

# 91 BEATRICE CIRCLE

BELMONT, MA

NOVEMBER 04, 2020

COMPREHENSIVE PERMIT SUBMISSION



91 BEATRICE CIRCLE		
UNITS	COUNT	SF
UNIT TYPE A (4-STORY)	8	1800 SF TYP.
UNIT TYPE B (2-STORY)	4	1700 SF TYP.
<b>PARKING</b>		
SURFACE PARKING	8	
GARAGE PARKING	12	
TOTAL PARKING	20	
PARKING RATIO	1.67	

## PROJECT DESCRIPTION

THE PROPOSED PROJECT AT 91 BEATRICE CIRCLE WILL REPLACE AN EXISTING RESIDENTIAL STRUCTURE AND ACCESSORY BUILDINGS WITH A MULTIFAMILY TOWNHOUSE RENTAL DEVELOPMENT CONSISTING OF 12 RENTAL UNITS

THE STRUCTURE WILL CONSIST OF (1) ROW OF 4-STORY TOWNHOUSES AND (1) ROW OF DETACHED 2-STORY RESIDENTIAL DWELLING UNITS WITH THE VEHICLE ACCESS AISLE IN THE CENTER. THE UNITS WILL BE SLAB ON GRADE WITH A DEDICATED PARKING SPACE AND LAUNDRY UNITS INCLUDED WITHIN THE INDIVIDUAL UNITS. 8 ADDITIONAL PARKING SPACES ARE ALSO INCLUDED ON SITE.

## SHEET LIST

### ARCHITECTURAL

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 A001 SITE CONTEXT  
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 A005 PROJECT AXON  
 A010 ARCHITECTURAL SITE PLAN  
 A011 SITE SECTIONS

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 A101 SECOND FLOOR PLAN  
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 A203 EXTERIOR ELEVATIONS

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A400 ARCHITECTURAL RENDERING

A500 TYPICAL UNIT PLANS

### CIVIL

1 COVER SHEET  
 2 EXISTING CONDITIONS  
 3 DEMOLITION  
 4 PROPOSED LAYOUT  
 5 PROPOSED GRADING  
 6 PROPOSED UTILITIES  
 7 CONSTRUCTION DETAILS  
 8 CONSTRUCTION DETAILS

ARCHITECT  
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 www.embarcstudio.com

### OWNER

COMPREHENSIVE LAND  
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### CONSULTANTS

**CIVIL:**  
 DeCELLE-BURKE-SALA &  
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 1266 FURNACE BROOK PARKWAY #401  
 QUINCY, MA 02169  
 617-405-5100 X1

**LANDSCAPE ARCHITECT:**  
 VERDANT LANDSCAPE  
 ARCHITECTURE  
 318 HARVARD STREET, SUITE 25  
 BROOKLINE, MA 02446  
 617-735-1180

91 BEATRICE CIRCLE  
 BELMONT, MA  
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### REVISIONS

MARK	ISSUE	DATE



### DRAWING INFORMATION

ISSUE: COMPREHENSIVE PERMIT SUBMISSION  
 DATE: NOVEMBER 04, 2020  
 PROJECT #: 20004  
 SCALE: 1/8" = 1'-0"

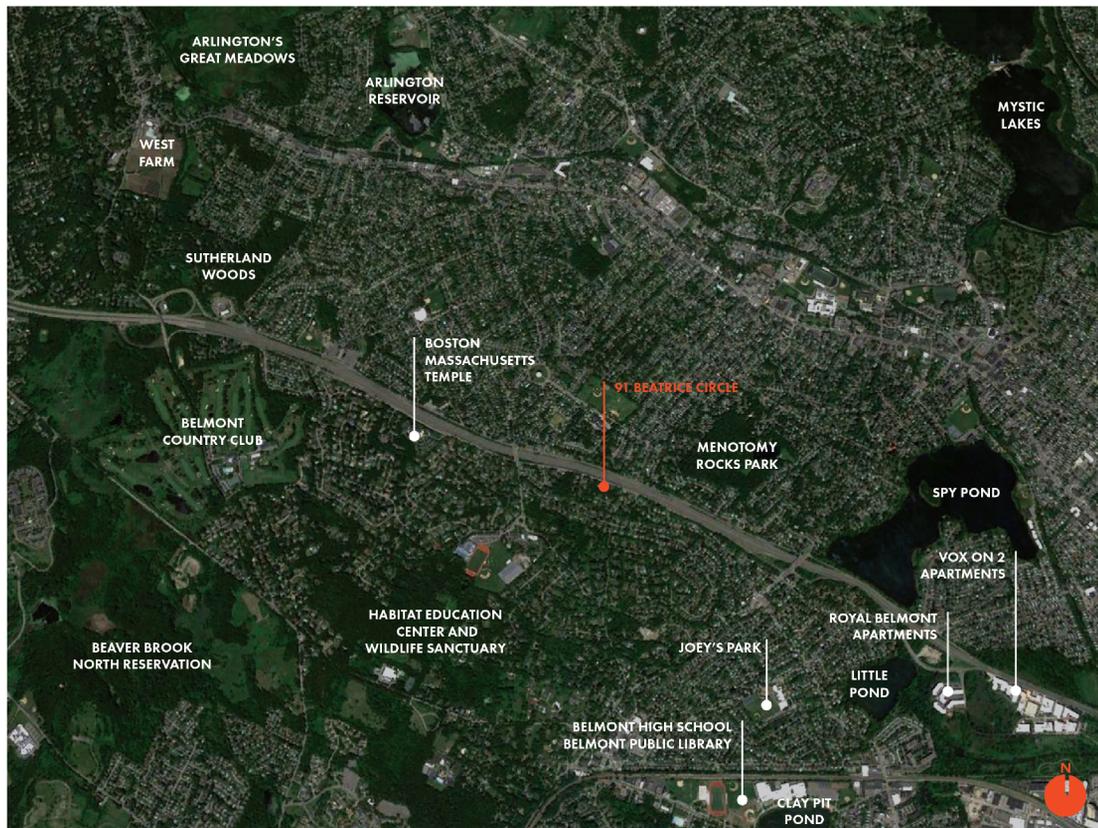
### DRAWING TITLE

COVER SHEET

### DRAWING NUMBER

**A000**

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TOWN CONTEXT



SITE AERIAL



LOCAL CONTEXT

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DRAWING TITLE

SITE CONTEXT

DRAWING NUMBER

**A001**

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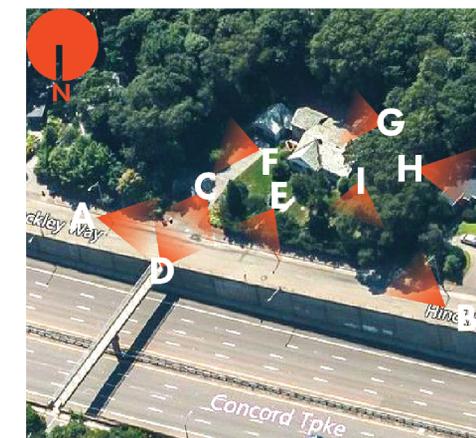
**A** VIEW OF EXISTING SITE - HINCKLEY ST. - FACING WEST



**B** VIEW OF EXISTING SITE - HINCKLEY ST. - FACING EAST



**C** VIEW OF PEDESTRIAN CROSSING FROM SITE - FACING NORTH



**D** VIEW OF EXISTING SITE - HINCKLEY ST. - FACING SOUTH



**E** VIEW OF STAIR ENTRY - FACING NORTH



**F** VIEW OF EAST NEIGHBORING SITE - FACING EAST



**G** VIEW OF SOUTH NEIGHBORING SITE - FACING EAST



**H** VIEW OF WEST NEIGHBORING SITE - FACING WEST



**I** VIEW TOWARDS ROUTE 2 - FACING NORTH

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BELMONT, MA

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DATE: NOVEMBER 04, 2020  
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SCALE: 1"=20'

DRAWING TITLE

EXISTING  
CONDITIONS

DRAWING NUMBER

**A002**





1 SITE AXON

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 SCALE:

DRAWING TITLE  
 PROJECT AXON

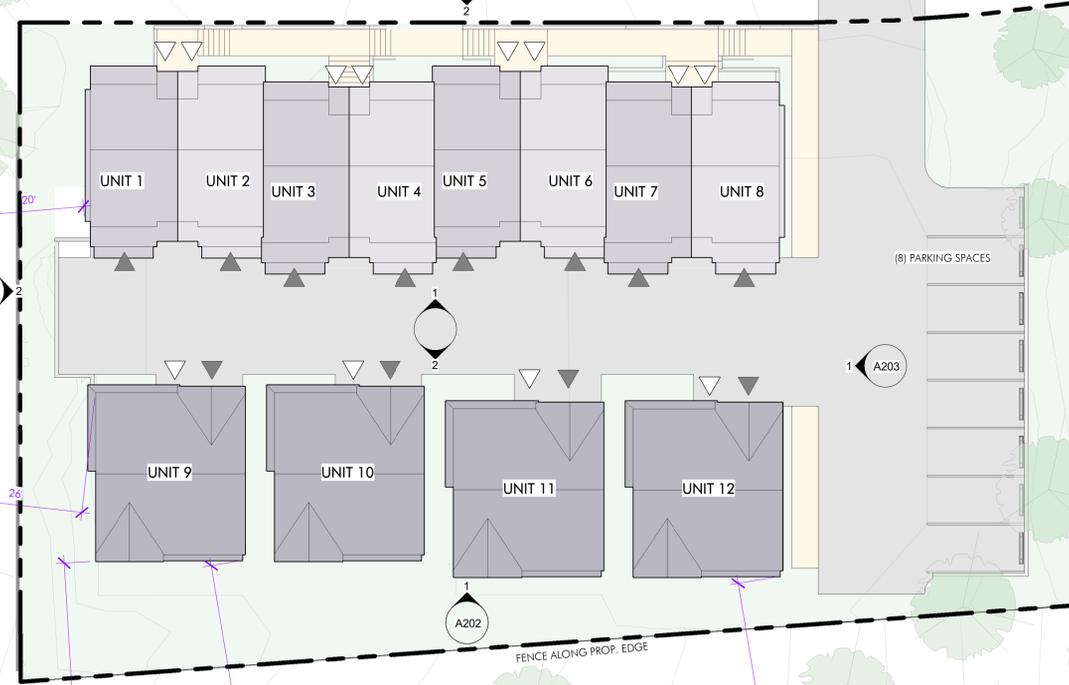
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**A005**  
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- ▲ SITE ENTRY
- ▲ GARAGE ENTRY
- △ UNIT ENTRY

ROUTE 2 - CONCORD TURNPIKE

PEDESTRIAN BRIDGE

HINCKLEY WAY



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DRAWING TITLE  
**ARCHITECTURAL SITE PLAN**

DRAWING NUMBER  
**A010**  
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GENERAL NOTE: REFER TO CIVIL DRAWINGS FOR SITE INFORMATION AND DETAILS



1 SITE SECTION - N TO S  
1" = 10'-0"



2 SITE SECTION - W TO E  
1" = 10'-0"

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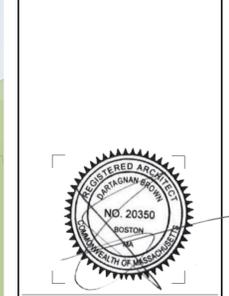
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DRAWING TITLE  
**SITE SECTION**

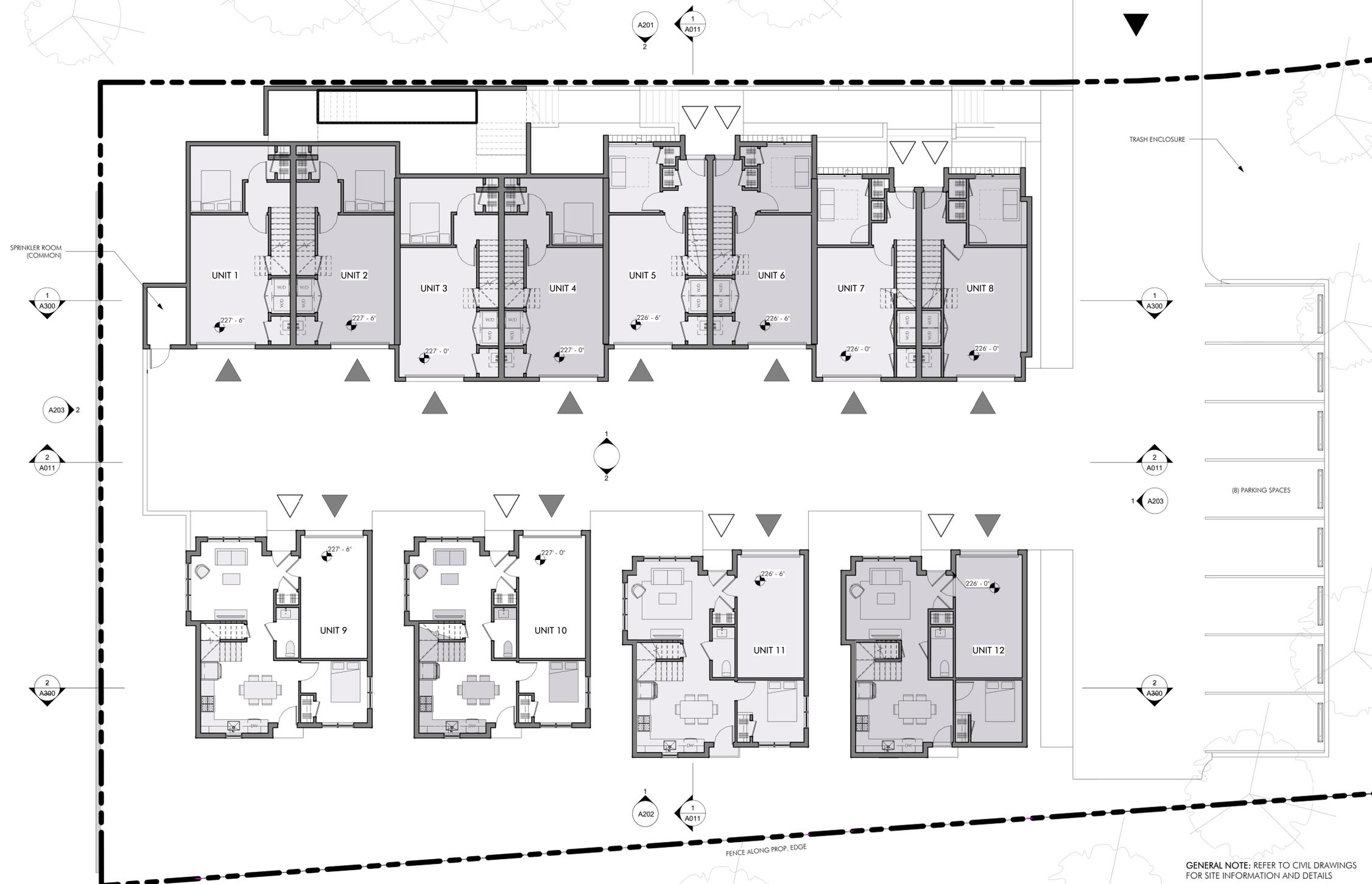
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▲ SITE ENTRY

▲ GARAGE ENTRY

△ UNIT ENTRY



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DRAWING INFORMATION

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DATE: NOVEMBER 04, 2020  
PROJECT #: 20004  
SCALE: 1/8" = 1'-0"

DRAWING TITLE

FIRST FLOOR  
PLAN

DRAWING NUMBER

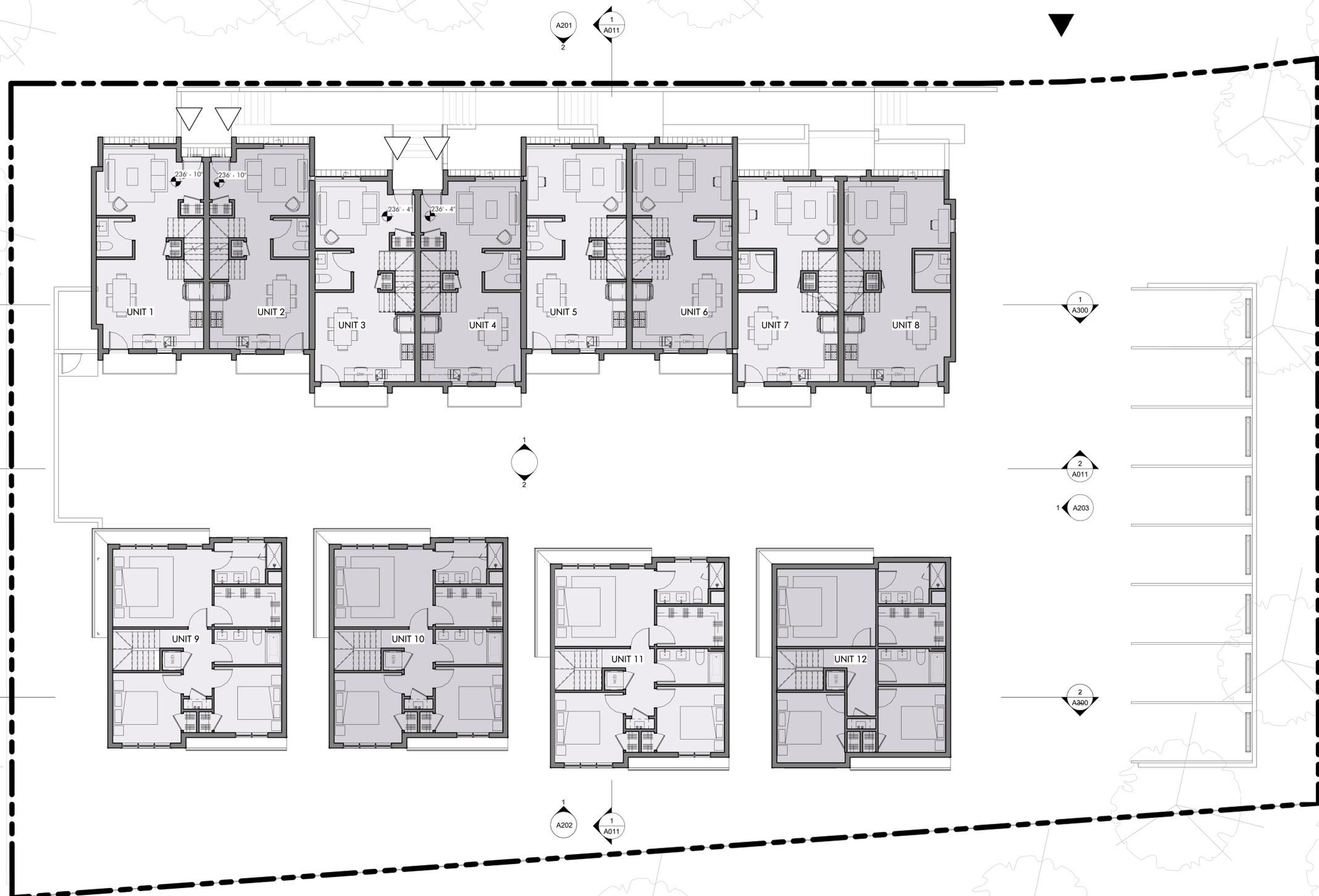
**A101**

GENERAL NOTE: REFER TO CIVIL DRAWINGS  
FOR SITE INFORMATION AND DETAILS

▲ SITE ENTRY

▲ GARAGE ENTRY

△ UNIT ENTRY



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DRAWING TITLE

SECOND FLOOR  
PLAN

DRAWING NUMBER

A102

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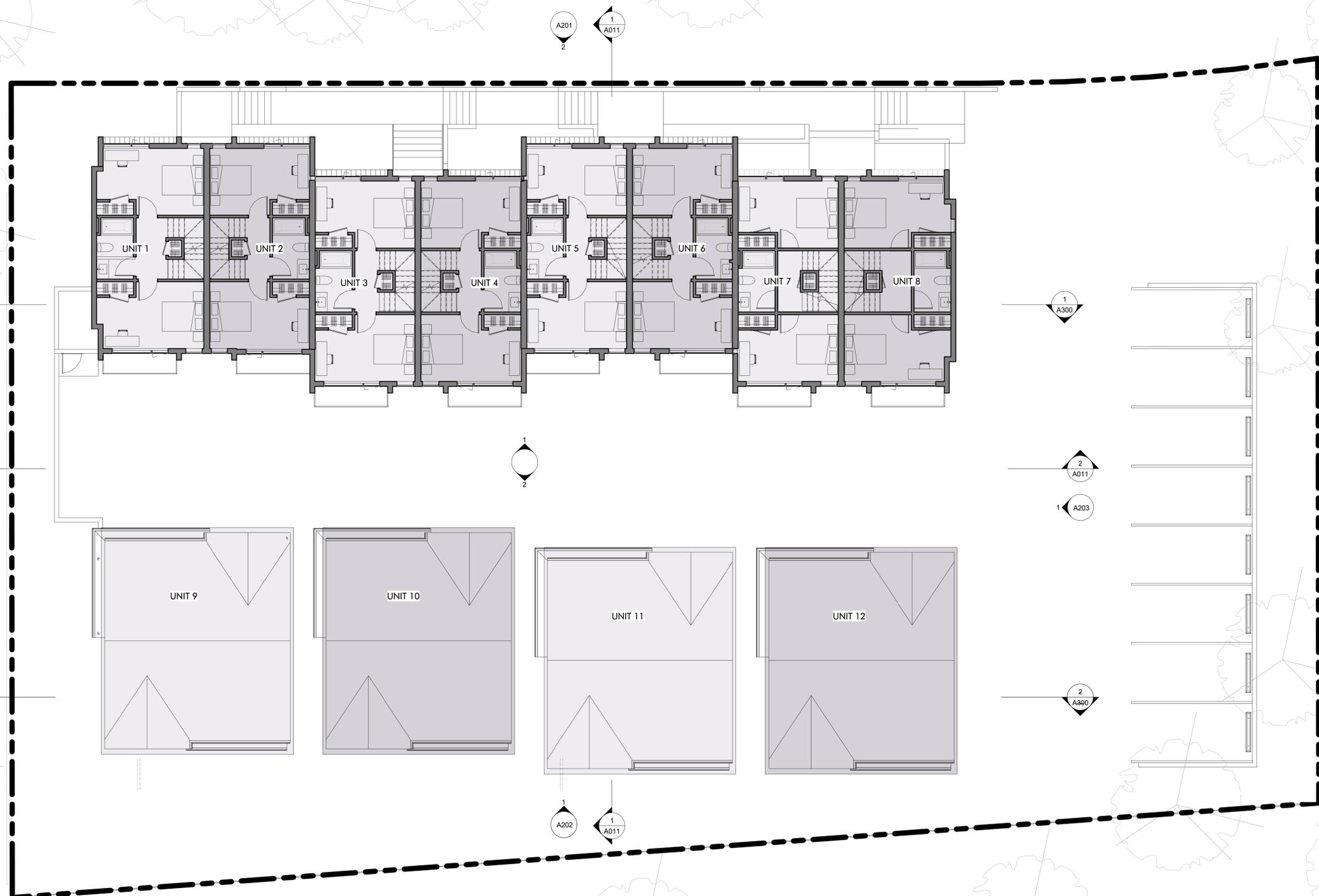
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PROJECT #: 20004

SCALE: 1/8" = 1'-0"

DRAWING TITLE

THIRD FLOOR

PLAN

DRAWING NUMBER

A103

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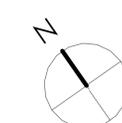
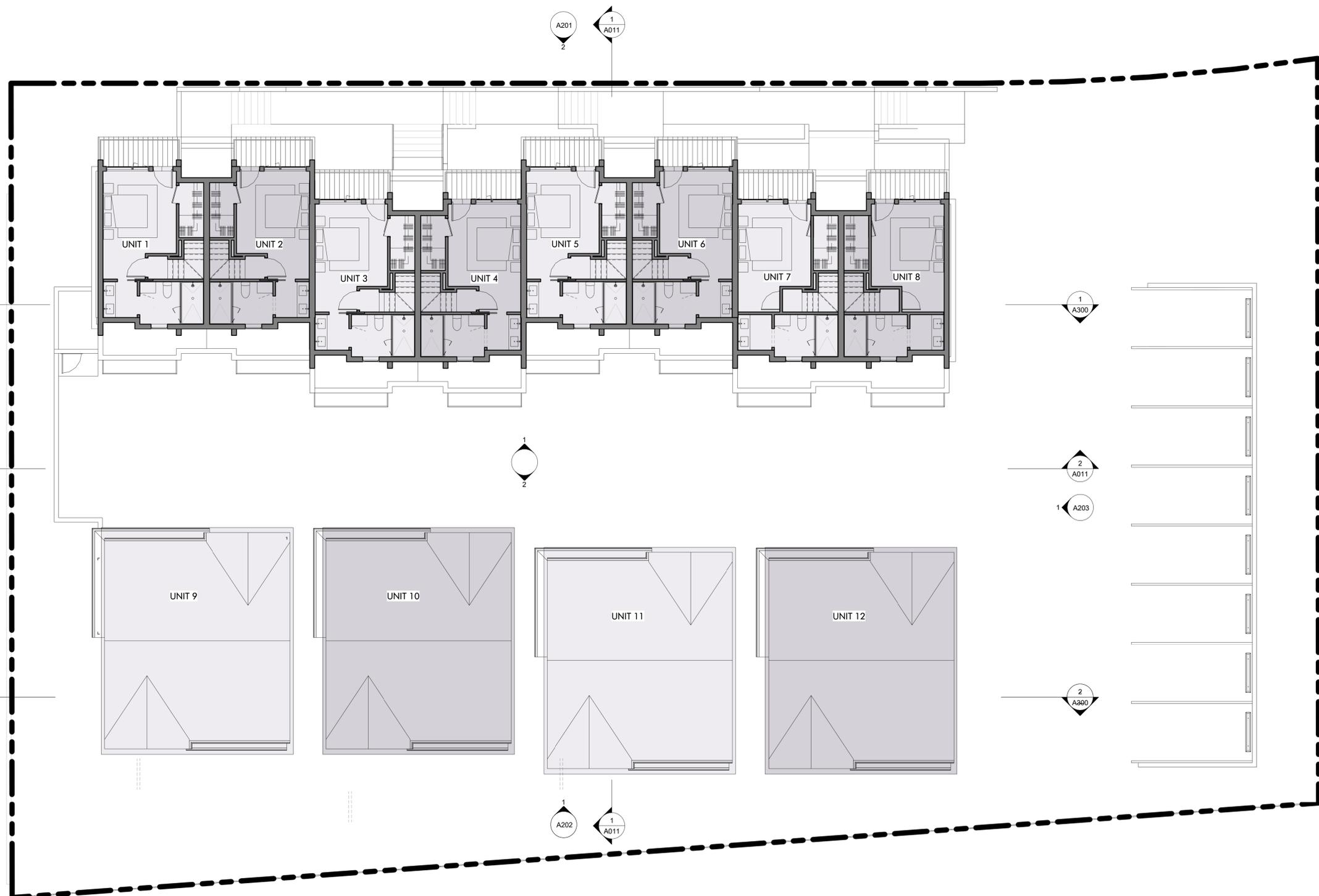
ISSUE: COMPREHENSIVE PERMIT SUBMISSION  
DATE: NOVEMBER 04, 2020  
PROJECT #: 20004  
SCALE: 1/8" = 1'-0"

DRAWING TITLE

FOURTH FLOOR  
PLAN

DRAWING NUMBER

A104





2 NORTH ELEVATION (TYPE A UNITS FRONT)  
1/8" = 1'-0"



1 SOUTH ELEVATION (TYPE A UNITS REAR)  
1/8" = 1'-0"

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SCALE: 1/8" = 1'-0"

DRAWING TITLE

EXTERIOR  
ELEVATIONS

DRAWING NUMBER

A201



2 NORTH ELEVATION (TYPE B UNITS FRONT)  
1/8" = 1'-0"



1 SOUTH ELEVATION (TYPE B UNITS REAR)  
1/8" = 1'-0"

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DRAWING INFORMATION

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PROJECT #: 20004  
SCALE: 1/8" = 1'-0"

DRAWING TITLE

EXTERIOR  
ELEVATIONS

DRAWING NUMBER

A202

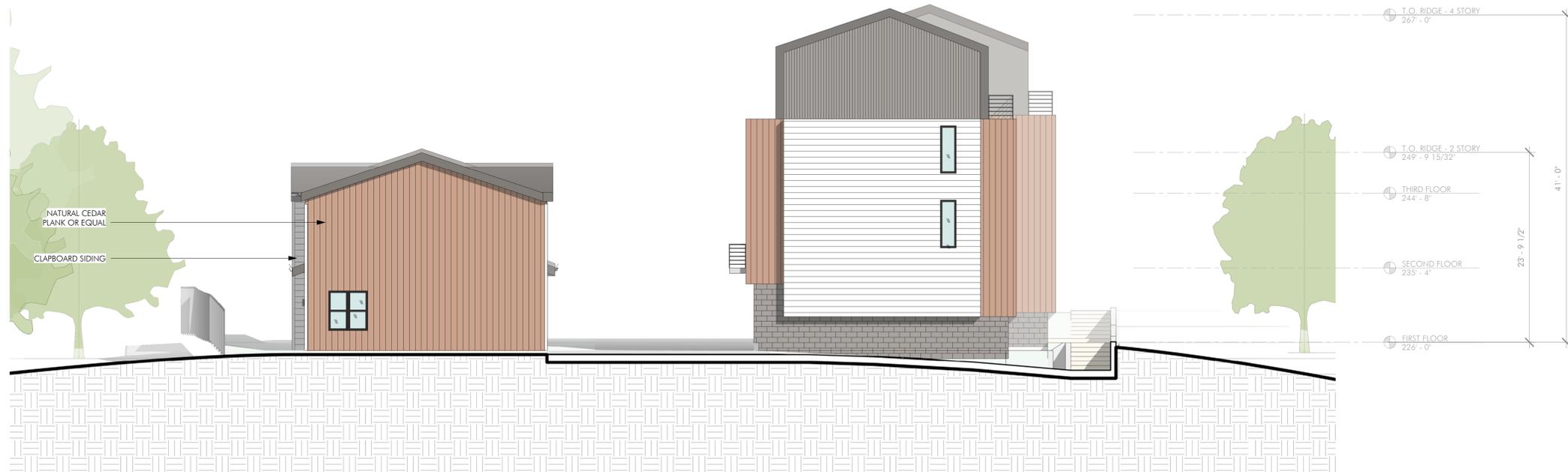
OWNER

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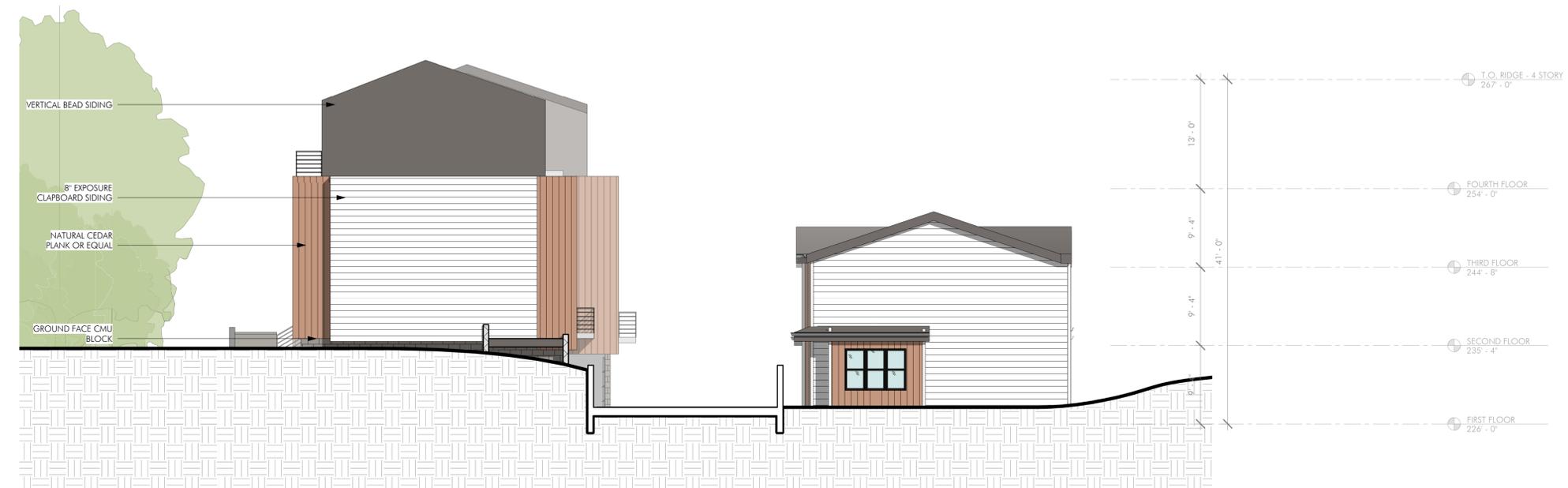
CONSULTANTS

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1 EAST ELEVATION  
1/8" = 1'-0"



2 WEST ELEVATION  
1/8" = 1'-0"

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SCALE: 1/8" = 1'-0"

DRAWING TITLE

EXTERIOR  
ELEVATIONS

DRAWING NUMBER

A203

REVISIONS

MARK	ISSUE	DATE

DRAWING INFORMATION

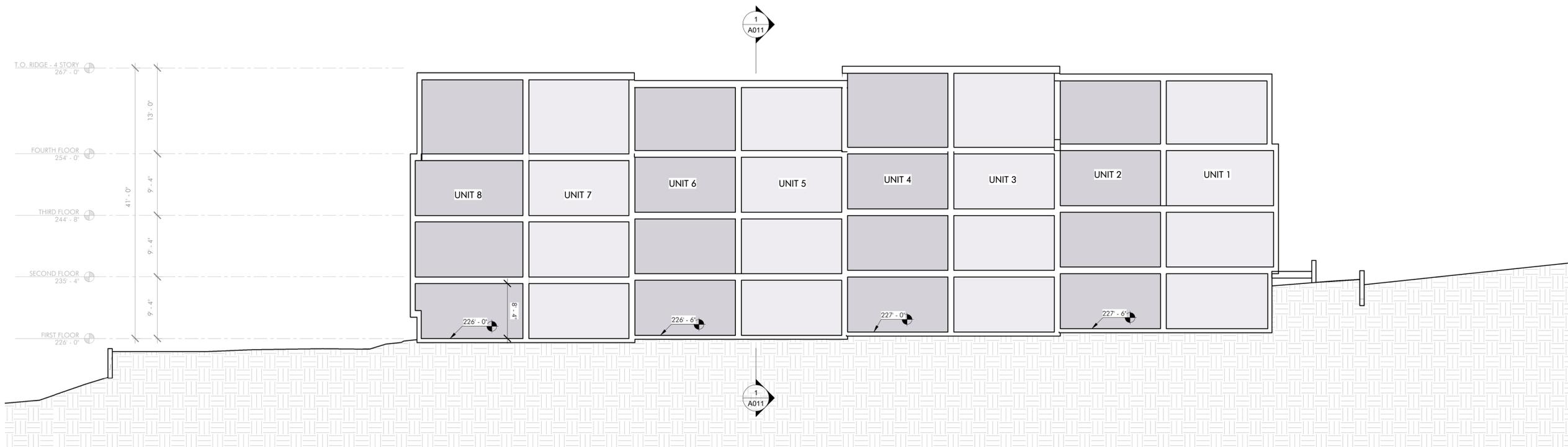
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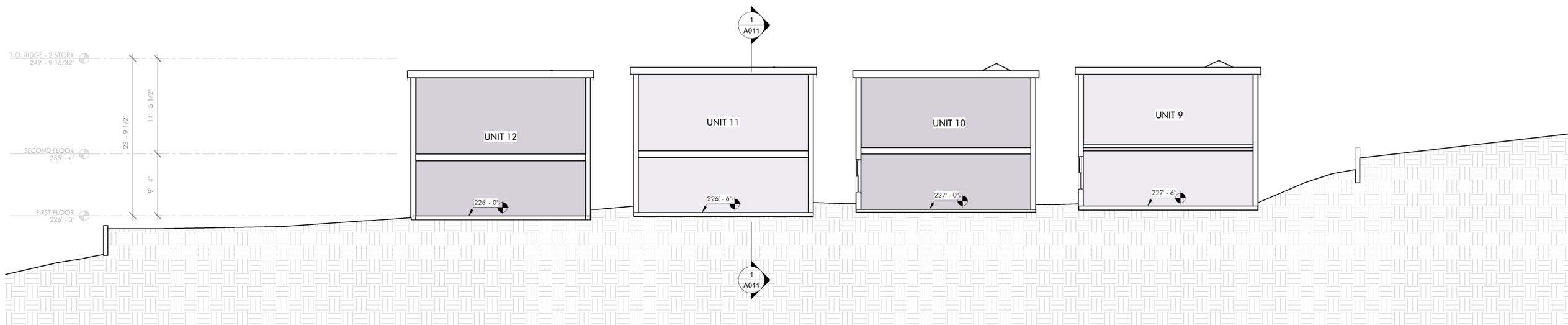
BUILDING  
 SECTION

DRAWING NUMBER

A300



1 BUILDING SECTION - TYPE A UNITS  
 1/8" = 1'-0"



2 BUILDING SECTION - TYPE B UNITS  
 1/8" = 1'-0"



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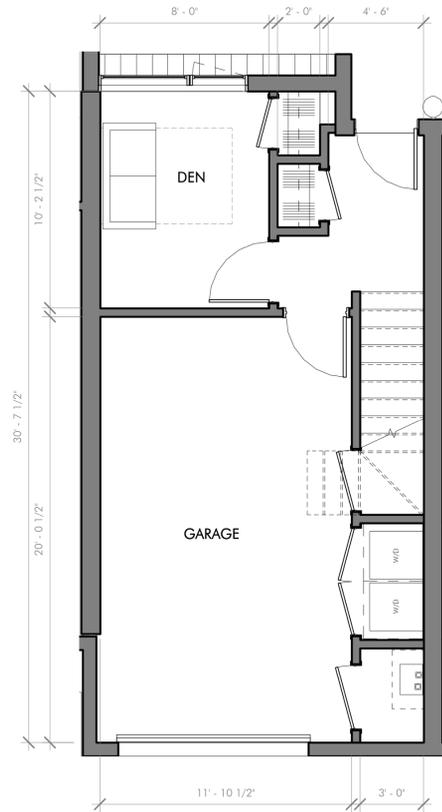
ARCHITECTURAL  
RENDERING

**DRAWING NUMBER**

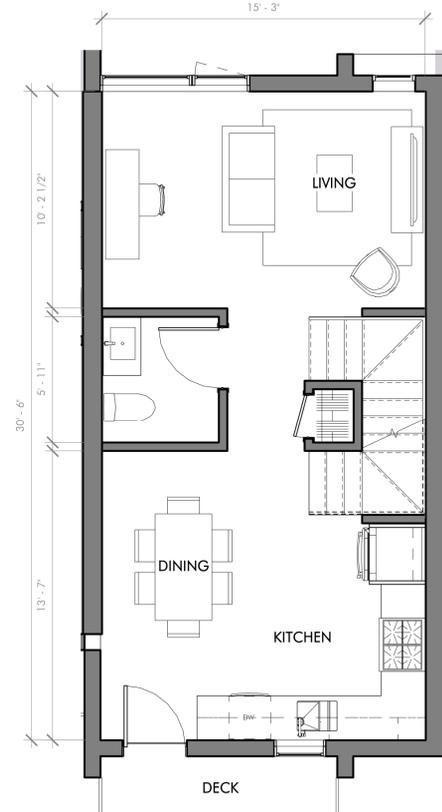
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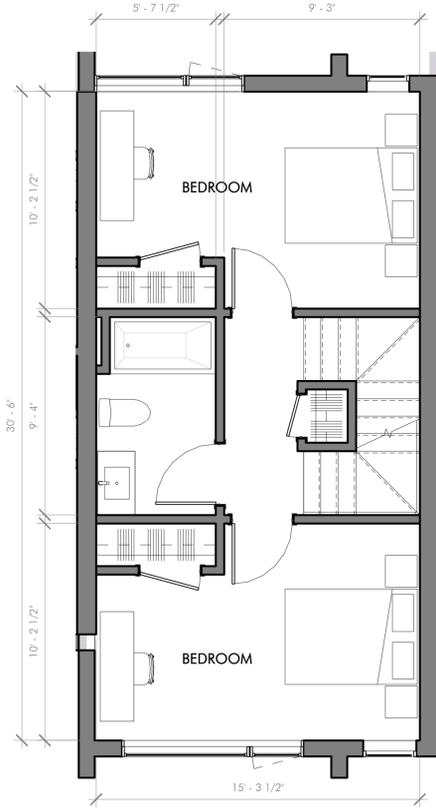
4-STORY TOWNHOUSE - 1ST FLOOR ENTRY (TYP.)



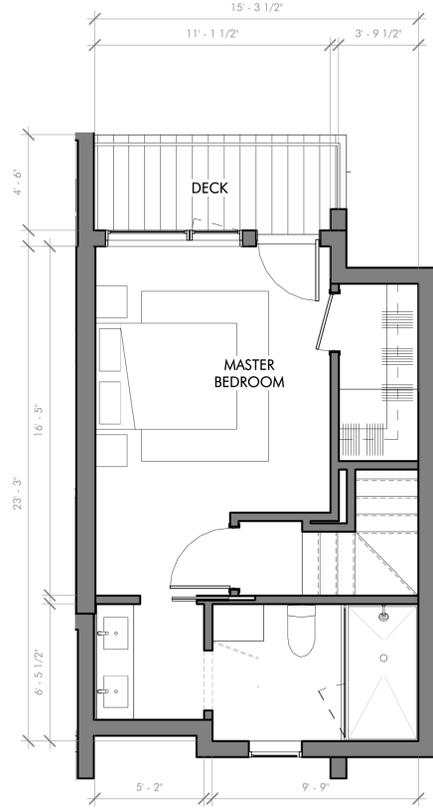
1 TYPICAL A1 UNIT PLAN - FIRST FLOOR  
1/4" = 1'-0"



3 TYPICAL A1 UNIT PLAN - SECOND FLOOR  
1/4" = 1'-0"

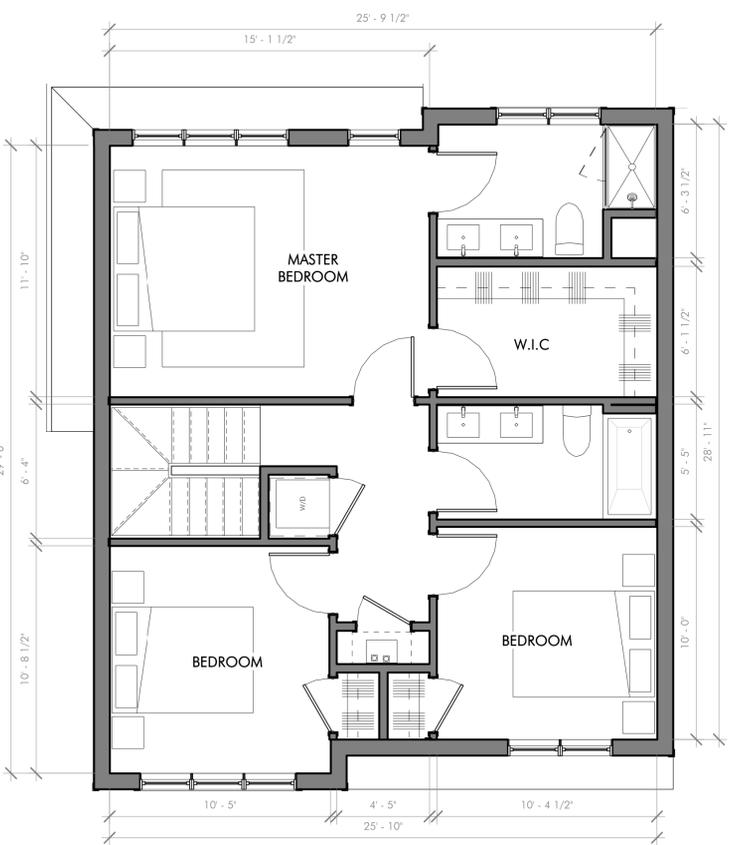


5 TYPICAL A1 UNIT PLAN - THIRD FLOOR  
1/4" = 1'-0"



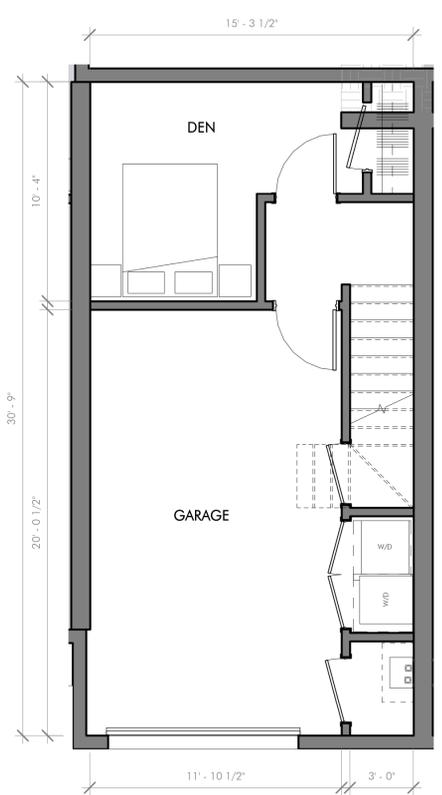
7 TYPICAL A1 UNIT PLAN - FOURTH FLOOR  
1/4" = 1'-0"

2-STORY DETACHED - 1ST FLOOR ENTRY (TYP.)

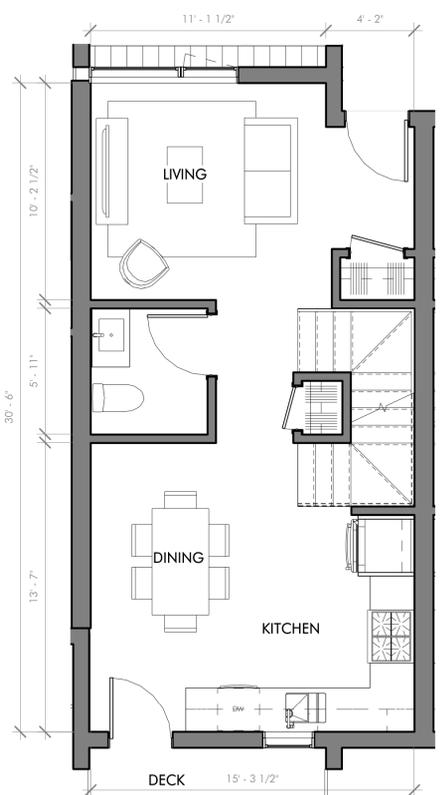


10 TYPICAL TYPE B UNIT PLAN - SECOND FLOOR  
1/4" = 1'-0"

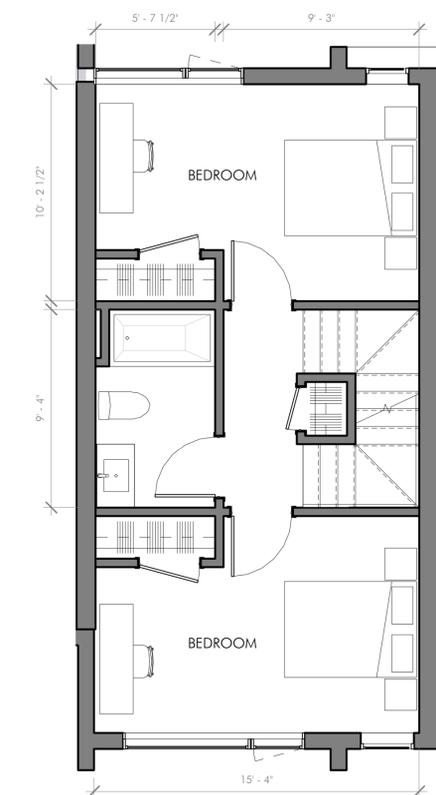
4-STORY TOWNHOUSE - 2ND FLOOR ENTRY (TYP.)



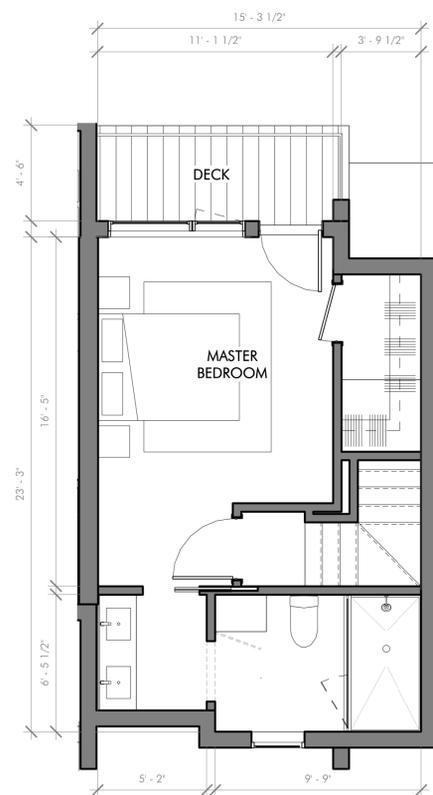
2 TYPICAL A2 UNIT PLAN - FIRST FLOOR  
1/4" = 1'-0"



4 TYPICAL A2 UNIT PLAN - SECOND FLOOR  
1/4" = 1'-0"



6 TYPICAL A2 UNIT PLAN - THIRD FLOOR  
1/4" = 1'-0"



8 TYPICAL A2 UNIT PLAN - FOURTH FLOOR  
1/4" = 1'-0"



9 TYPICAL B UNIT PLAN - FIRST FLOOR  
1/4" = 1'-0"

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TYPICAL UNIT  
PLANS

DRAWING NUMBER

**A500**