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TOWN CLERK
BELMONT, MA

CASE NO. 19-43

2019 NOV 15 AM 9: 34

NOTICE OF PUBLIC HEARING BY THE
BELMONT ZONING BOARD OF APPEALS

ON APPLICATION FOR ONE VARIANCE

Notice is hereby given that the Belmont Zoning Board of Appeals will hold a public hearing on Monday, December 2, 2019 at 7:00 PM in the Art Gallery, 3rd floor, Homer Municipal Building, 19 Moore St., to consider the application of Anthony Mastrangelo at 510 Pleasant Street located in a Single Residence C (SRC) Zoning District for One Variance under §1.5 of the Zoning Bylaw to construct a New Building. The placing of the new building at any location on the Newly Subdivided lot will not conform to section 4.3.1 of the By-Law, which states “Any lot to be used for a dwelling shall, between the street and the rear line of the dwelling, maintain a lot width measured between side lot lines no smaller than the required street frontage (75.0’) for the district in which the lot is located”.

ZONING BOARD OF APPEALS

AVERY DOOLEY & NOONE, LLP

ATTORNEYS AT LAW SINCE 1921

3 Brighton Street
Belmont, MA 02478
www.averydooley.com

(617) 489-5300 *main number*
(617) 993-3604 *direct dial*
(617) 489-0085 *fax*
jnoone@averydooley.com

October 25, 2019

BY HAND

Town of Belmont Zoning Board of Appeals
Office of Community Development
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

Re: Application for a Variance
510 Pleasant Street
Our File No. GJN-090419-12729

Dear Sir/Madam:

Enclosed please find an original and ten (10) copies of the following documents regarding the above-referenced Application for a Variance:

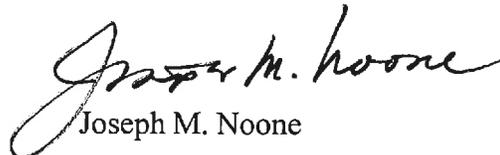
1. Application for a Variance;
2. Statement of Applicant;
3. Denial Letter dated October 2, 2019;
4. Plot Plan, including Zoning Compliance Check List;
5. Architectural Plans for Residential Dwelling;
6. GIS Map of surrounding parcels; and
7. Two checks totaling \$300.00 (\$150.00 for administrative expenses and \$150.00 for legal advertisements).

Kindly advise of the hearing date when it is scheduled.

Thank you for your time and consideration. Please do not hesitate to contact me with any questions or requests for additional information.

Very truly yours,

AVERY, DOOLEY & NOONE, LLP


Joseph M. Noone

JMN/lmt

Enclosures

cc: Anthony Mastrangelo



Town of Belmont
Zoning Board of Appeals

RECEIVED
TOWN CLERK
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2019 NOV 15 AM 9:34

APPLICATION FOR A VARIANCE

Date: October 25, 2019

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of the Massachusetts General Laws, Chapter 40A, Section 10, as amended, I/we, the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 510 Pleasant Street/Road, petition your Board to vary the terms of the Zoning By-Laws of the Town insofar as the same applies to the proposed erection of a single-family home in accordance with the plan attached hereto, on the ground that (submit a written statement addressing each of these criteria):

1. Owing to circumstances relating to soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the Zoning District in which it is located, a literal enforcement of the Provisions of this By-Law would involve substantial hardship, financial or otherwise, to the petitioner;
2. Desirable relief may be granted without substantial detriment to the public good, (i.e., surrounding neighborhood), and;
3. Without nullifying or substantially derogating from the intent and purpose of this By-Law.

The petitioner(s) seek permission to construct: (brief description and violation)

A single-family home that needs relief from compliance with By-law Section 4.3.1

because the width of the lot is less than the length of the lot frontage.

Signature of Petitioner _____

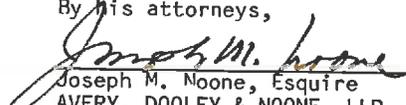
Print Name Anthony Mastrangelo

Address 500-510 Pleasant Street

Belmont, MA 02478

Daytime Telephone Number (617) 233-0139

By his attorneys,


Joseph M. Noone, Esquire
AVERY, DOOLEY & NOONE, LLP
3 Brighton Street
Belmont, MA 02478
(617) 489-5300

December 6, 2005

STATEMENT OF APPLICANT

Introduction:

The Applicant, Anthony Mastrangelo, is the owner of 510 Pleasant Street, which is a vacant lot of land located in the SR-C zoning district. Mr. Mastrangelo seeks to construct a residential dwelling on the lot, but needs a variance because the width does not comply with Section 4.3.1.

510 Pleasant Street was originally part of 500 Pleasant Street, which contains a historical house and garage. The original lot consisted of 20,000 square feet of land. In 2015, the new parcel, 510 Pleasant Street, was created.

510 Pleasant Street conforms to all of the dimensional requirements for the SR-C zoning district in which it is situated. The lot area is 9,005 square feet and the front lot line length is 76 feet. However, due to the irregular shape of the lot, the rear lot line is 52.31 feet, which is shorter than the front lot line. The irregular shape of the lot prevents compliance with the requirements of Section 4.3.1 because under no circumstances can a structure be built that complies with the rear set back requirement of 75 feet.

Mr. Mastrangelo respectfully seeks a variance from the requirement of Section 4.3.1 of the By-Law because the irregular shape of the parcel prevents the siting of a residential structure that conforms with this section of the By-Law and creates a hardship.

Argument:

The dispositive element of "statutory hardship" is usually present when a landowner cannot reasonably make use of his property for the purposes, or in the manner, allowed by the zoning ordinance. An applicant for a variance must show that the land's shape, alone or in combination with other features of the land, prohibits development consistent with the ordinance." Guiragossian v. Board of Appeals, 21 Mass. App. Ct. 111, 118, 485 N.E.2d 686 (1985). A lesser showing of hardship is required for dimensional variances than for use variances. See Marashlian, 421 Mass. at 725-726 (hardship requirement satisfied by showing it would be economically impractical and not economically feasible as a result of unique conditions affecting locus).

That a lot of land is "'non-buildable" under the terms of a zoning by-law is a factor which a board of appeals should consider in determining whether a hardship exists. Chater v. Board of Appeals of Milton, 348 Mass. 237, 244, 202 N.E.2d 805 (1964). Hardship is defined as "not being able *reasonably* to use the property for the purposes, or in the manner, allowed by the municipal zoning requirements." Healy, *Massachusetts Zoning Manual*, at 9-13 (1989).

In this instance, a strict application of the By-Law precludes development of the subject lot. Mr. Mastrangelo's lot cannot be improved by the proposed residence without a variance from the width requirement of 75 feet. Prohibiting the development of the Subject Lot due to a minor side yard setback violation under such circumstances would cause the Applicant to suffer a substantial hardship.

The granting of the variance does not substantially derogate from the neighborhood or intent of the By-Law. The most appropriate use of the lot is as a residential home site. This use is clearly consistent with uses in the District, which is for single-family residences. Allowing this project will not change the character of the district or endanger nearby properties.

Many of the surrounding properties also do not satisfy the requirements of Section 4.3.1. The lot is within the block bounded by Pleasant Street, Winn Street, Claflin Street and Munroe Street. There are 32 lots within this block. Only three lots of the 32 lots have the required area of 9,000 feet, frontage of 75 feet and width of 75 feet. Only four of the lots have the minimum lot area of 9,000 feet.

The proposed house is in harmony with the character of the neighborhood, and the granting of the variance will not derogate from the intent of the By-Law, as very few of the surrounding properties do comply with the By-Law requirements. The one variance for width will not have a negative impact on the abutting property, as the lot size satisfies the 9,000 foot required size for Single Residence C.

The Historic Commission has approved the proposed architectural plans and supports the application.

Many of the surrounding property owners support the application.

Mastrangelo Background:

Mr. Mastrangelo is a lifelong Belmont resident. He was raised in the dwelling located at 500 Pleasant Street. Mr. Mastrangelo, his father and brother run the family business of Mastrangelo Roofing and Coppersmiths. They specialize in restoring slate and copper roofs, along with historic homes.



OFFICE OF COMMUNITY DEVELOPMENT
TOWN OF BELMONT
19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2664
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

November 7, 2019

Anthony Mastrangelo
510 Pleasant Street
Belmont, MA 02478

RE: Denial to Construct a New Building

Dear Mr. Mastrangelo,

The Office of Community Development is in receipt of your building permit application for your proposal to construct a new dwelling at 510 Pleasant Street located in a Single Residence C Zoning District.

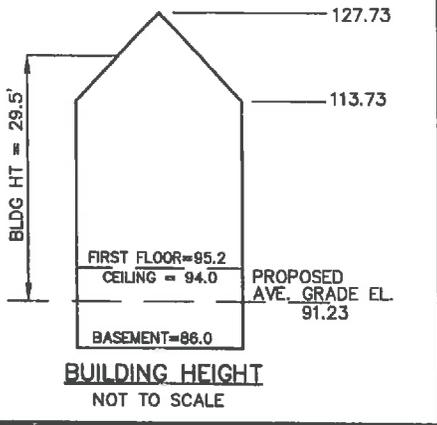
Your application has been denied because it does not comply with the current Town of Belmont Zoning Bylaws. More specifically, it is apparent that placing the new building at Any location on the newly subdivided lot will not conform to section 4.3.1 of the By-Law, which states "Any lot to be used for a dwelling shall, between the street and the the rear line of the dwelling, maintain a lot width measured between side lot lines no smaller than the required street frontage for the district in which the lot is located".

You may request one (1) Variance from the Zoning Board of Appeals to construct a dwelling on this lot, considering all other dimensional requirements will be satisfied with the new application. If you choose this option, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant Director, at (617) 993-2650 in order to begin the process.

Sincerely,

Glenn R. Clancy, P.E.
Inspector of Buildings

PLEASANT STREET



62.3% OF BASEMENT UNDERGROUND THEREFOR BASEMENT IS NOT A STORY

92.3 - PROPOSED GRADE



LOT 1

LOT B

LOT B

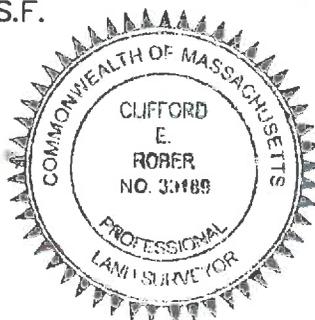
LOT A
9,005± S.F.

LOT A & PART LOT C

THE PROPERTY IS NOT LOCATED WITHIN WETLANDS AS SHOWN ON THE TOWN OF BELMONT WETLANDS ATLAS.

ZONING DISTRICT:	SC (SINGLE RESIDENCE C)	REQ.	EXISTING	PROP.
FRONT SETBACK:	25'	—	25.1'	25.1'
SIDE SETBACK:	10'	—	10.1'	10.1'
REAR SETBACK:	30'	—	40.6'	40.6'
MAXIMUM LOT COVERAGE:	25%	—	24.8%	24.8%
MINIMUM OPEN SPACE:	50%	—	56.7%	56.7%
LOT FRONTAGE:	76.00'			

TOTAL LOT AREA: 9,005± S.F.



CLIFFORD E. ROBER, PLS

DATE

12/22/16

OWNER: ANTHONY & BRONWYN MASTRANGELO
17529/131
ASSESSORS MAP 43 - PART PARCEL 13

PROPOSED PLOT PLAN
#510 PLEASANT STREET
IN
BELMONT, MA
(MIDDLESEX COUNTY)

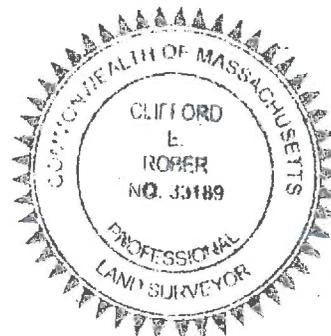
SCALE: 1" = 20' DATE: 11/28/2016



ROBER SURVEY
1072 MASSACHUSETTS AVENUE
ARLINGTON, MA 02476
(781) 648-5533
DWG. NO. 4640PP2.DWG

Zoning Compliance Check List

Properties Located within the SR-C Districts
(To be Completed by a Registered Land Surveyor)



Property Address: 510 PLEASANT ST

Surveyor Signature and Stamp: *Clifford E. Roper* Date: 12/20/16

<u>Per §4.2 of the Zoning By-Law</u>				
		REQUIRED	EXISTING	PROPOSED
Lot Area (sq. ft.)		9000	9,005	—
Lot Frontage (feet)		75	76.0	—
Lot Coverage (% of lot)		25%	—	24.8%
Open Space (% of lot)		50%	—	56.7%
Setbacks: (feet)	➤ Front ^(a)	25	—	25.1
	➤ Side/Side	10 10	— —	10.1 16.7
	➤ Rear	30	—	40.6
Building Height:	➤ Midpoint (feet)	36'	—	29.5
	➤ Ridge (feet)		—	36.5
	➤ Stories	2 1/2	—	2 1/2
1/2 Story (feet) (Per §1.4)	➤ Perimeter (50%)			
	➤ Area (60%)			
	➤ Length (75%)			
HVAC:	Prohibited in Front Yard and Side and Rear Setbacks			

(a) Front setback is equal to the average front setbacks of the abutting properties on either side.

SUBMIT CALCULATIONS for all of the requirements listed above on a separate piece of paper(s) to verify how they were calculated

R 4640

Segment	Segment From Existing Grade	Segment From New Grade	Segment To Existing Grade	Segment To New Grade	Segment Length	Avg Existing	Avg New	Difference
G	93.8	92.5	87.57	91.3	52	4715.62	4778.8	63.18
H	87.57	91.3	86.84	91.4	15	1336.8	1370.25	33.45
I	86.84	91.4	85.57	91.4	21	1858.185	1919.4	61.22
J	85.57	87.3	86.75	87.3	20	1740.5	1746	5.50
K	86.75	87.3	87.8	91.5	21	1832.775	1877.4	44.63
L	87.8	91.5	94	92.3	52	4726.8	4778.8	52.00
M	94	92.3	93.8	92.5	35	3286.5	3234	-52.50
					216	19497.18	19704.65	207.47

Ceiling Height:	8
Basement Floor Elevation	86
Ceiling Elevation	94
Perimeter Total Length	216.00
Total Perimeter Square Foot	1728.00
Average Existing Grade	90.26
New Average Grade	91.23
Difference in Grade in feet	0.96

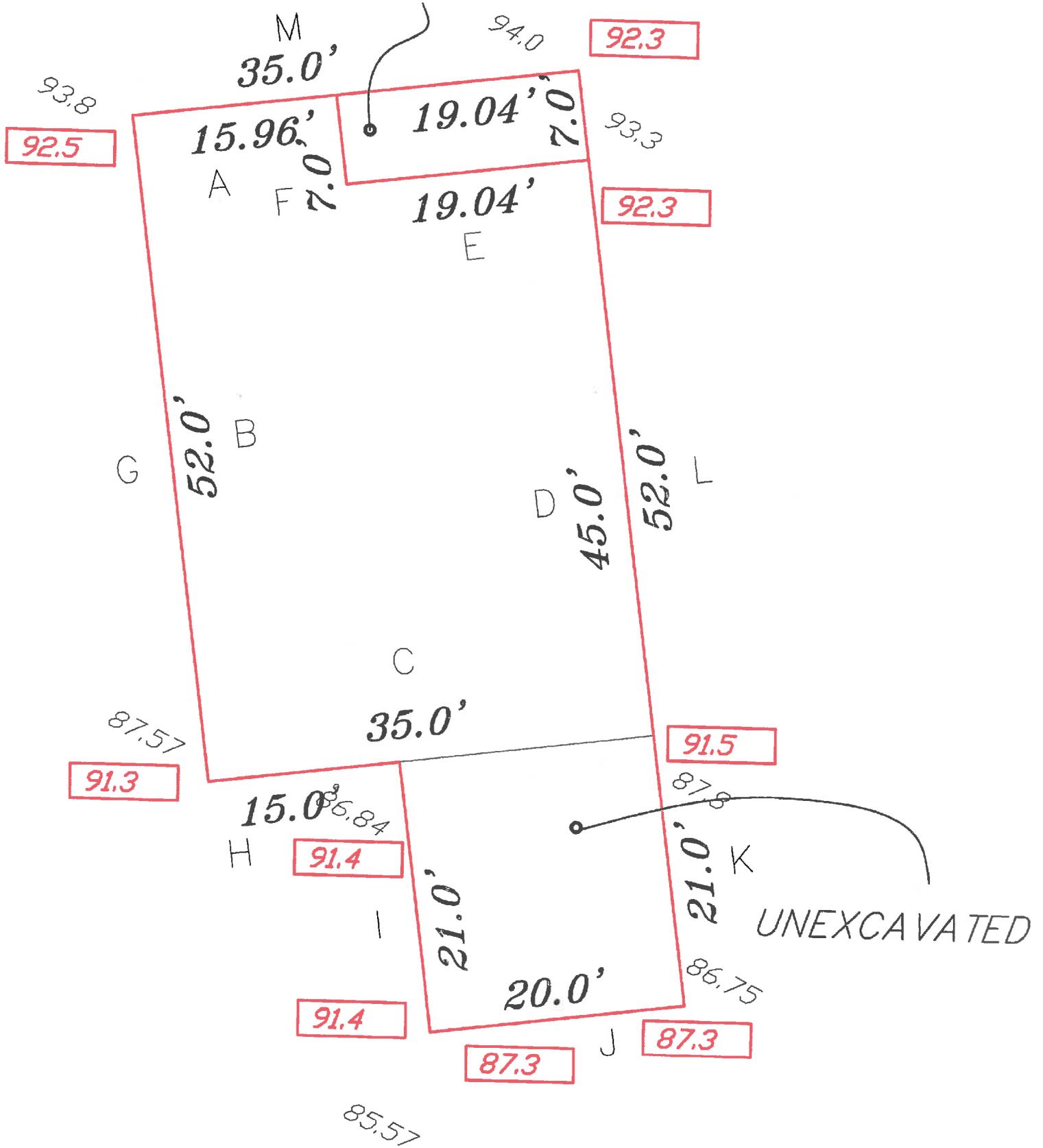
% Covered using Avg Grade 65.32%

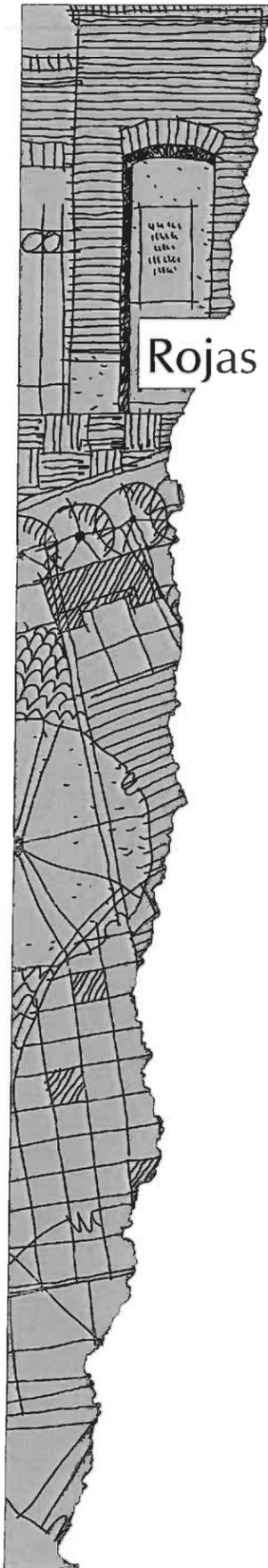
Segment	Ceiling Elevation	Elevation From	Elevation To	Length	Ceiling Height	Square Footage	Exposed Square Footage	% Covered
A	94	92.4	92.5	15.96	8	127.68	24.74	80.63%
B	94	92.5	91.3	52.00	8	416.00	109.20	73.75%
C	94	91.3	91.5	35.00	8	280.00	91.00	67.50%
D	94	91.5	92.3	45.00	8	360.00	94.50	73.75%
E	94	92.3	92.4	19.04	8	152.32	191.10	0.00%
F	94	92.4	92.4	7.00	8	48.50	11.20	76.91%
	94			174.00	8	1384.50	521.74	62.32%

Ceiling Height:	8	<- enter
Basement Floor Elevation	86	<- enter
Ceiling Elevation	94	
Perimeter Total Length	174.00	
Total Perimeter Square Foot	1384.50	
Exposed Square Footage	521.74	
% Covered	62.32%	<- result

North	South	East	West
0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00

UNEXCAVATED





510 PLEASANT STREET

BELMONT, MA 02478

NEW RESIDENCE

PARCEL : 43-13

PERMIT SET
12/20/2016

SHEET LIST

SHEET NUMBER	SHEET NAME
	ARCHITECTURAL
	COVER SHEET
A-01	PROJECT DESCRIPTION, SPECIFICATIONS & GENERAL CONDITIONS
L-01	LAYOUT & MATERIAL PLAN
A-02	FIRST FLOOR PLAN
A-03	SECOND FLOOR PLAN
A-04	ATTIC FLOOR PLAN
A-04.1	ATTIC FLOOR PLAN - 2½ STORY CALCULATION
A-05	BASEMENT PLAN
A-06	ROOF PLAN
A-07	NORTH ELEVATION - FRONT (PLEASANT STREET)
A-08	EAST ELEVATION - SIDE
A-09	SOUTH ELEVATION - REAR
A-10	WEST ELEVATION - SIDE
A-11	SECTION - 'A'
A-12	SECTION - 'B'
A-13	SECTION - 'C'
A-14	SECTION - 'D'
A-15	DETAIL - 'A'
A-16	DETAIL - 'B'
A-17	DETAIL - 'C'
A-18	INTERIOR ELEVATIONS
A-19	DOOR SCHEDULE
A-20	WINDOW SCHEDULE
	CIVIL
C-00	EXISTING CONDITIONS PLAN
C-01	DRAINAGE & GRADING PLAN
	STRUCTURAL
S-00	GENERAL NOTES & DETAILS
S-01	FOUNDATION PLAN
S-02	FIRST FLOOR FRAMING
S-03	SECOND FLOOR FRAMING
S-04	ATTIC FLOOR FRAMING
S-05	ATTIC FLOOR CEILING FRAMING
S-06	ROOF FRAMING

Surveyor

Rober Survey

1072A Massachusetts Ave
Arlington, MA 02476

(781) 648-5533

Civil Engineer

Gala Simon
Associates Inc.

394 Lowell Road, Suite 18
Lexington, MA 02420

(781) 676-2962

Structural Engineer

Fergal Brennock, PE

71 Lowell Road
Watertown, MA 02472

(617) 828-0376

Architecture | BIM | Interior Design |
Landscape Architecture

Rojas Design, Inc.

1500 Soldiers Field Road
Brighton, MA 02135-1105

(617) 720-4100
www.rojasdesigninc.com

RD 2797

Owner

ANTHONY
MASTRANGELO

500 Pleasant Street
Belmont, MA 02478

(617) 233-0139

PROJECT DESCRIPTION:

THIS ARCHITECTURAL TECHNICAL SUBMITTAL IS FOR NEW CONSTRUCTION ON A NEW LOT.

ON THE FIRST FLOOR, LIVING, DINING, KITCHEN, FAMILY, STUDY, AND HALF BATHROOM WILL BE PROVIDED. ON THE SECOND FLOOR, MASTER BED AND BATHROOM, BEDROOM 2 & 3, PLAY ROOM, AND LAUNDRY WILL BE PROVIDED. ON THE ATTIC FLOOR, BEDROOM AND BATHROOM ARE INCLUDED. THE WORK AT THE EACH FLOOR WILL INCLUDE NEW WOOD FRAMING WORKS, INTERIOR AND EXTERIOR WALLS AND FINISHES. BASEMENT WILL BE PROVIDED BY CONC. SLAB FLOOR & FOUNDATION WALL AND FOOTING, AND RETAINING WALLS ARE PROVIDED AS REQUIRED.

THIS TECHNICAL SUBMITTAL IS FOR THE ARCHITECTURAL PORTION OF THE PROJECT ONLY. OTHER TECHNICAL SUBMITTALS, AS REQUIRED, INCLUDING BUT NOT LIMITED TO STRUCTURAL DETAILS, CONCRETE DESIGN STRENGTH AND REINFORCING AND MEPPF DESIGN TO TIE INTO NEW SYSTEMS TO BE PROVIDED AND COORDINATED BY THE GENERAL CONTRACTOR.

CODE NARRATIVE & ZONING:

USE GROUP: R3
ZONING DISTRICT: SRC (SINGLE RESIDENCE C)
CONSTRUCTION TYPE: 5B UNPROTECTED

CLIMATE ZONE: 5A PER N1101.2

AREA CALCULATIONS:

LOT SIZE: 9,005 SF
PROPOSED LOT COVERAGE: 24.8% (2,233.2 SF) < 25%
THEREFORE WORK TO COMPLY WITH REQUIREMENTS OF AJ401, AJ501 AND AJ601

THE PROJECT WILL COMPLY WITH ALL APPLICABLE CODES, REGULATIONS AND REQUIREMENTS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

THE MASSACHUSETTS RESIDENTIAL CODE 8 TH EDITION, PARTIALLY COMPRISED OF THE INTERNATIONAL RESIDENTIAL CODE 2009 (IRC) AND A SEPARATE PACKAGE OF MASSACHUSETTS AMENDMENTS TO THE IRC.

NOTE:

PER R310.1 EMERGENCY ESCAPE AND RESCUE REQUIRED:
ALL BEDROOMS WILL BE PROVIDED WITH OPERABLE EMERGENCY ESCAPE AND RESCUE OPENINGS. DOUBLE HUNG WINDOWS WITH A NET CLEAR OPENING OF NOT LESS THAN 3.3 SF (PER R310.1.1) WILL BE PROVIDED. DUE TO THE MINIMAL WORK OCCURRING IN THE BASEMENT NO WORK ON THE BASEMENT WINDOWS WILL BE DONE.

PER R311.1 AND R311.2 MEANS OF EGRESS:
TWO COMPLIANT MEANS OF EGRESS EXIST ON THE FIRST FLOOR OF THE HOUSE INCLUDING THE HINGED FRONT DOOR AND THE SLIDING DOOR TO AN EXTERIOR DECK WITH STAIRS THE REAR YARD.

PER R314.3.1 SMOKE ALARMS
ENTIRE HOUSE WILL BE EQUIPPED WITH SMOKE ALARMS LOCATED AS REQUIRED FOR A NEW DWELLING INCLUDING BUT NOT LIMITED TO THE BASEMENT

PER R315.2 CARBON MONOXIDE ALARMS
ENTIRE HOUSE WILL BE EQUIPPED WITH CARBON MONOXIDE ALARMS LOCATED AS REQUIRED FOR A NEW DWELLING

PER R806.4 UNVENTED ATTIC ASSEMBLIES
ATTIC AND ROOF ASSEMBLIES COMPLY WITH REQUIREMENTS OF THIS SECTION THEREFORE VENTING WILL NOT BE PROVIDED

N1101.2 ENERGY COMPLIANCE
ALL WORK WILL COMPLY WITH REQUIREMENTS OF METHOD 1A

PER TABLE N1102.1 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT
FENESTRATION U-FACTOR: 0.35
CEILING R-VALUE: 38
WOOD FRAME WALL R-VALUE: 10

TOWN OF BELMONT ZONING BY-LAWS REQUIRED SETBACK:

MIN. FRONT YARD SETBACK: 25' < 25.3'
MIN. SIDE YARD SETBACK : 10' = 10'
MIN. REAR YARD SETBACK : 30' < 40.6'
MAX. BUILDING HEIGHT (FEET): 36'-0" MEAN ROOF LEVEL AT MEAN GRADE
ACTUAL BUILDING HEIGHT (FEET): 29'-1/2" MEAN ROOF LEVEL AT MEAN GRADE

MAX. BUILDING HEIGHT (STORY): 2 1/2 STORY
ACTUAL BUILDING HEIGHT (STORY): 2 1/2 STORY
ACTUAL OPEN SPACE 95 OF LOT): 50% < 56.7%
PARKING SPACES REQUIRED (2 PER DWELLING WITH MORE THAN 2 BEDROOMS): 2 SPACES
PROPOSED PARKING SPACES: 2 SPACES

SPECIFICATIONS:

DIVISION 01: GENERAL REQUIREMENTS

PROVIDE SUBMITTALS FOR PRODUCTS AND MATERIALS AS REQUIRED BY ARCHITECT

DIVISION 02: SITE CONSTRUCTION

PROTECT SITE FROM DAMAGE. REPAIR DAMAGE AT NO ADDITIONAL EXPENSE TO OWNER

PROVIDE SELECTIVE DEMOLITION AS REQUIRED TO COMPLETE WORK

DIVISION 03: CONCRETE

PROVIDE THICKENED SLAB OR FOOTING AS REQUIRED FOR NEW LINE OF BEARING, GC TO COORDINATE STRUCTURAL DESIGN

DIVISION 04: MASONRY

PROVIDE GRANITE COUNTERS FOR ALL COUNTERS INDICATED ON ARCHITECTURAL DRAWINGS. SUBMIT SAMPLES FOR ARCHITECT'S REVIEW PRIOR TO PROCUREMENT

DIVISION 05: METALS

NOT APPLICABLE

DIVISION 06: WOOD AND PLASTIC

CONSTRUCT MILLWORK SHELVING UNIT IN MASTER BED ROOM AND MILLWORK BENCH IN MASTER BATHROOM FROM PAINT GRADE PLYWOOD. EDGE BAND ALL EDGES THAT WILL BE EXPOSED TO VIEW. COORDINATE MILLWORK HARDWARE WITH ARCHITECT AND OWNER

PROVIDE SELECT PINE FOR ALL TRIM UNLESS NOTED OTHERWISE

EXPOSED COLLAR TIES, AS INDICATED, PROVIDE D-SELECT OR ARCHITECT'S APPROVED EQUAL

PROVIDE WOOD HANDRAIL AND GUARDS SUBMITTAL FOR ARCHITECT'S REVIEW PRIOR TO PROCUREMENT

PROVIDE FIREBLOCKING PER R302.11 FIREBLOCKING

DIVISION 07: THERMAL AND MOISTURE PROTECTION

PROVIDE 30 YEAR ARCHITECTURAL ASPHALT SHINGLES
INCLUDE ALL REQUIRED FLASHING AND TRIM

PROVIDE ALUMINUM GUTTERS AND RAIN LEADERS AT LOCATIONS SHOWN ON DRAWINGS

PROVIDE INSULATION PER N1102.1 AS FOLLOWS:
ROOF INSULATION, PROVIDE R-38
WALL INSULATION, PROVIDE R-24.5

IMPERMEABLE INSULATION, AS INDICATED ON DRAWINGS, PROVIDE POLYISOCYANURATE OR ARCHITECT APPROVED EQUAL

PERMEABLE INSULATION, AS INDICATED ON DRAWINGS, PROVIDE BATT INSULATION OR ARCHITECT APPROVED EQUALIZE E

PROVIDE CLASS 1 OR 2 VAPOR BARRIER ON WINTER WARM SIDE OF EXTERIOR WALL PER R601.3

PROVIDE DRAINABLE HOUSE WRAP AS SHOWN ON ARCHITECTURAL DRAWINGS AND IN COMPLIANCE WITH ALL REQUIREMENTS OF THE BUILDING CODE INCLUDING PROPER PLACEMENT AT WINDOWS AND PENETRATIONS

SEAL BUILDING PER N1102.4 BUILDING THERMAL ENVELOPE AND PER TABLE N1102.4.2 AIR BARRIER AND INSULATION INSPECTION, PROVIDE INSPECTION AS REQUIRED BY AGENCY HAVING JURISDICTION

FOR ANY RECESSED LIGHTING IN CEILINGS THAT ARE PART OF THE BUILDING THERMAL ENVELOPE PROVIDE THERMAL INSULATION AND SEALANT PER N1102.4.5

DIVISION 08: DOORS AND WINDOWS

PROVIDE HOME DEPOT BUILDER'S CHOICE HDCP6620 CLEAR PINE 6 PANEL INTERIOR DOORS PER ARCHITECTURAL DRAWINGS AND DOOR SCHEDULE OR ARCHITECT APPROVED SUBSTITUTION

PROVIDE BY-PASSING CLOSET DOORS AS INDICATED TO MATCH INTERIOR DOORS, SUBMIT FOR ARCHITECT'S REVIEW

PROVIDE ANDERSEN 400-SERIES WINDOWS PER ARCHITECTURAL DRAWINGS AND WINDOW SCHEDULE OR ARCHITECT APPROVED SUBSTITUTION. WINDOWS AND WINDOW INSTALLATION TO COMPLY WITH REQUIREMENTS OF N1102: BUILDING THERMAL ENVELOPE

DIVISION 09: FINISHES
ALL FINISHES INDICATED AS GWB TO BE 1/2" BLUE-BOARD WITH VENEER PLASTER FINISH INCLUDING REINFORCING BASE COAT AT ALL JOINTS

DIVISION 10: SPECIALTIES

DIVISION 11: EQUIPMENT

PROVIDE KITCHEN APPLIANCES PER ARCHITECTURAL DRAWINGS, COORDINATE PRODUCT MODEL WITH OWNER

DIVISION 12: FURNISHINGS

DIVISION 13: SPECIAL CONSTRUCTION

PROVIDE INTERCONNECTED SMOKE ALARMS PER R314. PER R314.3.1 PROVIDE SMOKE ALARMS AS REQUIRED FOR ENTIRE HOUSE

PROVIDE CARBON MONOXIDE ALARMS PER R315. PER R315.2 PROVIDE CARBON MONOXIDE ALARMS AS REQUIRED FOR ENTIRE HOUSE

DIVISION 14: CONVEYING SYSTEMS

DIVISION 15: MECHANICAL

PER N1103.1 PROVIDE PROGRAMMABLE THERMOSTAT

PER 1103.2.1 INSULATE ATTIC DUCTS AS INDICATED

PER 1103.2.2 SEAL DUCTS AS INDICATED

PER 1103.3 INSULATE HEATING PIPES AS INDICATED

PER 1104.1 PROVIDE ENERGY EFFICIENT LAMPS AS INDICATED

BATHTUB-PROVIDE KOHLER UNDERSCORE (K-1137-0) 72" X 42" DROP-IN BATH WITH CENTER DRAIN OR ARCHITECT APPROVED EQUIVALENT

SECOND FLOOR AIR CONDITIONING TO BE PROVIDED AS SEPARATE ZONE. LOCATE EQUIPMENT IN ATTIC

DIVISION 16: ELECTRICAL

GC TO REVIEW COMPLIANCE WITH AJ501.5 INCLUDING REVIEW OF SERVICE REQUIREMENTS PER AJ501.5.2

GENERAL CONDITIONS:

THE GENERAL CONTRACTOR (GC) IS RESPONSIBLE FOR ALL WORK (TO BE REFERRED TO AS THE WORK, UNLESS OTHERWISE NOTED), INDICATED ON THE CONSTRUCTION DOCUMENTS.

CONSTRUCTION DOCUMENTS COMPRISE ALL DRAWINGS INDICATED ON THE DRAWING LIST FOUND ON THE COVER SHEET.

THE GC IS RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING PERMITS

IT IS THE OBLIGATION OF THE GC TO MEET ALL REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE 780 CMR, 8TH EDITION, THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD 521 CMR AND ALL OTHER APPLICABLE CODES AND REGULATIONS

IT IS THE OBLIGATION OF THE GC TO MEET THE REQUIREMENTS OF ALL REGULATIONS, PERFORMANCE AND SAFETY STANDARDS. ANY CONFLICTS FOUND BETWEEN THESE REGULATIONS AND THESE DOCUMENTS ARE TO BE IMMEDIATELY BROUGHT TO THE ARCHITECT'S ATTENTION.

THE GC IS REQUIRED TO CARRY AND MAINTAIN LIABILITY INSURANCE AND OTHER INSURANCE AS REQUIRED BY IN AMOUNTS AS REQUIRED BY LAW. GC IS REQUIRED TO CARRY WORKMEN'S COMPENSATION OR SIMILAR INSURANCE IN FORM AND AMOUNTS REQUIRED BY LAW, REGULATIONS AND REQUIREMENTS.

UPON AWARD OF CONTRACT, GC TO PROVIDE INSURANCE CERTIFICATES TO OWNER AND ARCHITECT.

GC TO COORDINATE ADDITIONAL INSURANCE AMOUNTS WITH OWNER.

GC IS RESPONSIBLE FOR PROVIDING ALL LABOR, MATERIALS, TRANSPORTATION AND EQUIPMENT REQUIRED TO EXECUTE THE WORK.

GC TO PROVIDE ALL REQUIRED PERFORMANCE STANDARD TESTING.

GC TO PROVIDE ALL FIRE STOPPING AND SEALANTS AS REQUIRED BY APPLICABLE CODES INCLUDING BUILDING THERMAL ENVELOPE SEALANT IN COMPLIANCE WITH ENERGY CODES.

GC TO PROVIDE ALL REQUIRED ENGINEERING DESIGN, SUBMITTALS AND COORDINATION FOR MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION (MEPPF) WORK FOR BOTH NEW AND EXISTING SYSTEMS EFFECTED BY THIS WORK.

THE WORK IS TO BE PERFORMED IN A WORKMANLIKE MANNER AS REQUIRED TO MEET INDUSTRY WORKMANSHIP AND QUALITY STANDARDS. THE ARCHITECT (ROJAS DESIGN, INC.) SHALL BE THE SOLE ARBITER OF WORKMANSHIP AND QUALITY OF CONSTRUCTION ISSUES.

GC SHALL FIELD VERIFY ALL EXISTING SITE CONDITIONS, BUILDING CONDITIONS, AND DIMENSIONS PRIOR TO COMMENCING WORK.

GC IS WHOLLY RESPONSIBLE FOR THE COORDINATION OF ALL DIMENSIONS HEREIN SPECIFIED WITH THE ACTUAL FIELD CONDITIONS. DIMENSIONS SHOWN ON THESE DRAWINGS ARE FINISHED FACE TO FINISHED FACE, UNLESS OTHERWISE NOTED. ANY DISCREPANCIES AND UNFORESEEN SITUATIONS, WHICH MAY ARISE DURING CONSTRUCTION, ARE TO BE IMMEDIATELY BROUGHT TO THE ARCHITECT'S ATTENTION, IN WRITING, PRIOR TO PROCEEDING WITH THE WORK.

THE GC IS RESPONSIBLE FOR CORRECTING, AT NO ADDITIONAL EXPENSE TO THE OWNER, ANY AND ALL DISCREPANCIES FOUND AFTER THE WORK IS PERFORMED.

THE GC IS RESPONSIBLE FOR INSTALLING ALL REQUIRED MATERIALS AND EQUIPMENT IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR BEST PRACTICES.

THE GC TO PROVIDE SUBMITTALS FOR ALL MATERIALS FOR ARCHITECT'S REVIEW FOR CONFORMANCE WITH PROJECT REQUIREMENTS. SHOP DRAWINGS, CUT SHEETS AND SAMPLES TO BE SUBMITTED IMMEDIATELY AFTER EXECUTION OF CONTRACT AND BEFORE ORDERING MATERIALS OR BEGINNING RELATED CONSTRUCTION ACTIVITIES. COMMENCEMENT OF WORK PRIOR TO SUBMITTAL REVIEW WILL BE AT GC'S RISK.

ALL MATERIALS SHALL BE DELIVERED TO THE JOB SITE IN MANUFACTURER'S ORIGINAL UNOPENED CONTAINERS WITH THE MANUFACTURER'S BRAND NAME CLEARLY MARKED.

THE GC SHALL PROVIDE OWNER WITH ALL EQUIPMENT MANUALS WARRANTIES AND OPERATING INSTRUCTIONS UPON FINAL ACCEPTANCE.

THE GC SHALL WARRANT ALL WORK, MATERIALS AND EQUIPMENT FOR A PERIOD OF ONE YEAR (IN ADDITION TO MANUFACTURER'S WARRANTIES) FROM DATE OF FINAL ACCEPTANCE BY ARCHITECT (ROJAS DESIGN, INC.).

FINAL ACCEPTANCE SHALL BE ISSUED SUBSEQUENT TO COMPLETION OF THE FINAL PUNCH LIST.

GC SHALL KEEP THE WORK AREA SECURED WHEN UNATTENDED FOR THE DURATION OF THE CONSTRUCTION PERIOD.

GC SHALL REMOVE TRASH AND DEBRIS FROM THE SITE DAILY. GC TO BE RESPONSIBLE FOR ARRANGING REMOVAL SERVICE AND SHALL BE COORDINATED WITH AND APPROVED BY THE OWNER.

GC IS RESPONSIBLE, THROUGHOUT THE PROJECT, FOR ARRANGING REMOVAL AND RECYCLING OF CONSTRUCTION AND DEMOLITION MATERIALS IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.

THE GC IS RESPONSIBLE FOR TEMPORARY POWER AS REQUIRED BY OWNER.

THE GC SHALL CONFIRM WITH THE OWNER FOR THE USE OF EXISTING TOILET FACILITIES. IF AVAILABLE FOR USE, THESE TOILET ROOMS MUST BE CLEANED DAILY. DO NOT DEPOSIT ANY CONSTRUCTION MATERIAL OR DEBRIS INCLUDING; CAULKING, PLASTER, PAINT OR SOLVENTS, INTO THE DRAINS.

ABBREVIATIONS

ACT	ACOUSTIC CEILING TILE
ADD	ADDENDUM
ADJ	ADJACENT
AFF	ABOVE FINISH FLOOR
ALT	ALTERNATE
ARCH	ARCHITECTURAL
AVG	AVERAGE
BLDG	BUILDING
BOT	BOTTOM
B/W	BETWEEN
CL	CENTER LINE
CLG	CEILING
CIP	CAST IN PLACE
CLR	CLEARANCE, CLEAR
COL	COLUMN
CONC	CONCRETE
CONST	CONSTRUCTION
CONT	CONTINUOUS
CPT	CARPET
CTR	CENTER
DEMO	DEMOLITION
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DR	DOOR
DWG	DRAWING
E	EAST
EL	ELEVATION
ELEC	ELECTRIC
ETR	EXISTING TO REMAIN
EQ	EQUAL
EQUIP	EQUIPMENT
EXT	EXTERIOR
FA	FIRE ALARM
FIN	FINISH
FIXT	FIXTURE
FLR	FLOOR
FLUOR	FLUORESCENT
FO	FACE OF
IV	FIELD VERIFY
GA	GAUGE
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GL	GLASS
GR	GRADE
GWB	GYPSTUM WALL BOARD
GYP	GYPSTUM
H/C	HANDICAPPED
HDR	HEADER

HIG	HINGED
HDWR	HARDWARE
HORIZ	HORIZONTAL
HVAC	HEATING/VENTILATION
INT	INTERIOR
MATL	MATERIAL
MAX	MAXIMUM
MECH	MECHANICAL
MFR	MANUFACTURER
MIN	MINIMUM
MTD	MOUNTED
MTL	METAL
N	NORTH
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIMENSION
PERIM	PERIMETER
PERP	PERPENDICULAR
PERP	PERPENDICULAR
PLY	PLYWOOD
PNT	PAINT
PR	PAIR
PTD	PAINTED
QTY	QUANTITY
REF	REFERENCE
REFL	REFLECTED
REQD	REQUIRED
RM	ROOM
S	SOUTH
SCHED	SCHEDULE
SECT	SECTION
SHT	SHEET
SIM	SIMILAR
SOG	SLAB ON GRADE
STD	STANDARD
STR	STORAGE
SYM	SYMMETRICAL
TBR	TO BE REMOVED
TO	TOP OF
TYP	TYPICAL
UNON	UNLESS OTHERWISE NOTED
VIF	VERIFY IN FIELD
W	WEST
W/	WITH
W/O	WITHOUT
WD	WOOD
WID	WIDTH
WIND	WINDOW

SYMBOL KEY		
WALL NEW	COMPONENT TO BE DEMOLISHED	WALL ETR
DETAIL REFERENCE	WINDOW TAG	WALL TYPE
LABEL	ELEVATION MARK	WORK POINT
SMOKE DETECTOR	CARBON MONOXIDE DETECTOR	HEAT DETECTOR

510 PLEASANT STREET
BELMONT, MA
02478

PARCEL 43-13

NEW RESIDENCE

No.	Revisions	Date

Job: RD2797
Date: 12/20/2016
Scale: AS NOTED
Drawn: SJB
Checked: SJB

PROJECT DESCRIPTION, SPECIFICATIONS & GENERAL CONDITIONS

Rojas Design, Inc.
Architecture
1500 Soldiers Field Road
Brighton
Interior Design
Massachusetts, 02135
Landscape Architecture
T - 671.720.4100

Rojas

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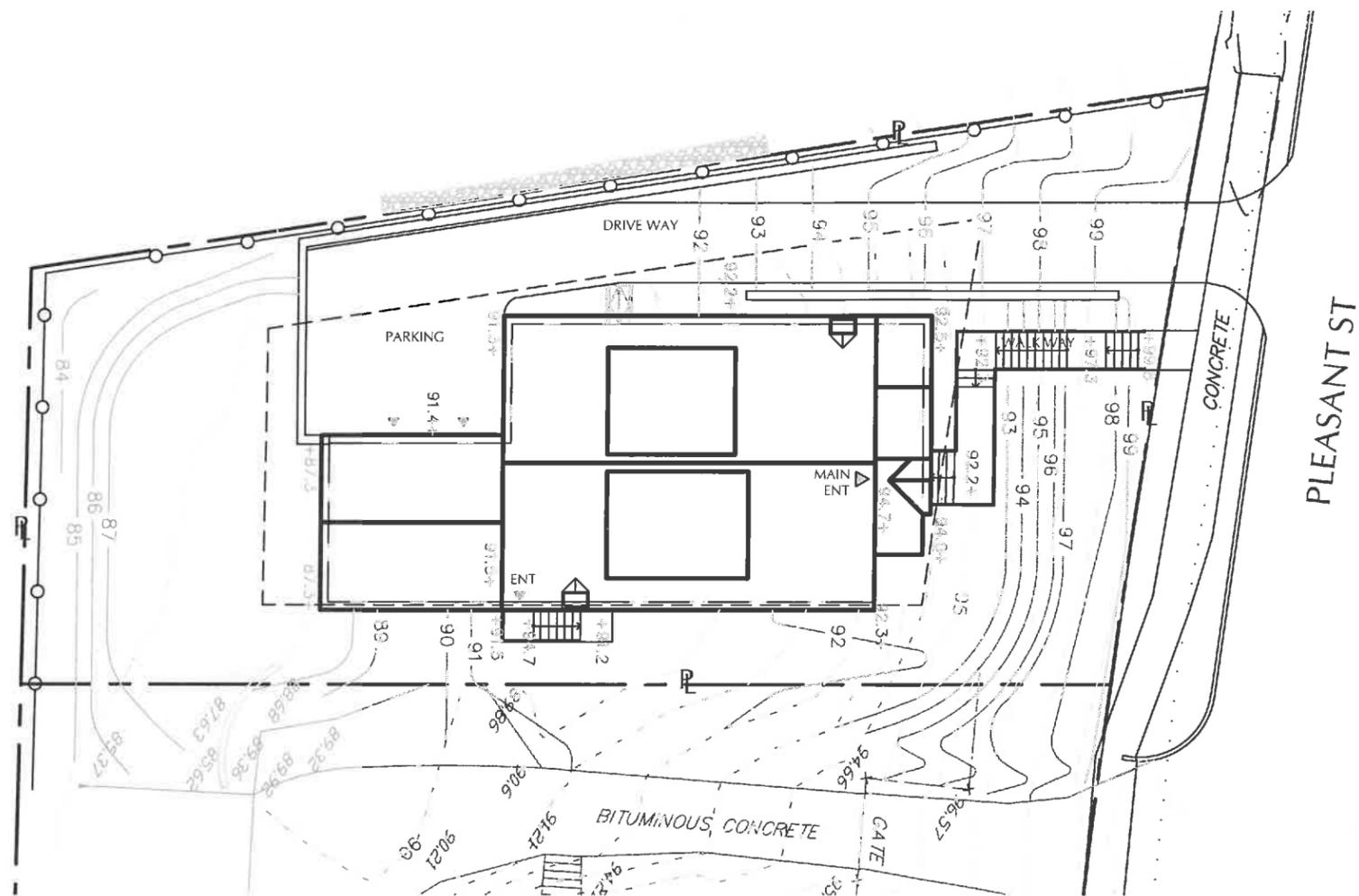
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A-01

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PLEASANT ST

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LAYOUT & MATERIAL PLAN

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1 LAYOUT & MATERIAL PLAN



SCALE: 1" = 20'



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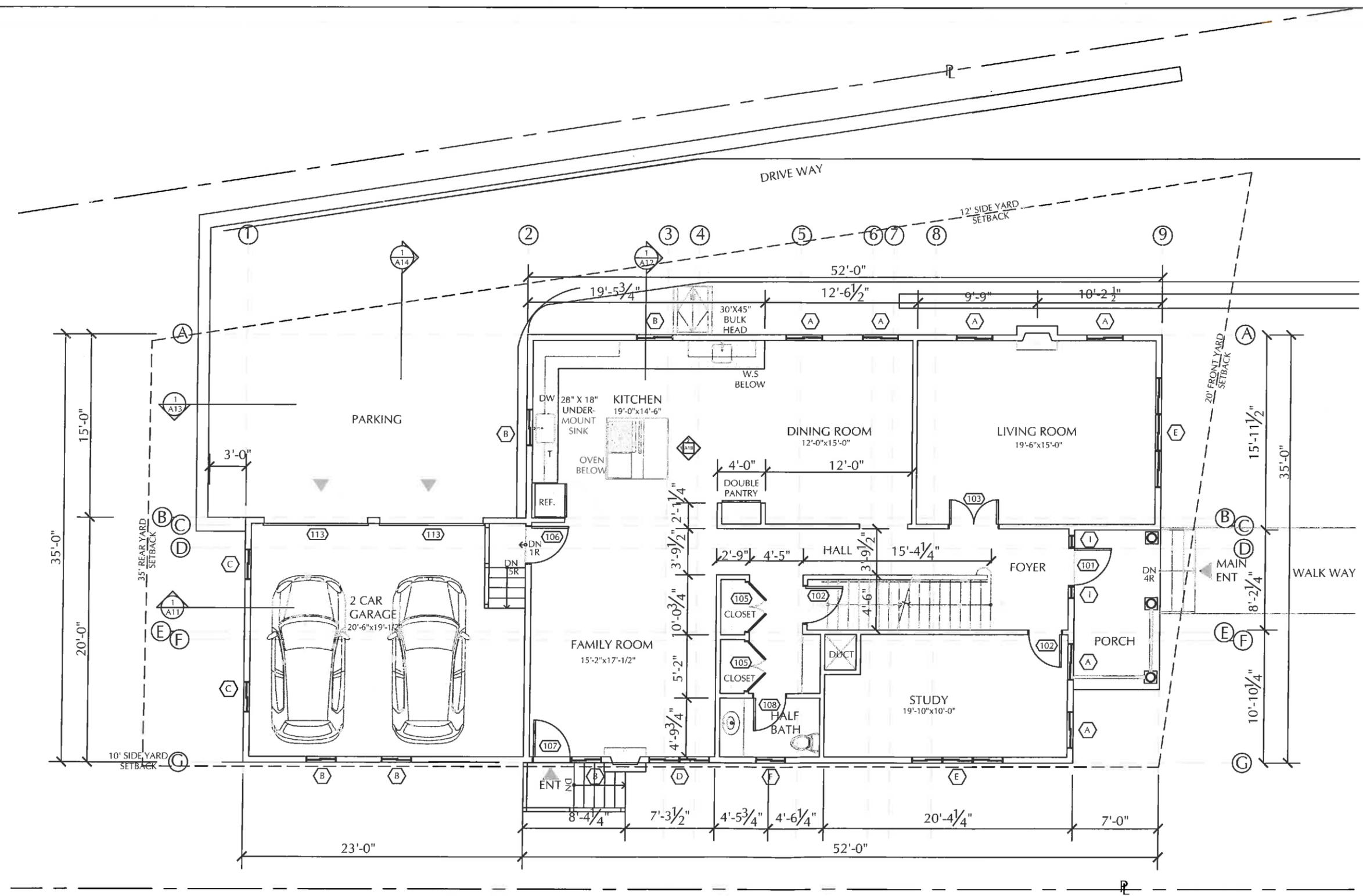
FIRST FLOOR PLAN

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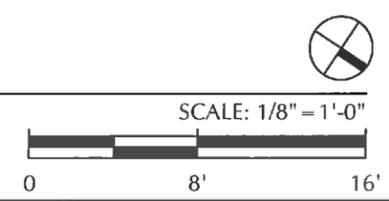


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1 FIRST FLOOR PLAN
 1,691 S.F. (EXCLUDING GARAGE : 420 S.F.)



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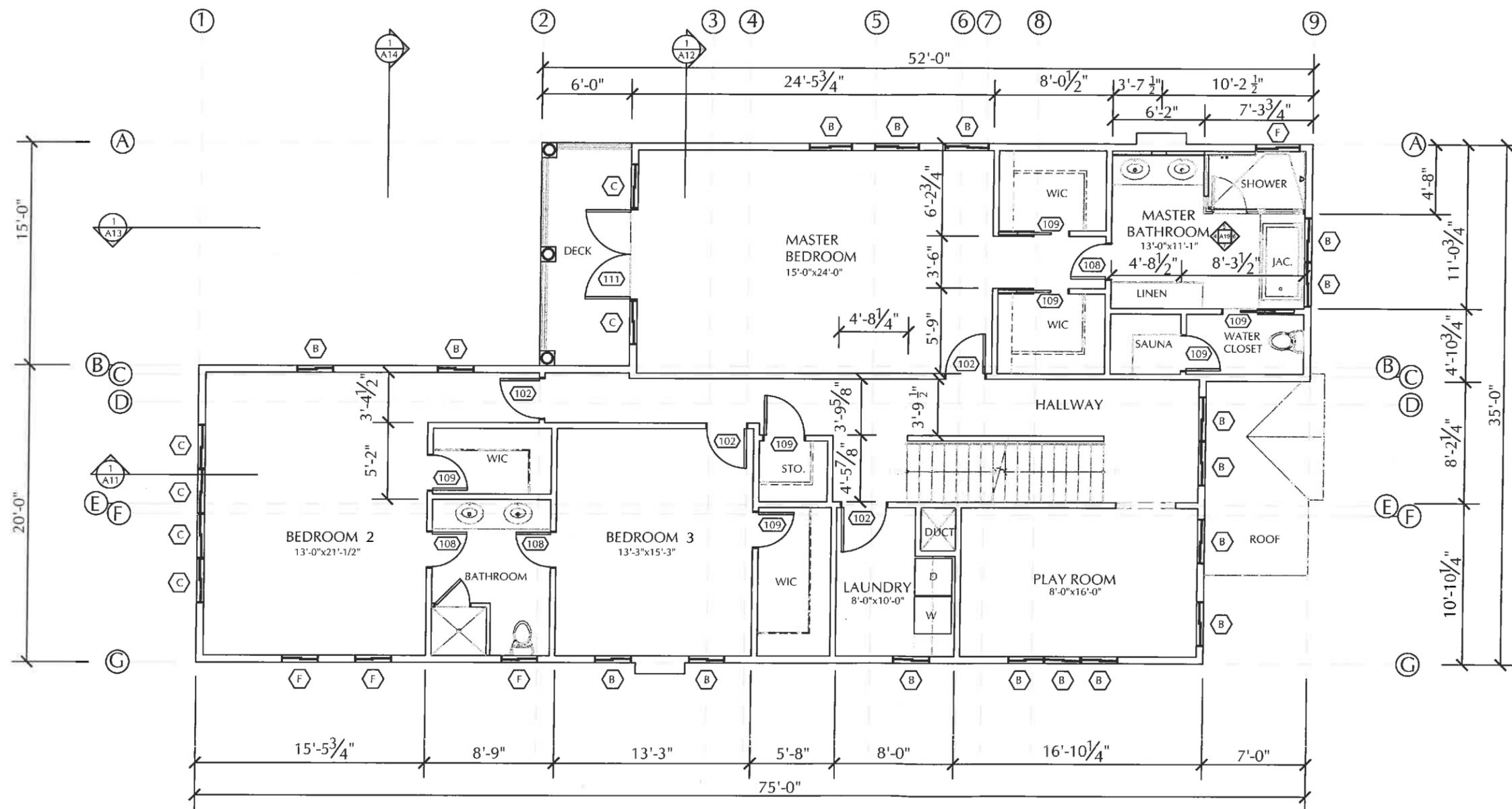
SECOND FLOOR PLAN

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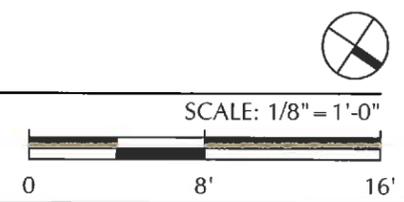
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A-03



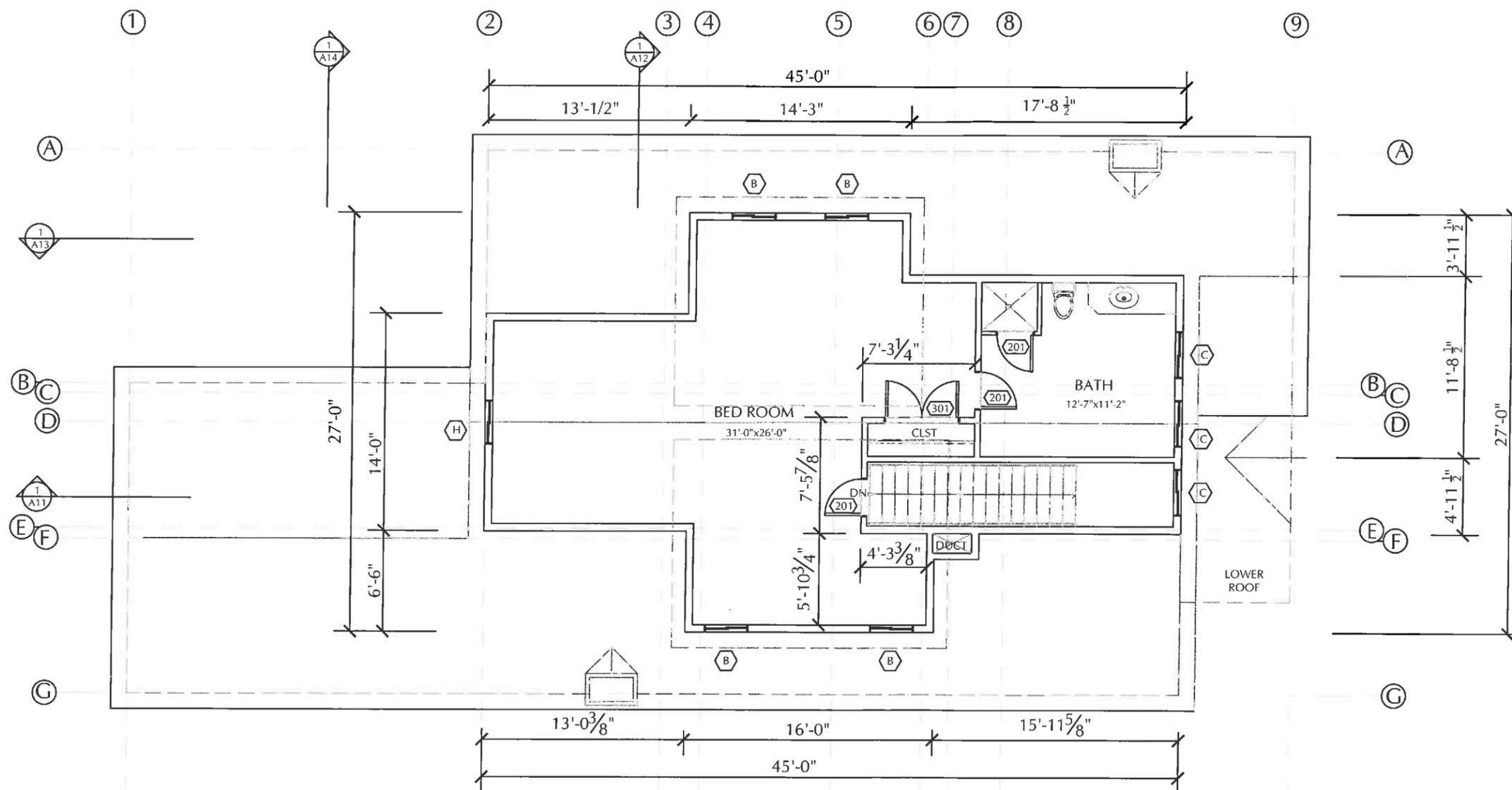
1 SECOND FLOOR PLAN
 2,019 S.F.



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NEW RESIDENCE



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ATTIC FLOOR PLAN

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1 ATTIC FLOOR PLAN
 658 S.F.



SCALE: 1/8" = 1'-0"



A-04

510 PLEASANT STREET
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02478

PARCEL 43-13

NEW RESIDENCE

PAGE 1-9 ITEM A: 36" WALLS AT PERIMETER

851 SQUARE FEET

FLOOR 2 PERIMETER:
216 LINEAR FEET

PAGE 1-9 ITEM C: DORMER LENGTH TO RIDGE

COMPARISON
RIDGE LENGTH:
49 LINEAR FEET

ATTIC FLOOR WALLS \geq 36" ALLOWABLE (50% FL2 PERIMETER):
108 LINEAR FEET
ATTIC FLOOR WALLS \geq 36" ACTUAL:
60.9 LINEAR FEET

INDIVIDUAL DORMER LENGTH ALLOWABLE (75% RIDGE LENGTH)

PAGE 1-9 ITEM B: 2ND TO 3RD FLOOR AREA COMPARISON

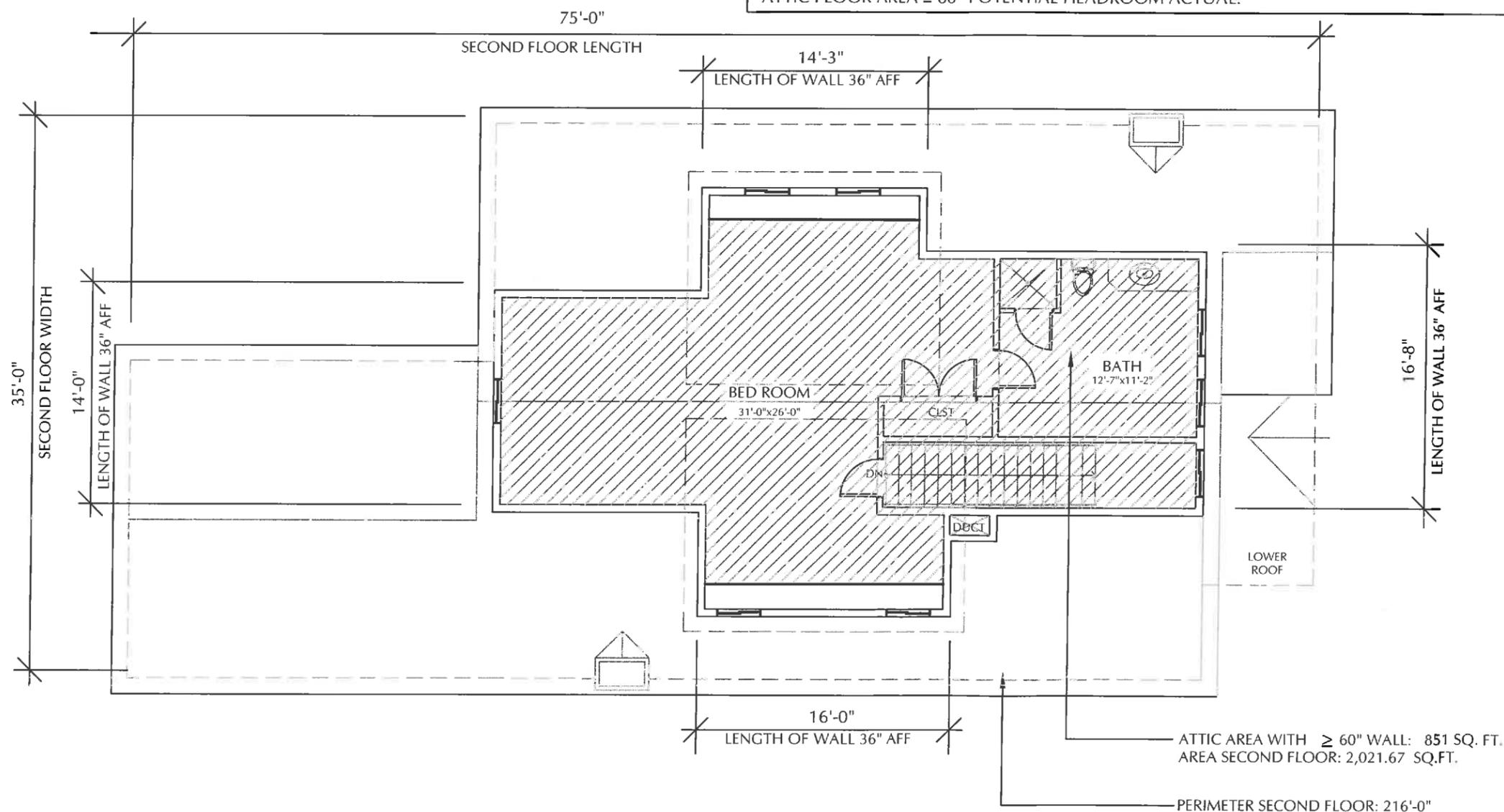
33.75 LINEAR FEET

FLOOR 2 AREA:
2,021.67 SQUARE FEET

DORMER LENGTH ACTUAL:
NO DORMER EXCEEDS ALLOWABLE LENGTH
TOTAL DORMER LENGTH = 30.25 LINEAR FEET

ATTIC FLOOR AREA \geq 60" POTENTIAL HEADROOM ALLOWABLE (60% FL2 PERIMETER): 1,213 SQUARE FEET

ATTIC FLOOR AREA \geq 60" POTENTIAL HEADROOM ACTUAL:



ATTIC AREA WITH \geq 60" WALL: 851 SQ. FT.
AREA SECOND FLOOR: 2,021.67 SQ. FT.

PERIMETER SECOND FLOOR: 216'-0"

No.	Revisions	Date

Job: RD2797
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ATTIC FLOOR
PLAN- 2 1/2
STORY
CALCULATION

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1 ATTIC FLOOR PLAN- 2 1/2 STORY CALCULATION
879 S.F.

SCALE: 1/8" = 1'-0"



A-04.1

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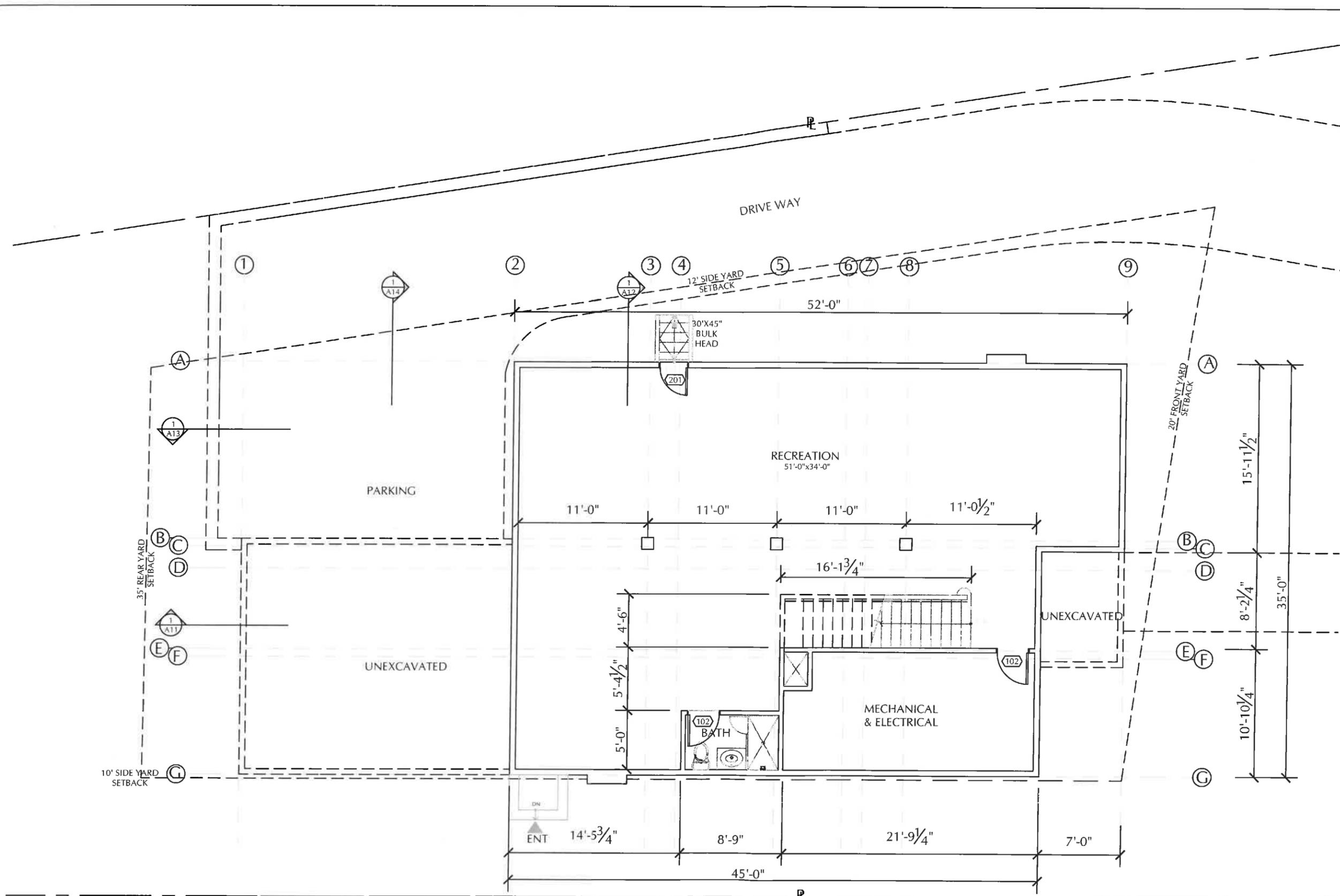
BASEMENT PLAN

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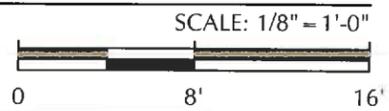
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1 BASEMENT PLAN
 1,691 S.F.



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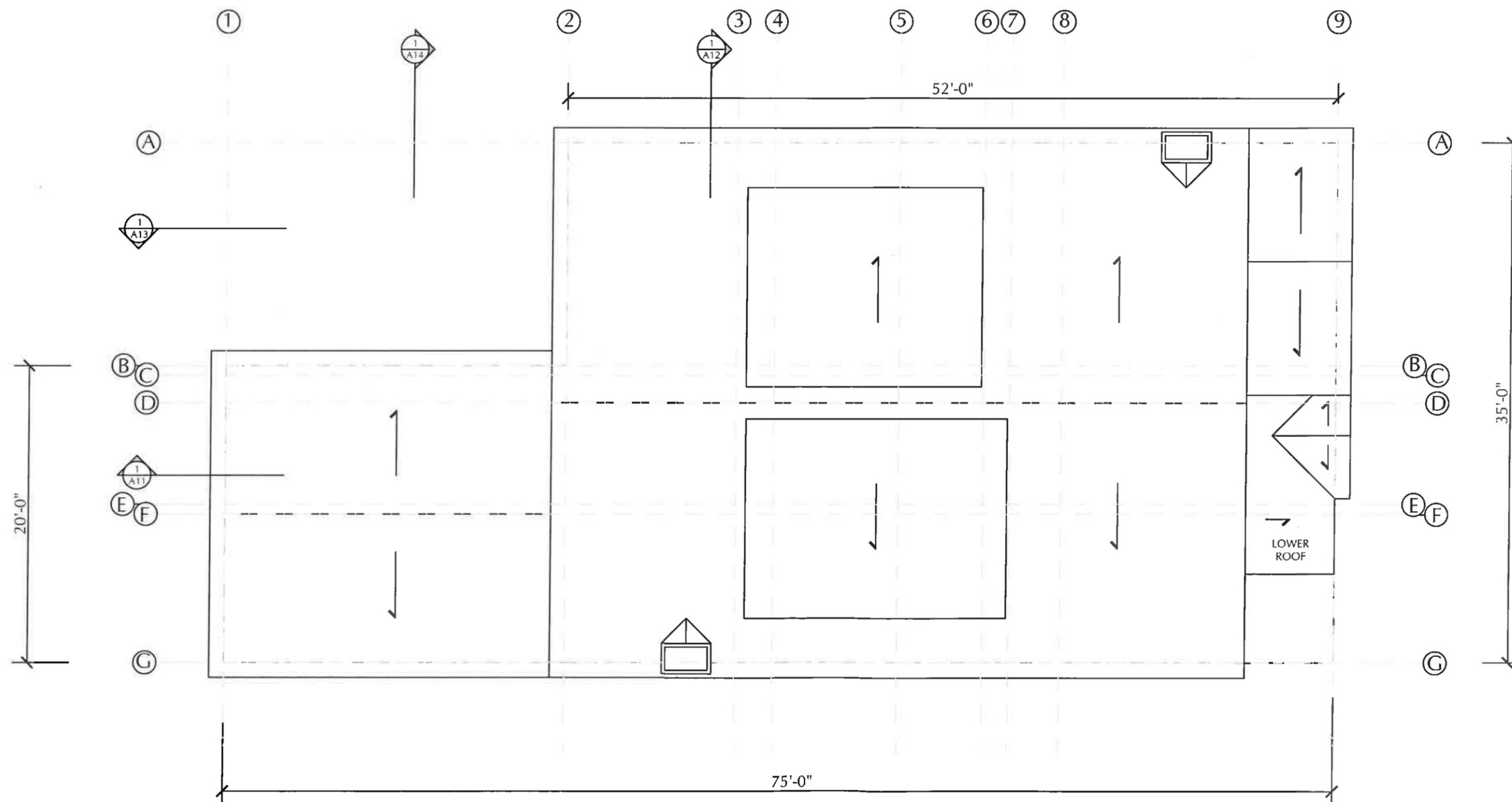
ROOF PLAN

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1 ROOF PLAN
 TOTAL :4,368 S.F.

SCALE: 1/8" = 1'-0"



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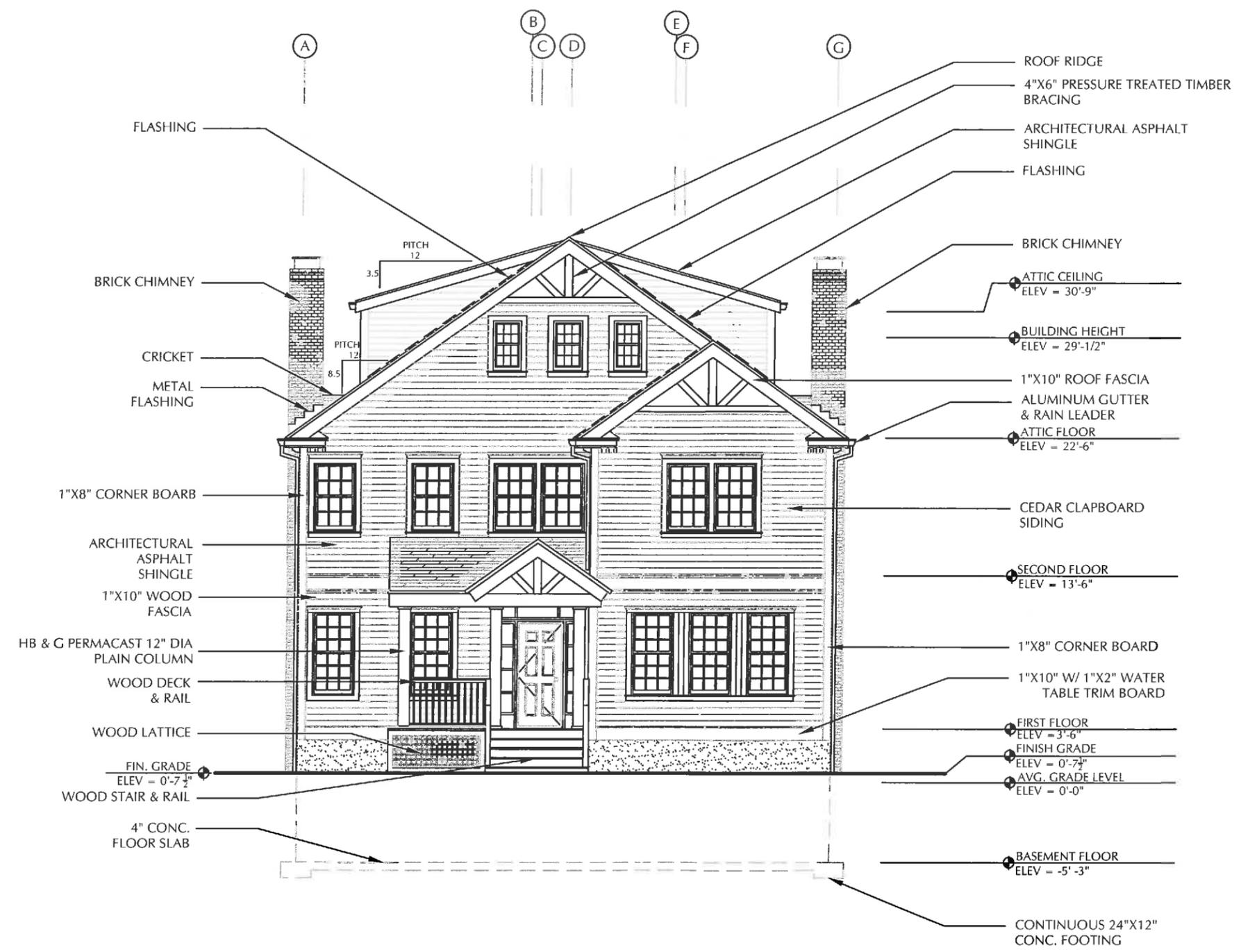
NORTH ELEVATION

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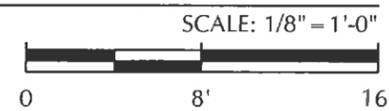
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A-07



1 NORTH (FRONT) ELEVATION- PLEASANT STREET



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PARCEL 43-13

NEW RESIDENCE

No.	Revisions	Date

Job: RD2797
Date: 12/20/2016
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EAST ELEVATION

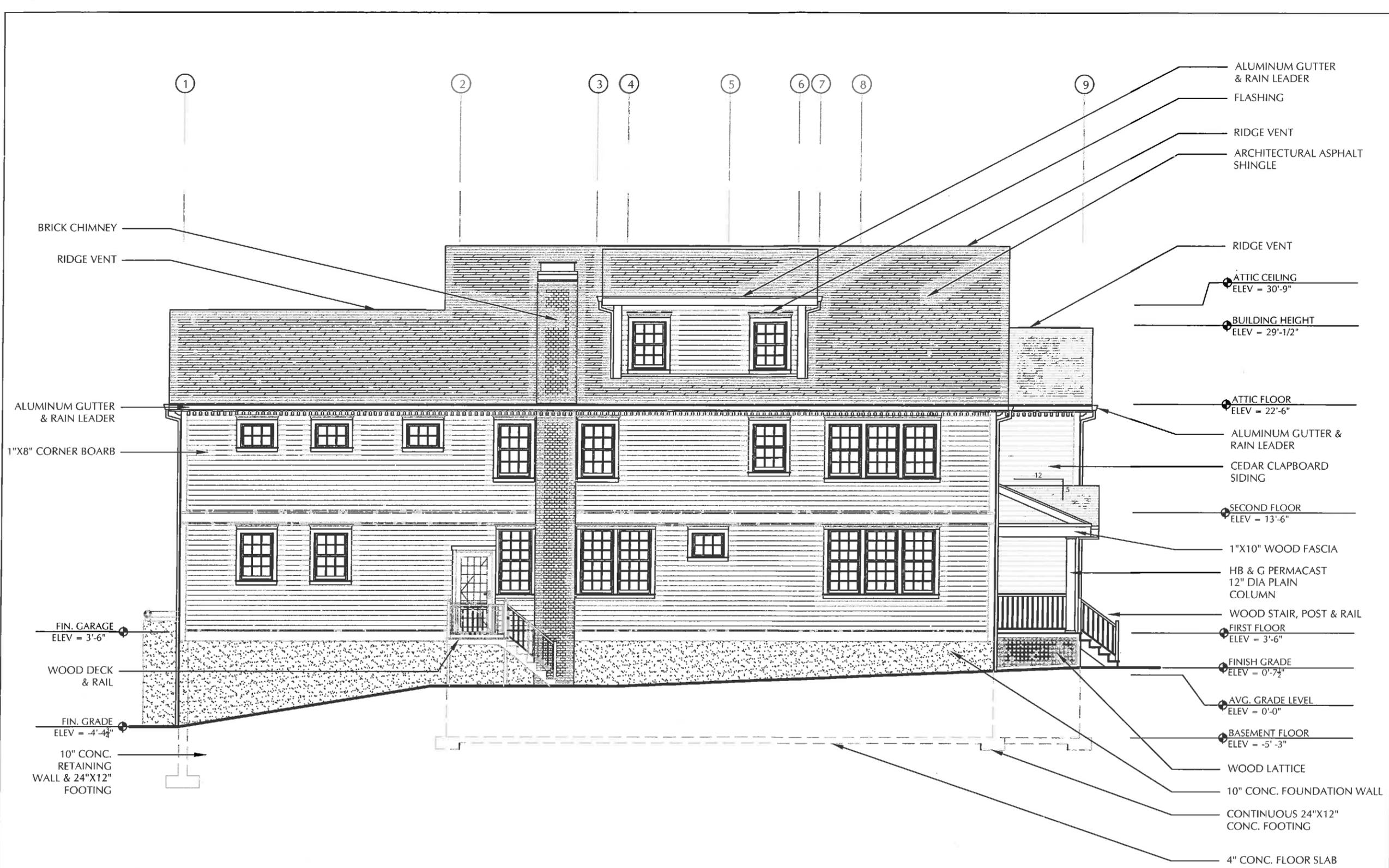
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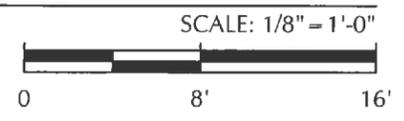
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1 EAST (SIDE) ELEVATION



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PARCEL 43-13

NEW RESIDENCE

No.	Revisions	Date

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Date: 12/20/2016
Scale: AS NOTED
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Checked: SJB

SOUTH ELEVATION

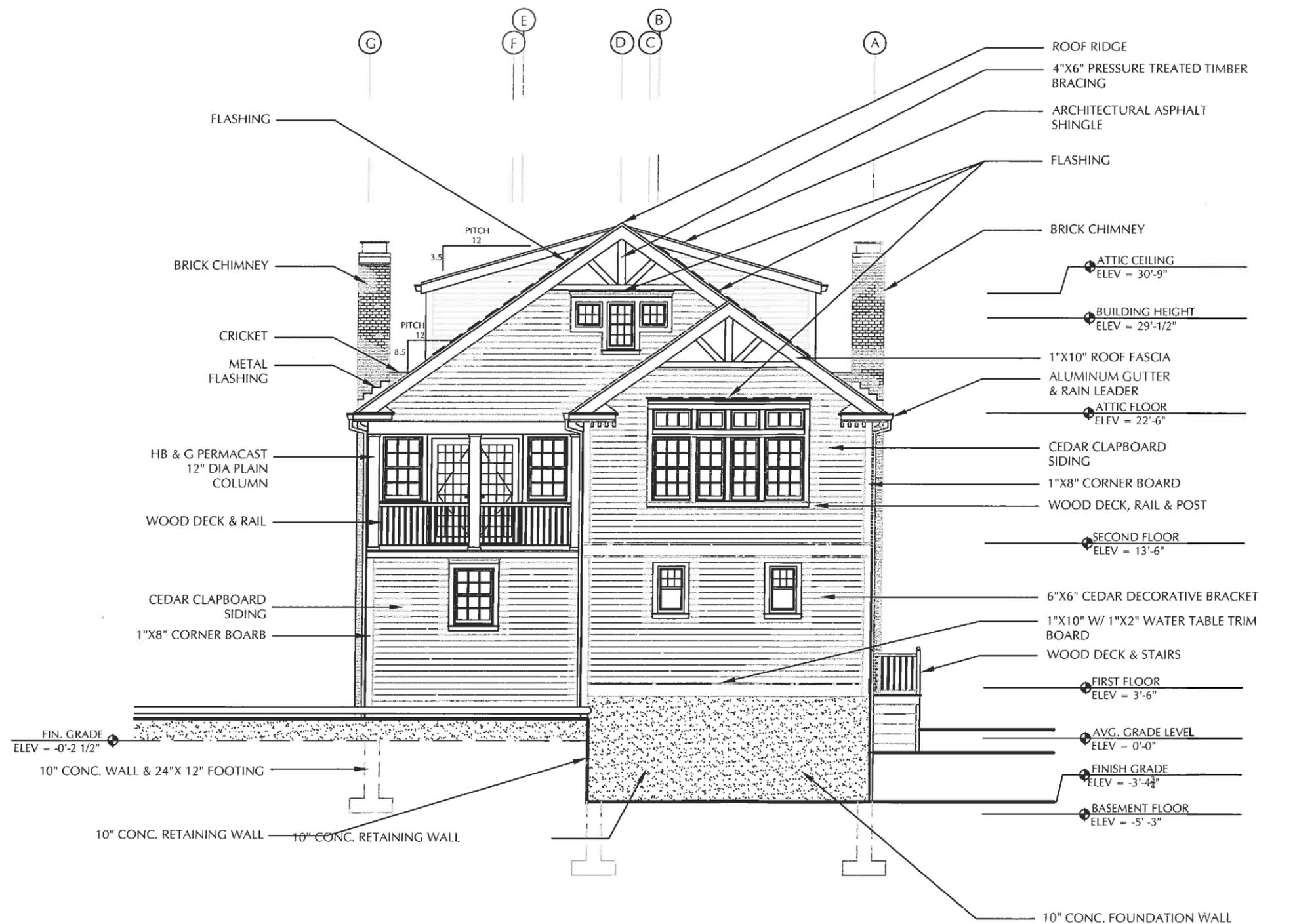
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1 SOUTH (REAR) ELEVATION

SCALE: 1/8" = 1'-0"



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PARCEL 43-13

NEW RESIDENCE

No.	Revisions	Date

Job: RD2797
Date: 12/20/2016
Scale: AS NOTED
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WEST ELEVATION

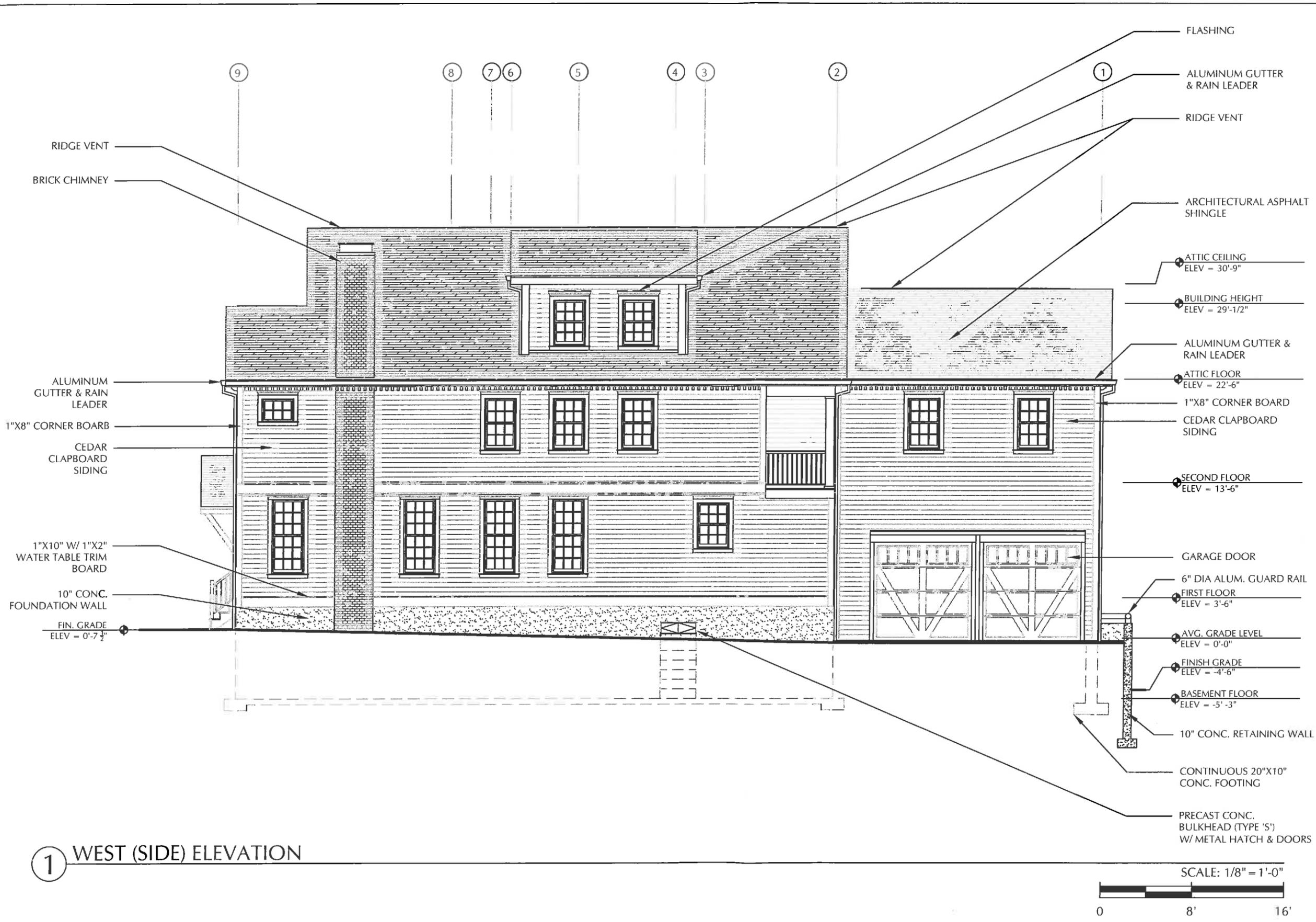
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Rojas

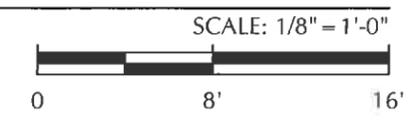
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1 WEST (SIDE) ELEVATION



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PARCEL 43-13

NEW RESIDENCE

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SECTION A

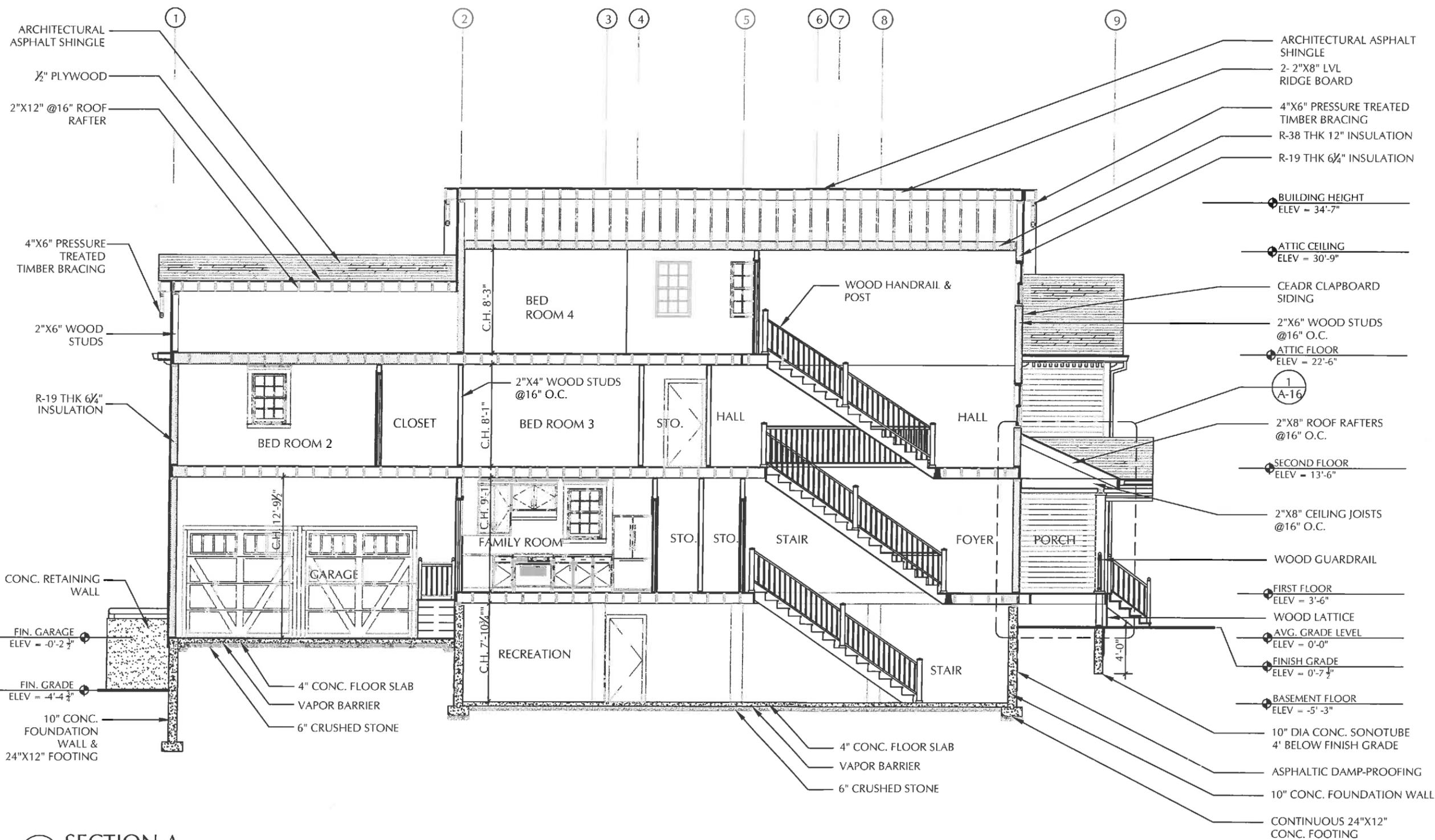
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A-11



1 SECTION A

510 PLEASANT STREET
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PARCEL 43-13

NEW RESIDENCE

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1	A-17	

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 Drawn: SJB
 Checked: SJB

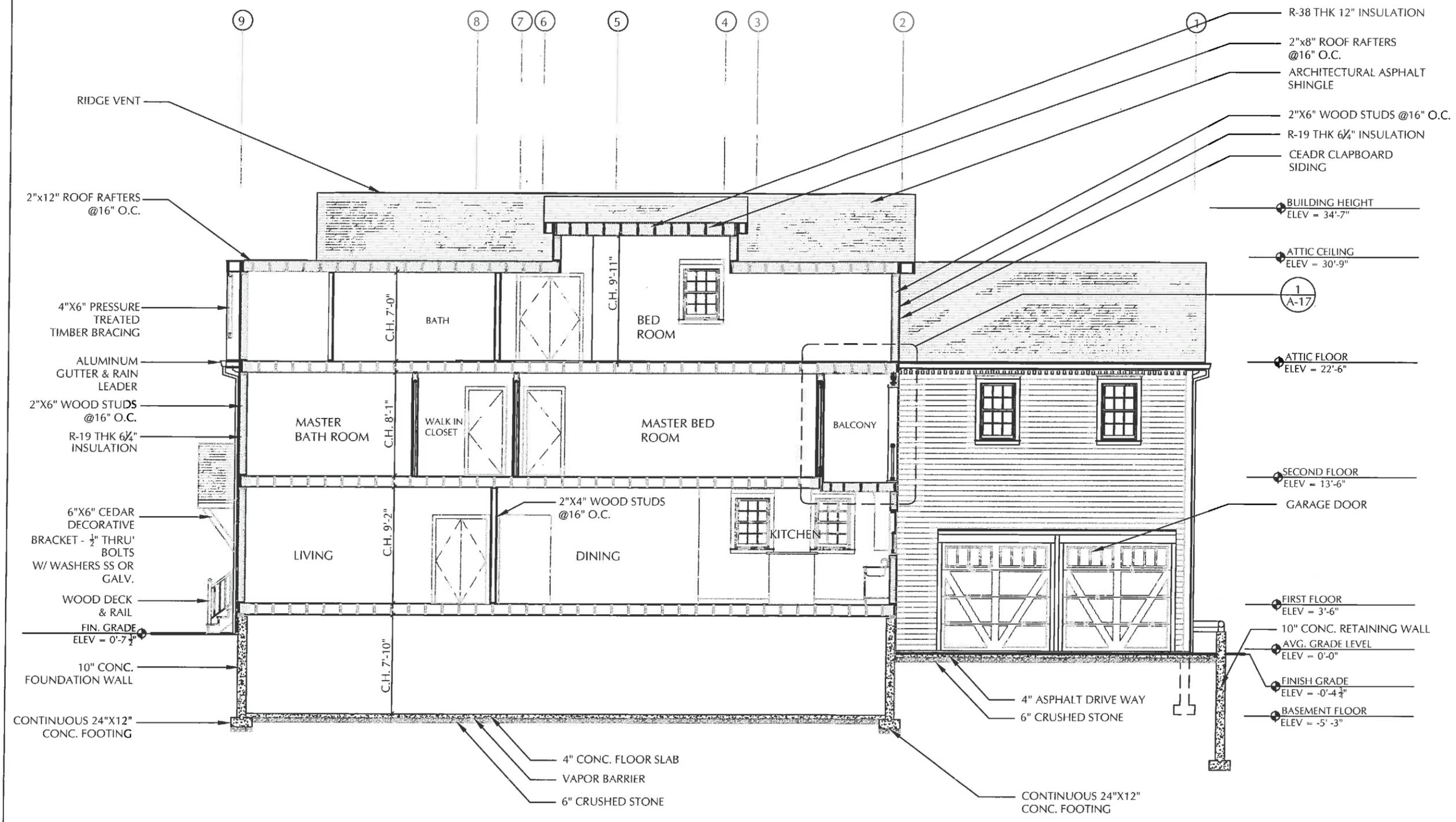
SECTION C

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 BIM
 Brighton
 Interior Design
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 Landscape Architecture
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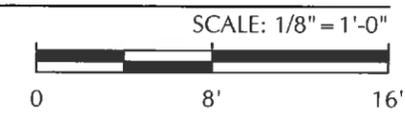
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1 SECTION C



510 PLEASANT STREET
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PARCEL 43-13

NEW RESIDENCE

No.	Revisions	Date

Job: RD2797
Date: 12/20/2016
Scale: AS NOTED
Drawn: SJB
Checked: SJB

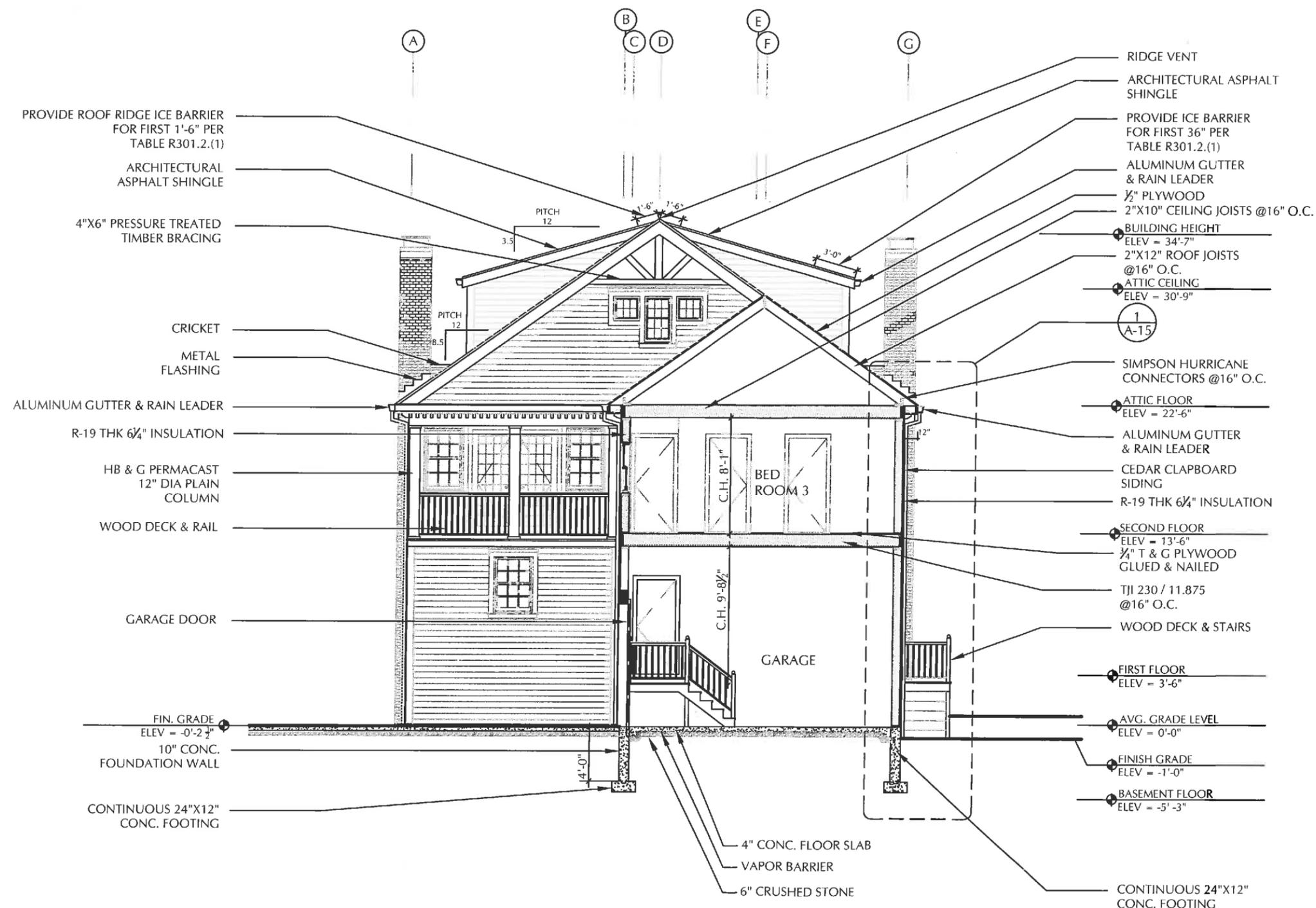
SECTION D

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1 SECTION D

SCALE: 1/8" = 1'-0"



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PARCEL 43-13

NEW RESIDENCE

No.	Revisions	Date

Job: RD2797
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Scale: AS NOTED
Drawn: SJB
Checked: SJB

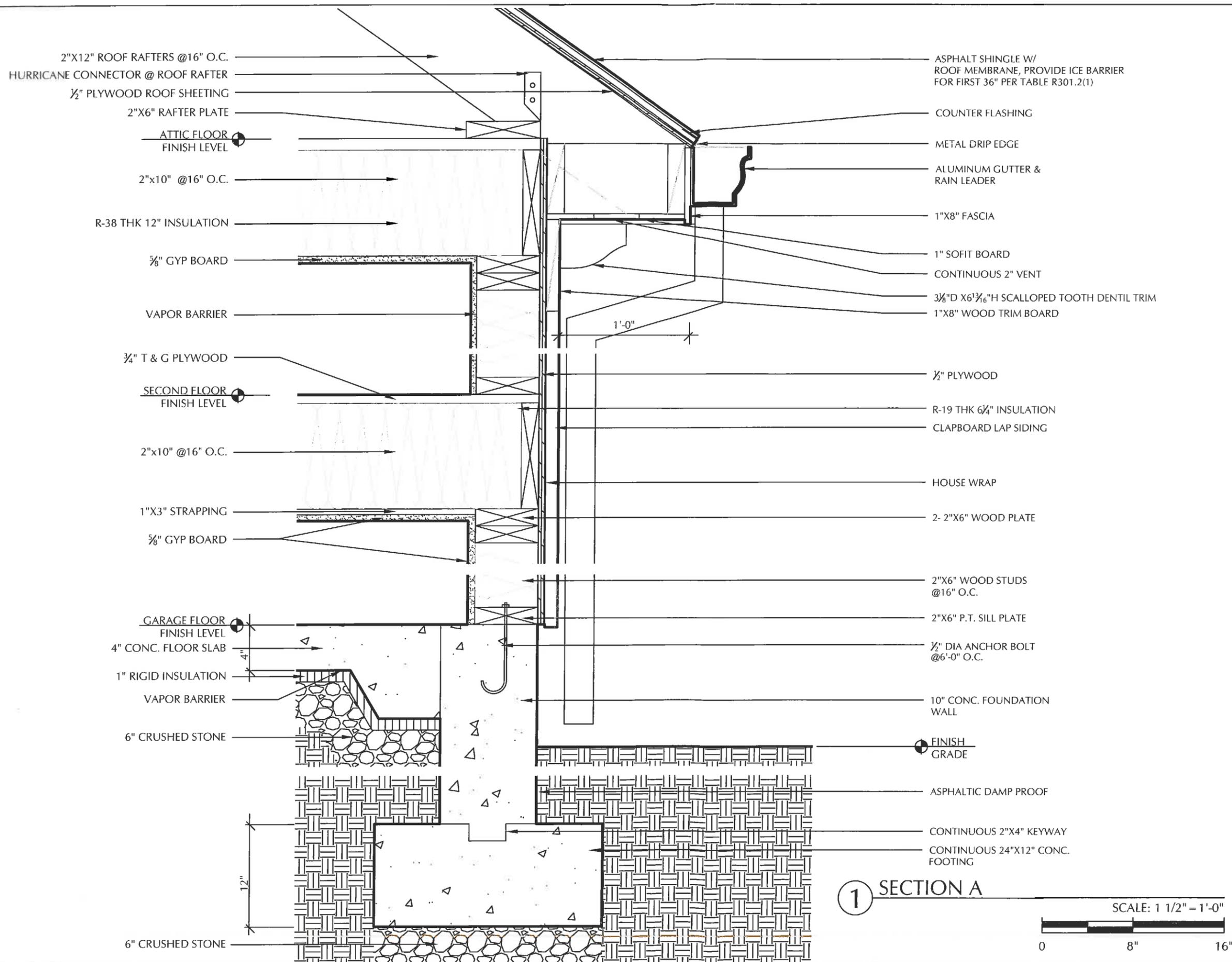
DETAIL - A

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1 SECTION A

SCALE: 1 1/2" = 1'-0"



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PARCEL 43-13

NEW RESIDENCE

No.	Revisions	Date

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Drawn: SJB
Checked: SJB

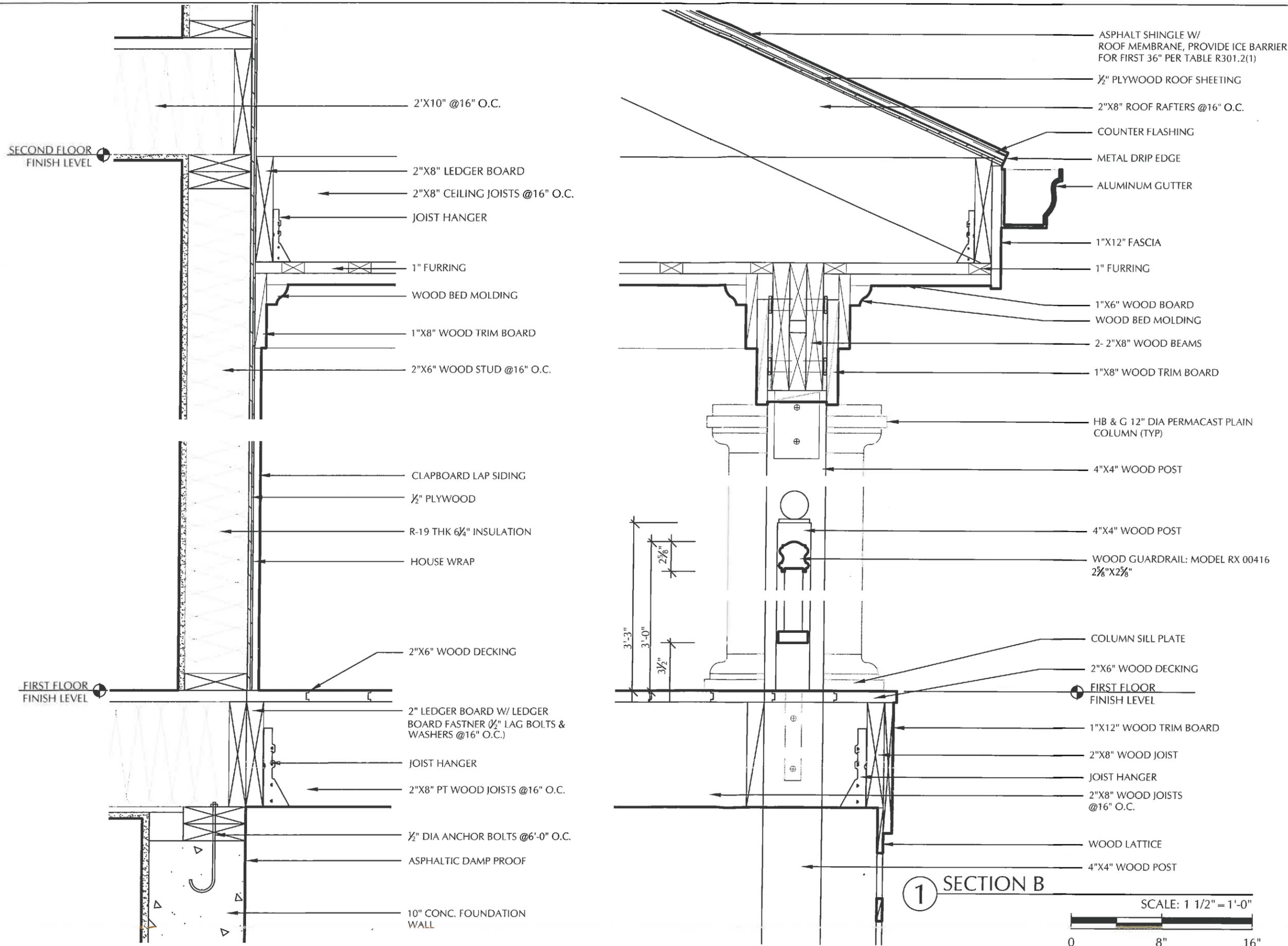
DETAIL - B

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No.	Revisions	Date

Job: RD2797
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Scale: AS NOTED
Drawn: SJB
Checked: SJB

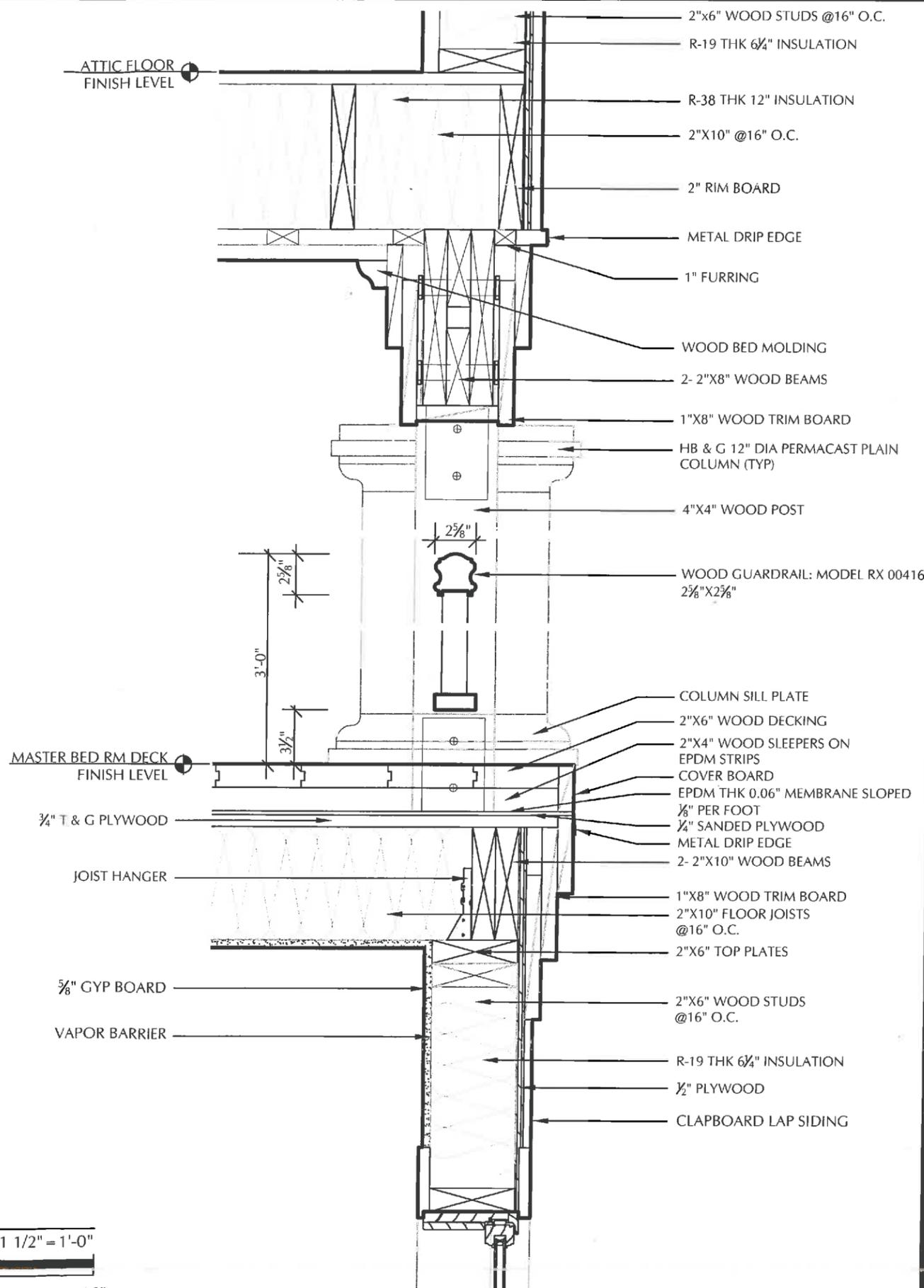
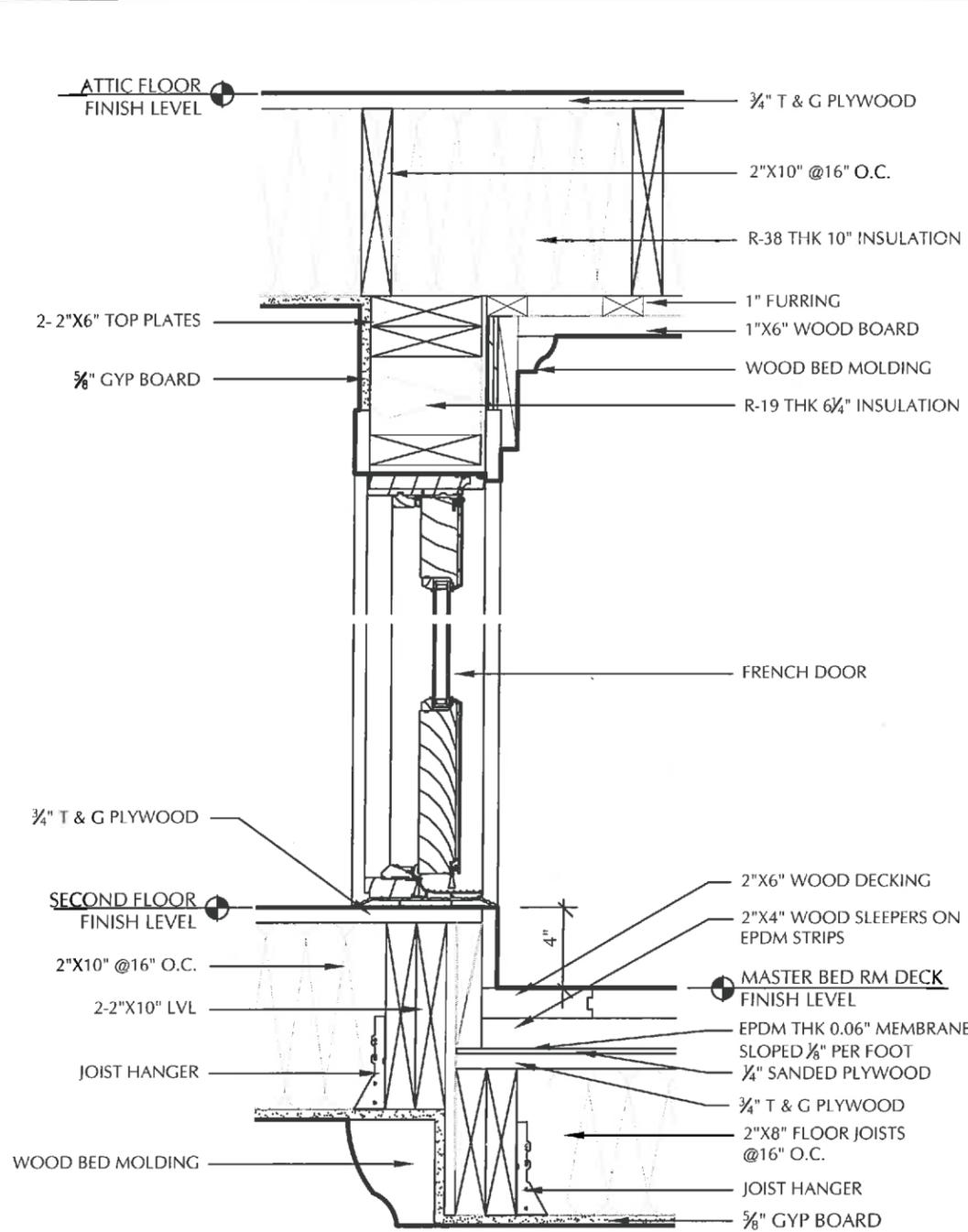
DETAIL - D

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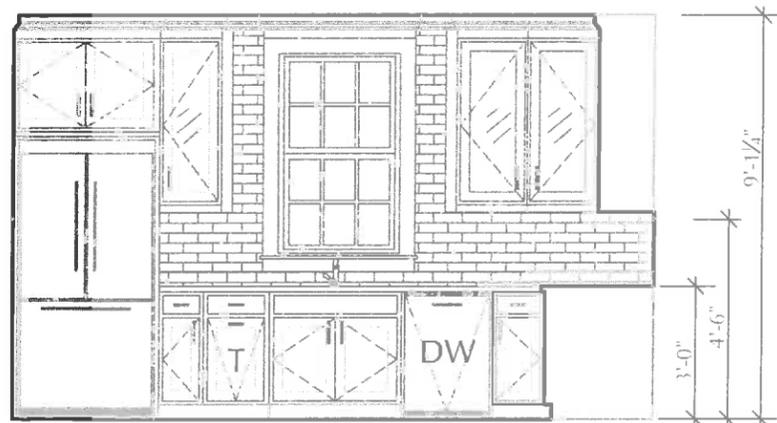
1 SECTION D



510 PLEASANT STREET
BELMONT, MA
02478

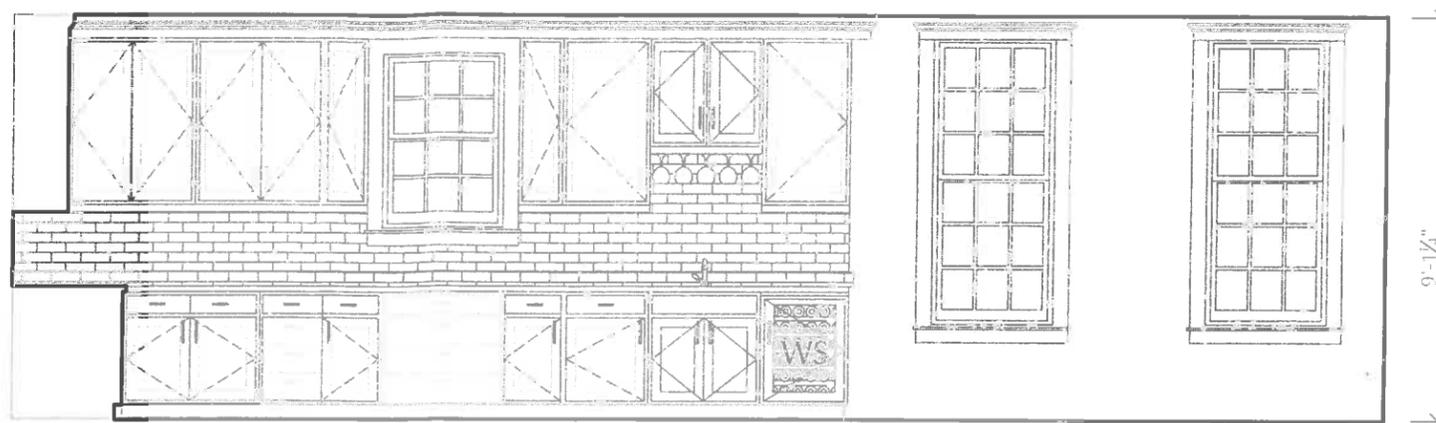
PARCEL 43-13

NEW RESIDENCE



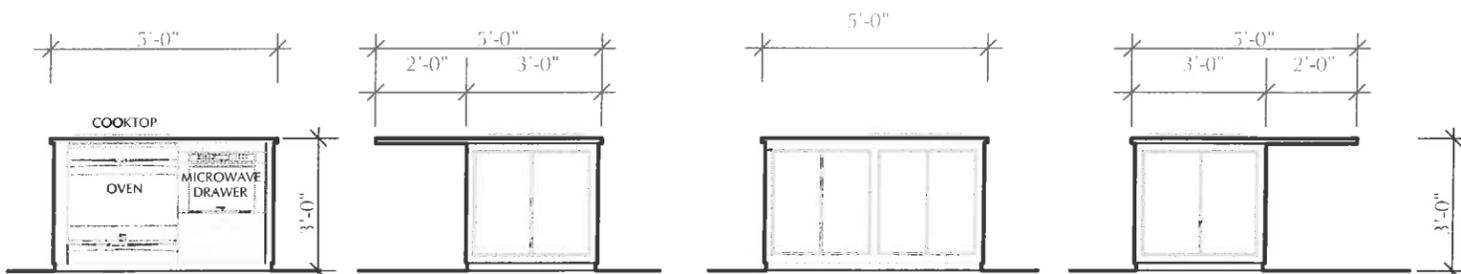
1 KITCHEN ELEVATION

SCALE: 1/4" = 1'-0"



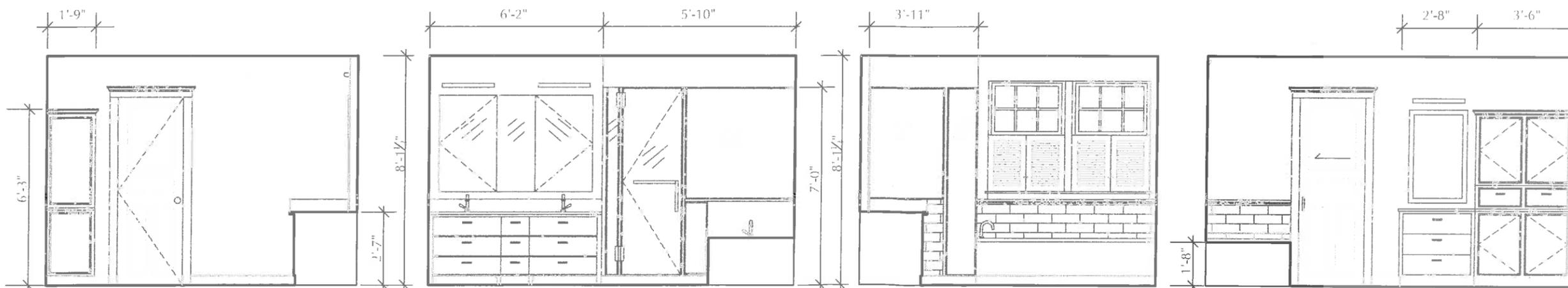
2 KITCHEN & DINING ROOM ELEVATION

SCALE: 1/4" = 1'-0"



3 KITCHEN ISLAND ELEVATIONS

SCALE: 1/4" = 1'-0"



4 M. BATH ELEVATION

SCALE: 1/4" = 1'-0"



5 M. BATH ELEVATION

SCALE: 1/4" = 1'-0"



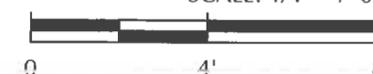
6 M. BATH ELEVATION

SCALE: 1/4" = 1'-0"



7 M. BATH ELEVATION

SCALE: 1/4" = 1'-0"



No.	Revisions	Date

Job: RD2797
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INTERIOR ELEVATIONS

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PARCEL 43-13

NEW RESIDENCE

No.	Revisions	Date

Job: RD2797
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Scale: AS NOTED
Drawn: TYC/SJB
Checked: SJB

DOOR SCHEDULE

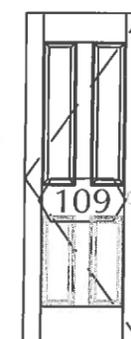
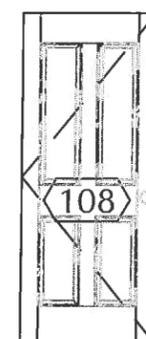
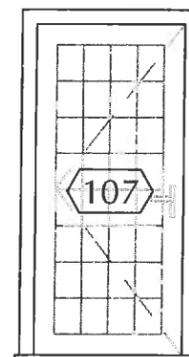
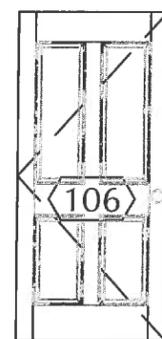
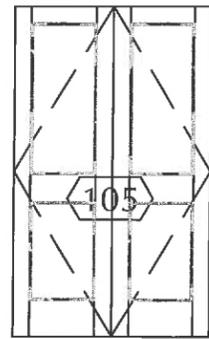
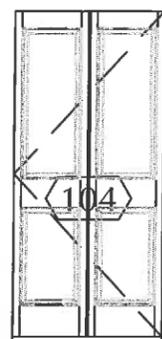
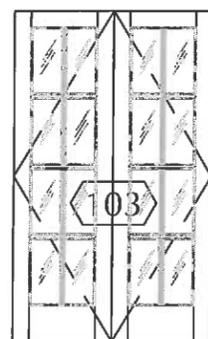
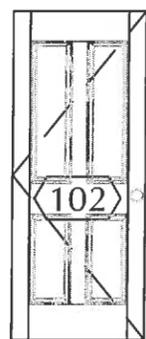
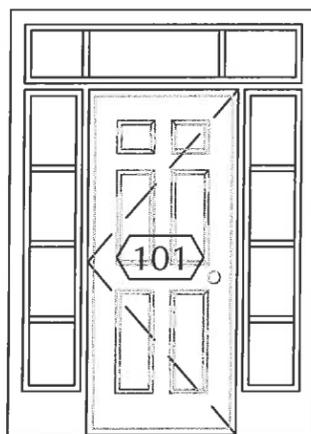
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DOOR NO.	DOOR							FRAME			COMMENTS	
	MODEL NUMBER	MANUFACTURER	WIDTH	HGT.	THK.	MAT.	TYPE	FRAME TYPE	WIDTH	MAT.		SOLID & HOLLOW CORE
101	RECTANGULAR - STRAIGHTLINE FULL PANEL - 178 WITH 183	ANDERSON	3'-0"	6'-8"	1 3/4"	WOOD	SINGLE- SWING DOOR	4 1/2" FLAT	4 1/2"	WOOD	SOLID CORE	
102	48 CHATEAU	SIMPSON	2'-8"	6'-8"	1 3/8"	WOOD	SINGLE- SWING DOOR	4 1/2" FLAT	4 1/2"	WOOD	SOLID CORE & GLASS	
103	1508 INTERIOR FRENCH	SIMPSON	4'-0"	6'-8"	1 3/8"	WOOD	DOUBLE- SWING DOOR	4 1/2" FLAT	4 1/2"	WOOD	HOLLOW CORE	LOCK SET DOOR AND WEATHERSTRIP PERIMETER
104	43 BIFOLD	SIMPSON	3'-0"	6'-8"	1 3/8"	WOOD	DOUBLE- SWING DOOR	4 1/2" FLAT	4 1/2"	WOOD	HOLLOW CORE	
105	82 INTERIOR	SIMPSON	4'-0"	6'-8"	1 3/8"	WOOD	DOUBLE- SWING DOOR	4 1/2" FLAT	4 1/2"	WOOD	HOLLOW CORE	
106	48 CHATEAU	SIMPSON	3'-0"	6'-8"	1 3/8"	WOOD	SINGLE- SWING DOOR	4 1/2" FLAT	4 1/2"	WOOD	HOLLOW CORE	
107	RECTANGULAR - STRAIGHTLINE - RECTANGULAR GLASS PANEL - 102	ANDERSON	3'-0"	6'-8"	1 3/4"	WOOD	SINGLE- SWING DOOR	4 1/2" FLAT	4 1/2"	WOOD	HOLLOW CORE	
108	48 CHATEAU	SIMPSON	2'-6"	6'-8"	1 3/8"	WOOD	SINGLE- SWING DOOR	4 1/2" FLAT	4 1/2"	WOOD	HOLLOW CORE	
109	48 CHATEAU	SIMPSON	2'-4"	6'-8"	1 3/8"	WOOD	SINGLE- SWING DOOR	4 1/2" FLAT	4 1/2"	WOOD	HOLLOW CORE	
110	400 SERIES - FRENCHWOOD FWH60611APLR	ANDERSON	6'-0"	6'-11"	1 1/4"	WOOD	DOUBLE- SWING DOOR	4 1/2" FLAT	4 1/2"	WOOD	SOLID CORE & GLASS	
111	400 SERIES - FRENCHWOOD FWH50611APLR	ANDERSON	5'-0"	6'-11"	1 1/4"	WOOD	DOUBLE- SWING DOOR	4 1/2" FLAT	4 1/2"	WOOD	SOLID CORE & GLASS	
112	82 INTERIOR	SIMPSON	4'-8"	6'-8"	1 3/8"	WOOD	DOUBLE- SWING DOOR	4 1/2" FLAT	4 1/2"	WOOD	HOLLOW CORE	
113	510- SANTIAGO- THAMES	AMAR	8'-6"	8'-6"	1 3/8"	WOOD	OVERHEAD DOOR	4 1/2" FLAT	4 1/2"	WOOD	HOLLOW CORE	



48 CHATEAU

1508 INTERIOR FRENCH

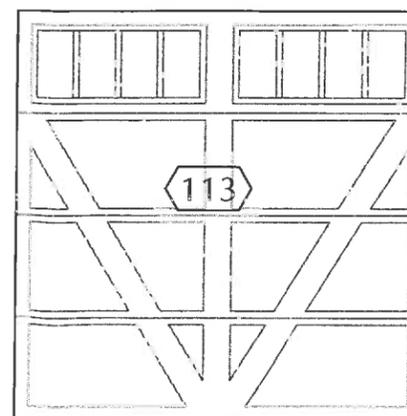
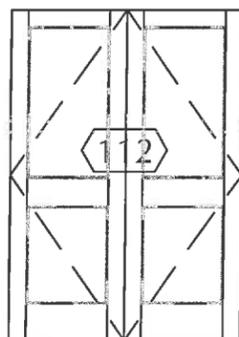
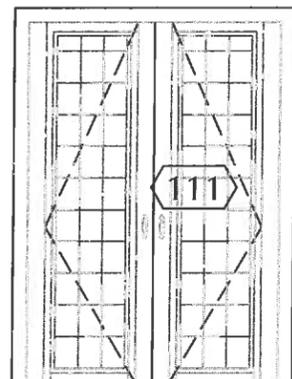
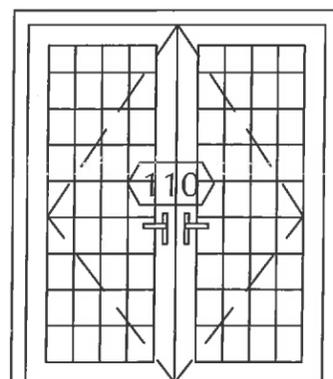
43 BIFOLD

82 INTERIOR

48 CHATEAU

48 CHATEAU

48 CHATEAU



82 INTERIOR

OVERHEAD GARAGE DOOR

510 PLEASANT STREET
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02478

PARCEL 43-13

NEW RESIDENCE

INTERIOR WINDOW SCHEDULE									
MARK	MODEL NUMBER	TYPE	EGRESS	FREE AREA	SCREEN	FRAME		MANUFACTURER	COMMENTS
						TYPE AND WIDTH	MAT.		
A	TW2862	400 SERIES TILT WASH DOUBLE-HUNG WINDOW	NO	NA	NO	4.5" FLAT WITH 3 5/8" CORNICE TOP	WOOD	ANDERSON	
B	TW28310	400 SERIES TILT WASH DOUBLE-HUNG WINDOW	NO	NA	NO	4.5" FLAT WITH 3 5/8" CORNICE TOP	WOOD	ANDERSON	
C	TW1832	400 SERIES TILT WASH DOUBLE-HUNG WINDOW	NO	NA	NO	4.5" FLAT WITH	WOOD	ANDERSON	
D	TW2852	400 SERIES TILT WASH DOUBLE-HUNG WINDOW	NO	NA	NO	4.5" FLAT WITH 3 5/8" CORNICE TOP	WOOD	ANDERSON	
E	TW2842	400 SERIES TILT WASH DOUBLE-HUNG WINDOW	NO	NA	NO	4.5" FLAT WITH 3 5/8" CORNICE TOP	WOOD	ANDERSON	
F	APW21020	A-SERIES PICTURE WINDOW	NO	NA	NO	4.5" FLAT WITH 3 5/8" CORNICE TOP	WOOD	ANDERSON	
G	APW2020	A-SERIES PICTURE WINDOW	NO	NA	NO	4.5" FLAT WITH 3 5/8" CORNICE TOP	WOOD	ANDERSON	APW2020 X2
H	APW034	A-SERIES PICTURE WINDOW	NO	NA	NO	4.5" FLAT WITH 3 5/8" CORNICE TOP	WOOD	ANDERSON	APW034 X1
I	341	SIDELIGHTS	NO	NA	NO		WOOD	ANDERSON	RECTANGULAR - STRAIGHTLINE FULL PANEL DOOR - 178 WITH 341
J		TRANSOMS	NO	NA	NO	SASH-GLAZED	WOOD	ANDERSON	RECTANGULAR - STRAIGHTLINE FULL PANEL DOOR - 178 WITH 341 AND TRANSOMS

No.	Revisions	Date

Job: RD2797
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Scale: AS NOTED
Drawn: TYC/SJB
Checked: SJB

WINDOW SCHEDULE

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