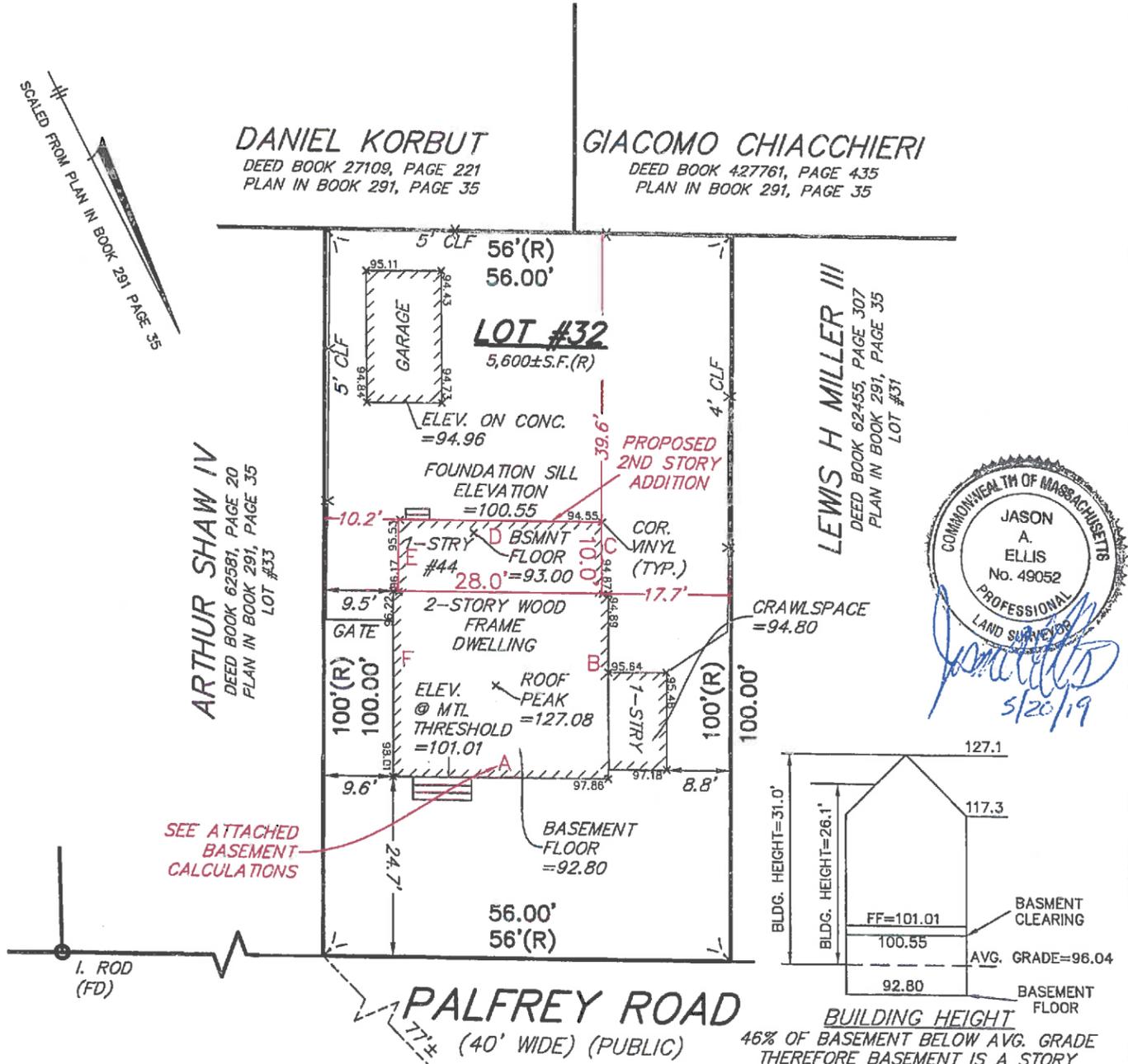
PARCEL ID: 12-144

**ZONING:**

SINGLE RESIDENCE C

**REFERENCES:**

DEED BOOK: 72320, PAGE 508  
 PLAN IN BOOK 291, PAGE 35



ZONING DISTRICT = SRC

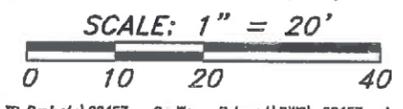
|                   | REQ. | EXIST. | PROP. |
|-------------------|------|--------|-------|
| MAX. LOT COVERAGE | 25%  | 24%    | 24%   |
| MIN. OPEN SPACE   | 50%  | 76%    | 76%   |
| FRONT SETBACK     | 25'  | 24.7'  | 24.7' |
| SIDE SETBACK      | 10'  | 8.8'   | 8.8'  |
| REAR SETBACK      | 30'  | 39.6'  | 39.6' |
| HEIGHT            | 30'  | 26.1'  | 26.1' |

**AVERAGE GRADE CALCULATION:**

$\frac{1056.40'}{11} = 96.04'$   
 (SUM OF GRADES @ BLDG) / (# OF GRADES) = (AVERAGE GRADE @ BLDG)

**PLOT PLAN OF LAND IN BELMONT, MA**  
 PREPARED FOR  
**RYAN CASILLO**

**HANCOCK**  
 Survey Associates, Inc.  
 121 EAST BERKELEY ST, BOSTON, MA. 02118  
 VOICE (617) 357-8145, FAX (617) 357-9495



CHK. BY:  
 JAE  
 DATE:  
 5/14/19  
 JOB NO.  
 22457