

RECEIVED  
TOWN CLERK  
BELMONT, MA

CASE NO. 23-28

2023 OCT 17 AM 10:50

NOTICE OF PUBLIC HEARING BY THE  
ZONING BOARD OF APPEALS

ON APPLICATION FOR FOUR SPECIAL PERMITS

Notice is hereby given that the Belmont Zoning Board of Appeals will hold a public hearing on Thursday, November 16, 2023 at 7:00 PM by a hybrid public hearing at the Art Gallery on the third floor of the Homer Building, 19 Moore Street, and by remote access through the Zoom app. to consider the application of Angelo Marchio, for FOUR Special Permits under section 1.5 of the By-Law to reconstruct a two-story front porch, construct a rear deck, and build a rear addition at 45 Trapelo Road located in a Single Residence C (SR-C) Zoning District. Special Permit: (1) §4.2 of the By-Law allows for a maximum building height of two and a half (2-1/2) stories. The existing structure is three and a half (3-1/2) stories since the lowest level of the dwelling is a basement (51.3% of the foundation walls are below grade) and is considered a story. The proposed rear addition is located at a third (3) story level. (2) allows for a maximum building height of two and a half (2-1/2) stories. The existing structure is three and a half (3-1/2) stories since the lowest level of the dwelling is a basement (51.3% of the foundation walls are below grade) and is considered a story. The proposed front balcony is located at a third (3) story level. (3) allows for a maximum lot coverage of 25.0%. The existing lot coverage is 36.5% and the proposed lot coverage is 36.3%. (4) requires a minimum rear setback of 17.6', the existing rear setback is 10.3' and the proposed rear setback is 4.0'.

ZONING BOARD OF APPEALS



Town of Belmont  
Zoning Board of Appeals

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**APPLICATION FOR A SPECIAL PERMIT**

Date: September 19, 2023

Zoning Board of Appeals  
Homer Municipal Building  
19 Moore Street  
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 45 TRAPELO ROAD Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for \_\_\_\_\_

- 1) THREE STORY STAIR ADDITION
- 2) NEW BALCONY AT THIRD STORY
- 3) BUILDING EXCEEDS LOT COVERAGE MAXIMUM
- 4) REAR SETBACK EXISTING & PROPOSED IS NON-CONFORMING

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner

*Angelo Marchio*

Print Name

ANGELO MARCHIO

Address

172 CUSHING STREET

CAMBRIDGE, MA 02138

Daytime Telephone Number

617.224.3068

September 19, 2023

Board of Zoning Appeals  
Town of Belmont  
Belmont, MA

Re: Special Permit application

Project/address: Marchio Residence two-family, 45 Trapelo Road

The existing two-family house at 45 Trapelo Road has been in the Marchio family for decades, and has been occupied as a rental property. Since acquiring the property from his father, and dividing ownership between himself and his niece, Romina Romei, Angelo Marchio has been planning a complete renovation of the house into a viable, drastically upgraded and modern two-family that his niece will occupy as her primary residence. Since two units stacked require two stairs, and since the existing second (rear) stair is both dangerously steep and narrow and doesn't meet the Code, a new safe second stair is mandated. We would like to preserve two bedrooms in each unit.

As we understand it, we are seeking four Special Permits:

- 1) The existing lowest level of the house is considered a storey, largely due to the fact that the garage is within the building and thus causes a lower grade elevation. We want to keep that below-average grade garage since it provides safe off-street parking and preserves both on-street municipal parking and a bus stop. This storey-below grade results in our requested second stair addition being considered a 3-storey structure.
- 2) The storey-below grade designation results in our above-front-porch balcony being defined as a balcony at the third storey.
- 3) We have reduced the footprint of the two-floor covered front porch in order to both garner more sunlight at the interior of both units and to reduce lot coverage. With our proposed second stair rear addition, although we have reduced lot coverage we are still over the maximum.
- 4) The non-conforming rear setback remains non-conforming due to our stair addition. We have been careful to align its south side with the south facade of the neighbor's zero-lot-line accessory garage structure so as not to impinge on perceived space yard-to-yard.

Deadline for November Hearing  
October 2nd.

OFFICE OF COMMUNITY DEVELOPMENT  
TOWN OF BELMONT

19 Moore Street  
Homer Municipal Building  
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division  
(617) 993-2664  
Engineering Division  
(617) 993-2665  
Planning Division  
(617) 993-2666



August 3, 2023

Sept. 12 ~~15~~  
Tue 11:00  
19 Moore St.

Angelo Marchio,  
45 Trapelo Road  
Belmont, MA 02478

RE: Denial to reconstruct front porch, construct rear deck, and build rear addition

Dear Mr. Marchio,

The Office of Community Development is in receipt of your building permit application to reconstruct a two-story front porch, construct a rear deck, and build a rear addition at 45 Trapelo Road located in a Single Residence C (SRC) Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Law. More specifically, Section 4.2 of the Zoning By-Law Dimensional Regulations allows a maximum building height of two and a half (2-1/2) stories, a maximum lot coverage of 25.0% and requires a minimum rear setback of 17.6'.

1. The existing structure is three and a half (3-1/2) stories. The lowest level of the dwelling is a basement (51.3% of the foundation walls are below grade) and is considered a story. The proposed rear addition is located at a three and a half (3-1/2) story level.
2. The existing structure is three and a half (3-1/2) stories. The lowest level of the dwelling is a basement (51.3% of the foundation walls are below grade) and is considered a story. The proposed front balcony is located at a three and a half (3-1/2) story level.
3. The existing lot coverage is 36.5% and the proposed lot coverage is 36.3%.
4. The existing rear setback is 10.3' and the proposed rear setback is 4.0'.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request Four (4) Special Permits from the **Zoning Board of Appeals**. If you choose this option, please contact the Office of Community Development to schedule an appointment with **Gabriel S. Distler**, Staff Planner, at (617) 993-2666 or [gdistler@belmont-ma.gov](mailto:gdistler@belmont-ma.gov) in order to begin the process.

Sincerely,



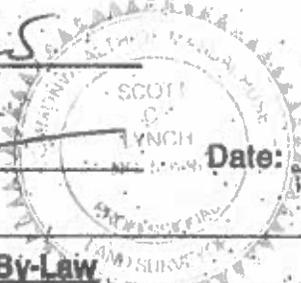
Glenn R. Clancy, P.E.  
Inspector of Buildings

## Zoning Compliance Check List

Properties Located within the SR-C Districts  
(To be Completed by a Registered Land Surveyor)

Property Address: 45 Tropico Road

Surveyor Signature and Stamp: *Scott Lynch* Date: 10/13/2022



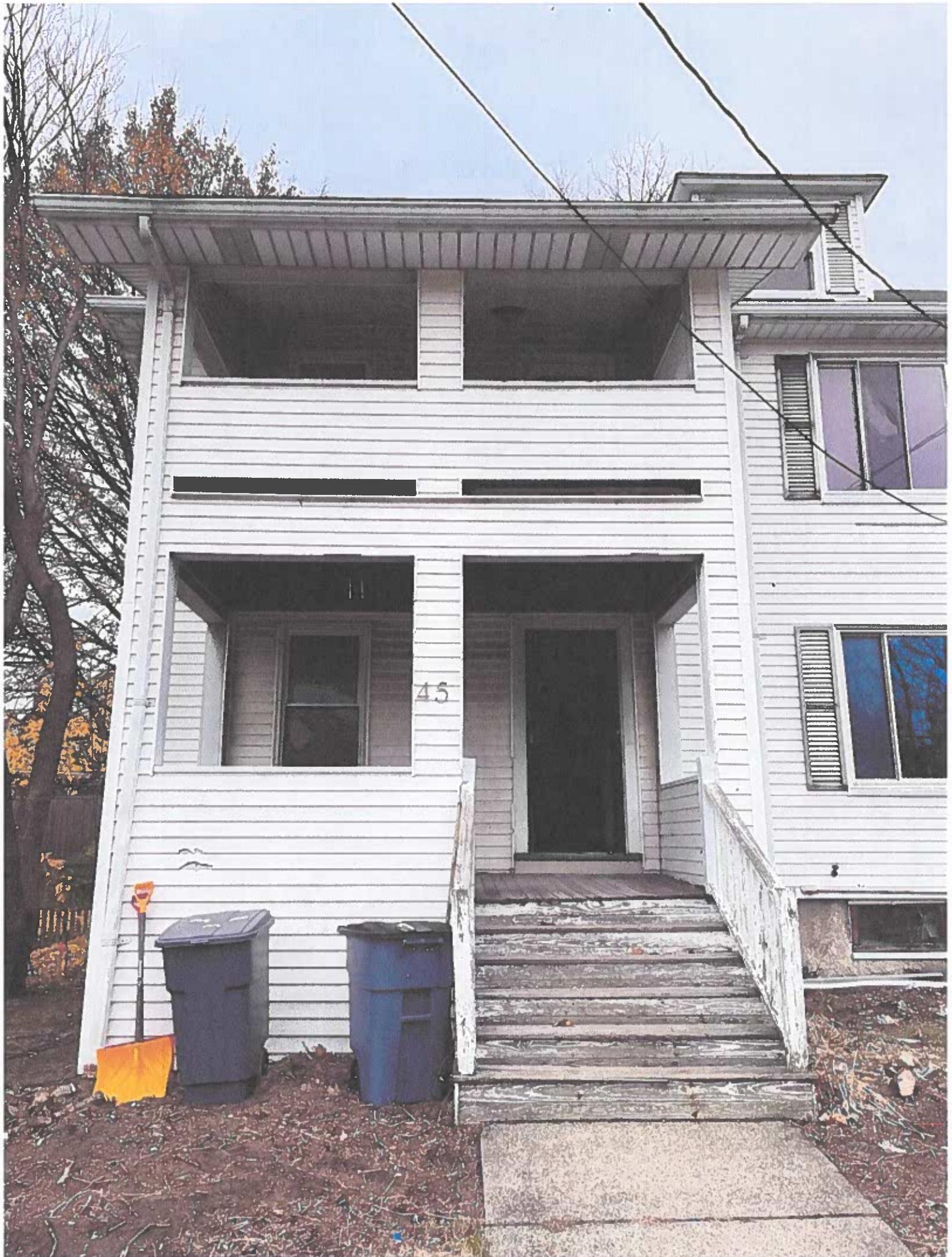
**Per §4.2 of the Zoning By-Law**

		REQUIRED	EXISTING	PROPOSED
Lot Area (sq. ft.)		9,000	3328	-
Lot Frontage (feet)		75.0	55.5	-
Lot Coverage (% of lot)		25%	36.5%	36.3%
Open Space (% of lot)		50%	50.6%	50.7%
Setbacks: (feet)	➤ Front <sup>(a)</sup>	17.85'	16.8	18.0'
	➤ Side/Side	10   10	5.3   5.4	-   -
	➤ Rear	18.0'	10.3	4.0'
Building Height:	➤ Midpoint (feet)	30'	26.85	-
	➤ Ridge (feet)			
	➤ Stories			
1/2 Story (feet) (Per §1.4)	➤ Perimeter (50%)			
	➤ Area (60%)			
	➤ Length (75%)			
HVAC:	Prohibited in Front Yard and Side and Rear Setbacks			

<sup>(a)</sup> Front setback is equal to the average front setbacks of the abutting properties on either side.

SUBMIT CALCULATIONS for all of the requirements listed above on a separate piece of paper(s) to verify how they were calculated





45



# MARCHIO RESIDENCE

## 45 TRAPELO ROAD, BELMONT, MASSACHUSETTS

ARCHITECT  
**SMART ARCHITECTURE**  
 33 LAWN STREET, CAMBRIDGE, MA 02138  
 T: 617.576.2720 www.smartarchitecture.net

### DRAWING INDEX:

A-0.0	Cover Page
A-2.0	Existing First Story Plan
A-3.0	Proposed First Story Plan
A-2.1	Existing Second Story Plan
A-3.1	Proposed Second Story Plan
A-2.2	Existing Third Story Plan
A-3.2	Proposed Third Story Plan
A-2.3	Existing Half Story Plan
A-3.3	Proposed Half Story Plan
A-6.0	Existing Front Elevation
A-7.0	Proposed Front Elevation
A-6.1	Existing NW Side Elevation
A-7.1	Proposed NW Side Elevation
A-6.2	Existing Rear Elevation
A-7.2	Proposed Rear Elevation
A-6.3	Existing SE Side Elevation
A-7.3	Proposed SE Side Elevation

### Stretch Energy Code Compliance - Prescriptive Option for Residential Alterations

Alterations to this existing building shall conform to Chapter 11 - Energy Efficiency 2015 International Residential Code w/ Massachusetts Amendments, and shall further demonstrate compliance with:

- Implementation of the Energy Star Qualified Homes Thermal Bypass Inspection List:
  - Overall Air Barrier and Thermal Barrier Alignment - Insulation shall be installed in full contact with sealed interior and exterior air barrier except for alternate to interior air barrier under *Walls Adjoining Exterior Walls or Unconditioned Spaces*.
  - Walls Adjoining Exterior Walls or Unconditioned Spaces - Fully insulated wall aligned with air barrier at both interior & exterior, or, Alternate for Climate Zones 1 thru 3, sealed exterior air barrier aligned with RESNET grade 1 Insulation fully supported. Continuous top and bottom plates or sealed blocking.
  - Floors between Conditioned and Exterior Spaces - Air barrier is installed at any exposed fibrous insulation edges. Insulation is installed to maintain permanent contact with sub-floor above including necessary supports. Blanket insulation is verified to have no gaps, voids or compression. Blown-in insulation is verified to have proper density with firm packing.
  - Shafts - Opening to unconditioned space are fully sealed with solid blocking or flashing and any remaining gaps are sealed with caulk or foam (provide fire-rated collars and caulking where req'd).
  - Attic/ Ceiling Interface - All attic penetrations and dropped ceilings include a full interior air barrier aligned with insulation with any gaps fully sealed with caulk, foam or tape. Movable insulation fits snugly in opening and air barrier is fully gasketed.
- All Windows, Doors, and Skylights shall meet the minimum Energy Star Requirements for U-factor: Windows  $\leq 0.30$ ; Solid Doors  $\leq 0.21$ ; More than 50% Glass  $\leq 0.32$ ; Skylights  $\leq 0.55$
- Ducts for new HVAC systems shall be sealed and tested post-construction to demonstrate leakage to outdoors of less than or equal to 4 cfm per 100 SF of conditioned floor area, except where the air handler and all ducts are located within *conditioned space*.
- Electrical Power and Lighting Systems: Lighting equipment (Prescriptive). A minimum of 50 percent of the lamps in permanently installed lighting fixtures shall be high-efficiency lamps.

### ENERGY CODE COMPLIANCE

1

Board of Zoning Appeal  
Application



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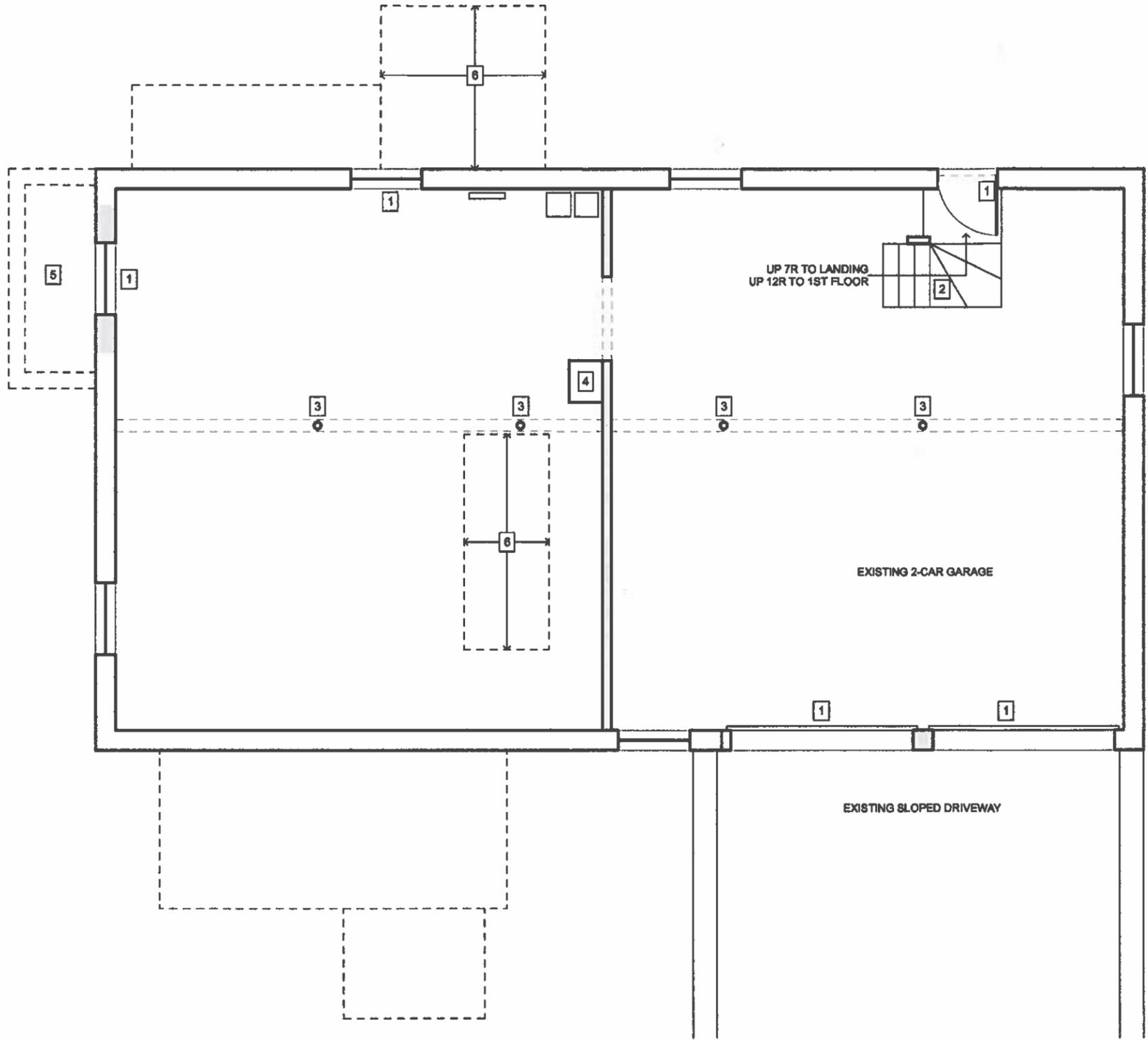
**SMART ARCHITECTURE**  
 33 LAWN STREET, CAMBRIDGE, MA 02138

**Marchio Residence**  
 45 Trapele Road  
 Belmont, MA

Job number	2309
Scale	as noted
Date	09.19.23
Drawn by	rb
Checked by	msb

Cover Page

A-0.0



- PROPOSED BASEMENT DEMOLITION NOTES:**
- 1 REMOVE DOOR OR WINDOW.
  - 2 REMOVE STAIR ENTIRELY.
  - 3 REMOVE LALLY COLUMN AND SUPPORT.
  - 4 REMOVE CHIMNEY THROUGH ROOF.
  - 5 REMOVE SECTION OF FIRST FLOOR FRAMING FOR NEW STAIR OPENING.
  - 6 EXCAVATE FOR NEW WINDOW WELL.
  - 7 EXCAVATE FOR FOOTING FOR NEW EXTERIOR STAIR.

- DRAWING KEY:**
- WALLS TO BE DEMOLISHED
  - EXISTING WALLS TO REMAIN

EXISTING FIRST STORY PLAN

3/16" = 1'-0" 1

Board of Zoning Appeal  
Application



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Belmont, MA

Job number	2309
Scale	as noted
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Drawn by	rb
Checked by	mab

Existing First Story  
Plan

**A-2.0**



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**SMART  
ARCHITECTURE**  
33 LAWN STREET, CAMBRIDGE, MA 02138

**Marchio Residence**  
45 Trapelo Road  
Belmont, MA

Job number 2308

Scale as noted

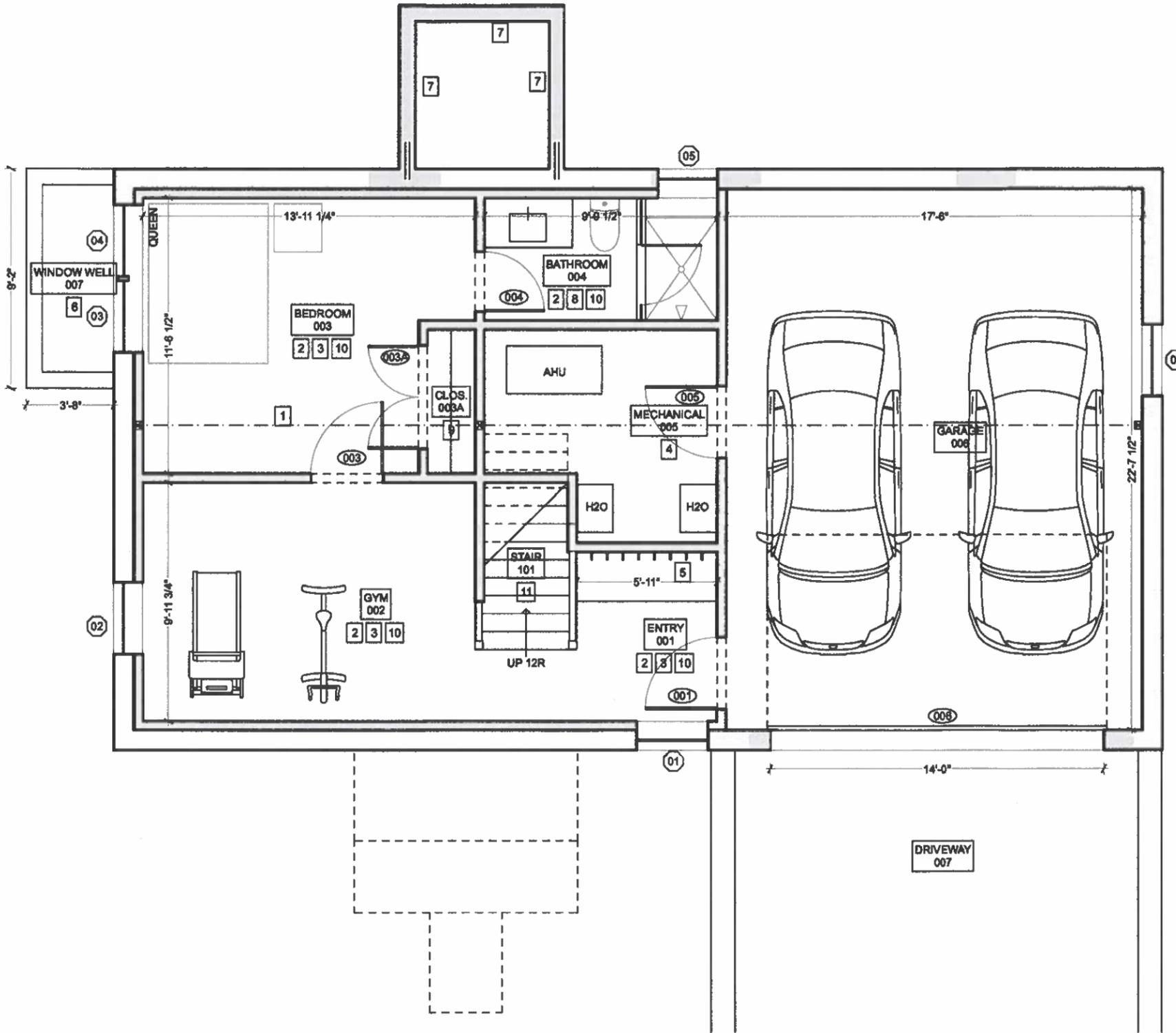
Date 09.19.23

Drawn by rb

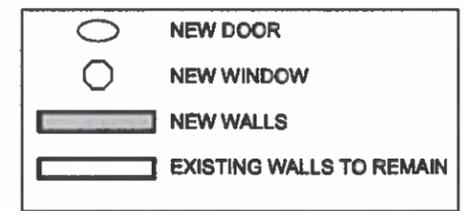
Checked by msb

Proposed First Story  
Plan

**A-3.0**



- BASEMENT CONSTRUCTION NOTES:**
- 1 NEW FLUSH BEAM.
  - 2 NEW 5/8" BLUEBOARD AND SMOOTH PLASTER WALLS & CEILING. INSULATE EXTERIOR WALLS TO MAXIMUM POSSIBLE R-VALUE.
  - 3 NEW ENGINEERED WOOD FLOOR WITH UNDERLAYMENT.
  - 4 NEW MECHANICAL ROOM. RELOCATE ELECTRIC PANELS TO THIS ROOM, AND RELOCATE GAS METERS TO EXTERIOR.
  - 5 NEW PAINTED WOOD BUILT-IN, DESIGN TBD.
  - 6 NEW WINDOW WELL. 8" POURED CONCRETE.
  - 7 NEW FROST WALL FOR NEW EXTERIOR STAIR ADDITION. 8" THICK, B.O. FOOTING MINIMUM 4'-0" BELOW GRADE.
  - 8 NEW BATHROOM. TILED FLOOR AND SHOWER. SHOWER WITH GLASS ENCLOSURE AND COPPER PAN, PAINTED WOOD VANITY WITH STONE COUNTER & UNDERMOUNT SINK, DESIGN TBD. NEW W.C.
  - 9 CLOSET WITH POLE AND SHELF.
  - 10 PAINT ROOM.
  - 11 NEW STAIR TO FIRST FLOOR. OAK TREADS, PAINTED RISERS. WOOD BANISTER AND NEWEL, PAINTED WOOD BALUSTERS.



PROPOSED FIRST STORY PLAN

3/16" = 1'-0" 1



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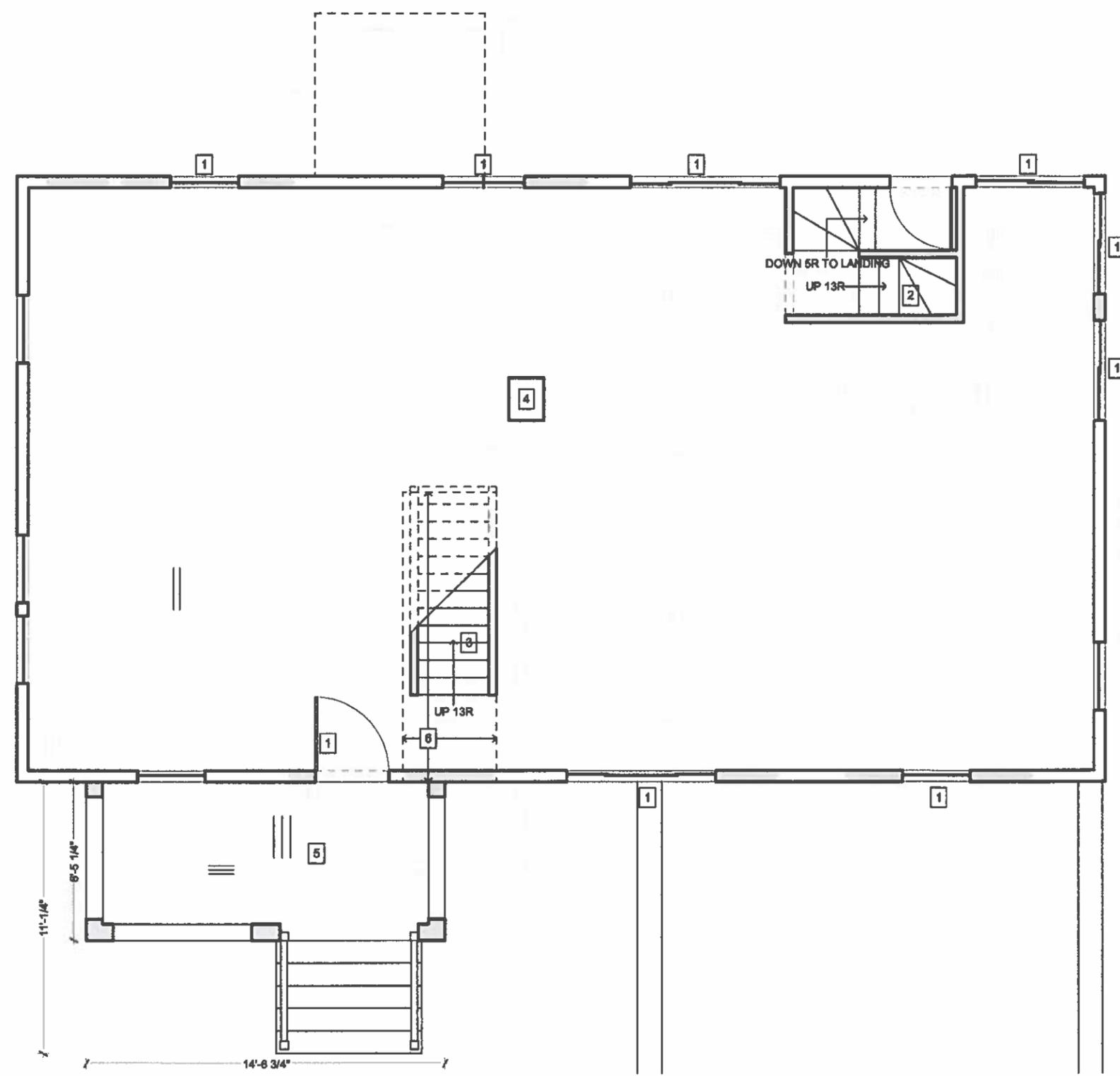
**SMART ARCHITECTURE**  
33 LAWN STREET, CAMBRIDGE, MA 02138

**Marchio Residence**  
45 Trapelo Road  
Belmont, MA

Job number	2309
Scale	as noted
Date	09.19.23
Drawn by	rb
Checked by	mab

Existing Second Story Plan

**A-2.1**

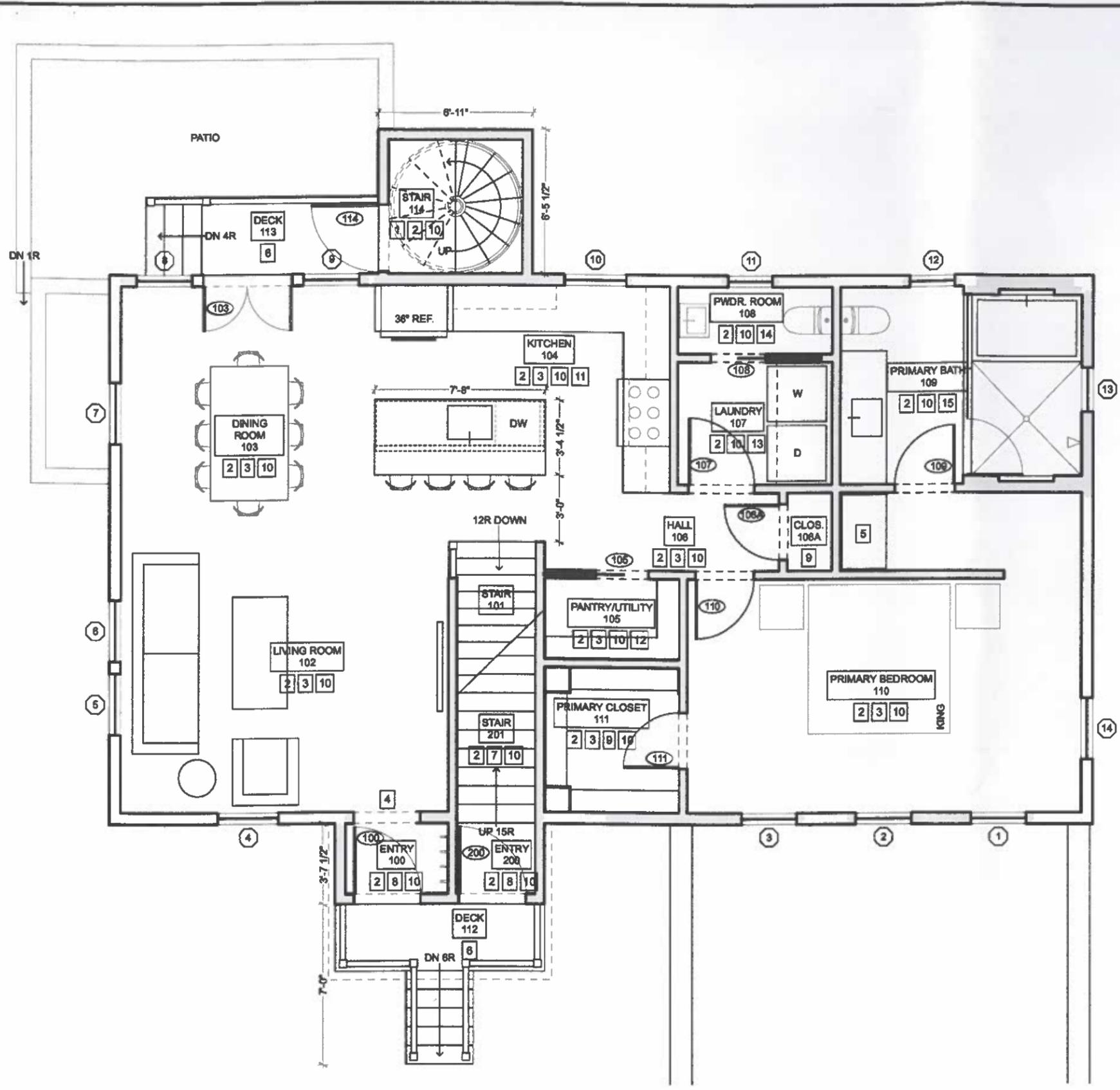


- FIRST FLOOR DEMOLITION NOTES:**
- 1 REMOVE DOOR OR WINDOW.
  - 2 REMOVE STAIR ENTIRELY.
  - 3 REMOVE STAIR FOR RECONSTRUCTION.
  - 4 REMOVE CHIMNEY THROUGH ROOF.
  - 5 REMOVE 2-STORY COVERED PORCH AND STAIR FOR NEW 1-STORY RECONSTRUCTION.
  - 6 REMOVE SECTION OF SECOND FLOOR FRAMING AND EXTERIOR WALL FOR WIDER STAIR OPENING.

- DRAWING KEY:**
- WALLS TO BE DEMOLISHED
  - EXISTING WALLS TO REMAIN

**EXISTING SECOND STORY PLAN**

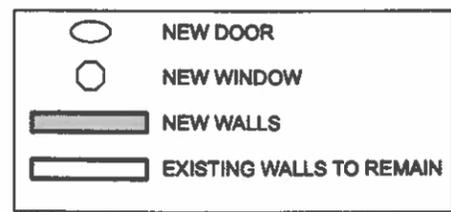
3/16" = 1'-0" 1



PROPOSED SECOND STORY PLAN

3/16" = 1'-0" ①

- FIRST FLOOR CONSTRUCTION NOTES:
- NEW STAIR ADDITION. IRON SPIRAL STAIR BUILT WITHIN ENCLOSED WALLS. GRIPPABLE IRON RAILING.
  - NEW 5/8" BLUEBOARD AND SMOOTH PLASTER WALLS & CEILING. INSULATE EXTERIOR WALLS TO MAXIMUM POSSIBLE R-VALUE.
  - NEW WOOD FLOOR.
  - NEW CASED OPENING.
  - NEW PAINTED WOOD BUILT-IN, DESIGN TBD.
  - NEW DECK. KEBONY DECKING, AZEK RISERS. AZEK WRAPPED P.T. POSTS, PAINTED WOODEN BALUSTERS, AZEK BANISTERS. GRANITE BOTTOM STEP.
  - NEW STAIR TO SECOND FLOOR. OAK TREADS, PAINTED RISERS. WOODEN BANISTER AND NEWEL, PAINTED WOOD BALUSTERS.
  - NEW ENCLOSED ENTRYWAY WITH TILE FLOOR.
  - CLOSET WITH POLE(S) AND SHELF.
  - PAINT ROOM.
  - NEW KITCHEN WITH CUSTOM PAINTED WOOD CABINETRY AND STONE CAOUNTERS. NEW 36" INDUCTION RANGE. NEW REFRIGERATOR. NEW ISLAND WITH UNDERMOUNT SINK AND DISHWASHER. PROVIDE MAKE-UP AIR TO NEW HOOD.
  - NEW PANTRY WITH PAINTED WOOD FLOOR TO CEILING SHELVES. HOOKS ON WALL.
  - NEW LAUNDRY ROOM. TILE FLOOR. SIDE BY SIDE WASHER AND GAS DRYER WITH STORAGE CABINETS AND FOLDING SURFACE ABOVE.
  - NEW POWDER ROOM. TILE FLOOR, NEW W.C., PEDESTAL SINK.
  - NEW PRIMARY BATHROOM. TILED FLOOR AND SHOWER, WET SHOWER AREA WITH COPPER PAN AND GLASS SHOWER ENCLOSURE, NEW FIXTURES AND DROP-IN TUB. PAINTED WOOD VANITY WITH STONE COUNTER & UNDERMOUNT SINK, DESIGN TBD. NEW W.C.



Board of Zoning Appeal Application



General Drawing Note:  
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SMART ARCHITECTURE  
33 LAWN STREET, CAMBRIDGE, MA 02138

Marchio Residence  
45 Trapelo Road  
Belmont, MA

Job number 2309

Scale as noted

Date 09.19.23

Drawn by rb  
mab

Checked by

Proposed Second Story Plan

A-3.1



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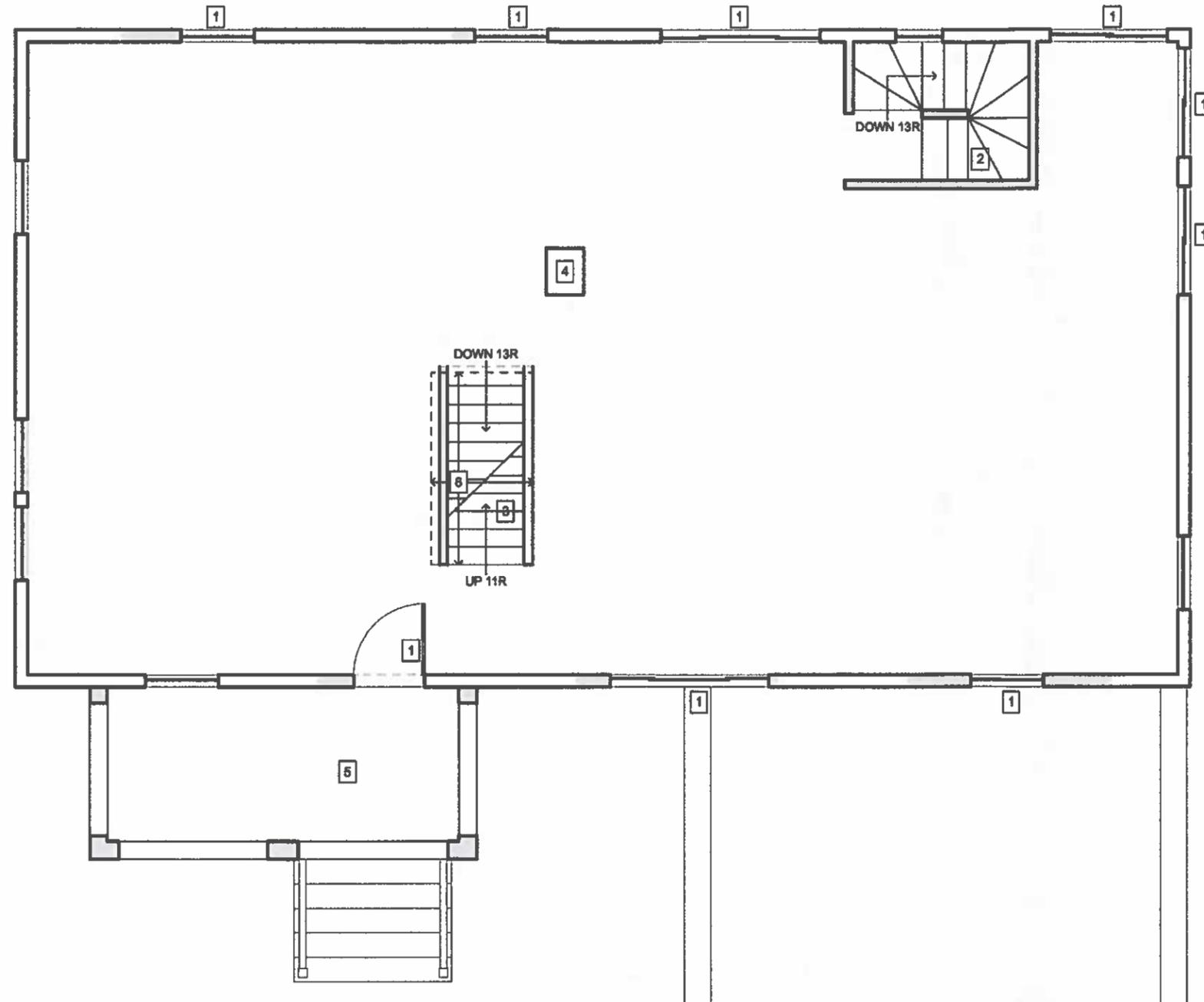
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Belmont, MA

Job number	2309
Scale	as noted
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Drawn by	rb
Checked by	mab

Existing Third Story  
Plan

**A-2.2**



- SECOND FLOOR DEMOLITION NOTES:**
- 1 REMOVE DOOR OR WINDOW.
  - 2 REMOVE STAIR ENTIRELY.
  - 3 REMOVE STAIR FOR RECONSTRUCTION.
  - 4 REMOVE CHIMNEY THROUGH ROOF.
  - 5 REMOVE 2-STORY COVERED PORCH AND STAIR FOR NEW 1-STORY RECONSTRUCTION.
  - 6 REMOVE SECTION OF ATTIC FRAMING FOR NEW WIDER STAIR OPENING.

- DRAWING KEY:**
- WALLS TO BE DEMOLISHED
  - EXISTING WALLS TO REMAIN

EXISTING THIRD STORY PLAN

3/16" = 1'-0" 1



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SMART  
ARCHITECTURE  
33 LAWN STREET, CAMBRIDGE, MA 02138

Marchio Residence  
45 Trapelo Road  
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2309

Job number

as noted

Scale

09.19.23

Date

rb

Drawn by

mab

Checked by

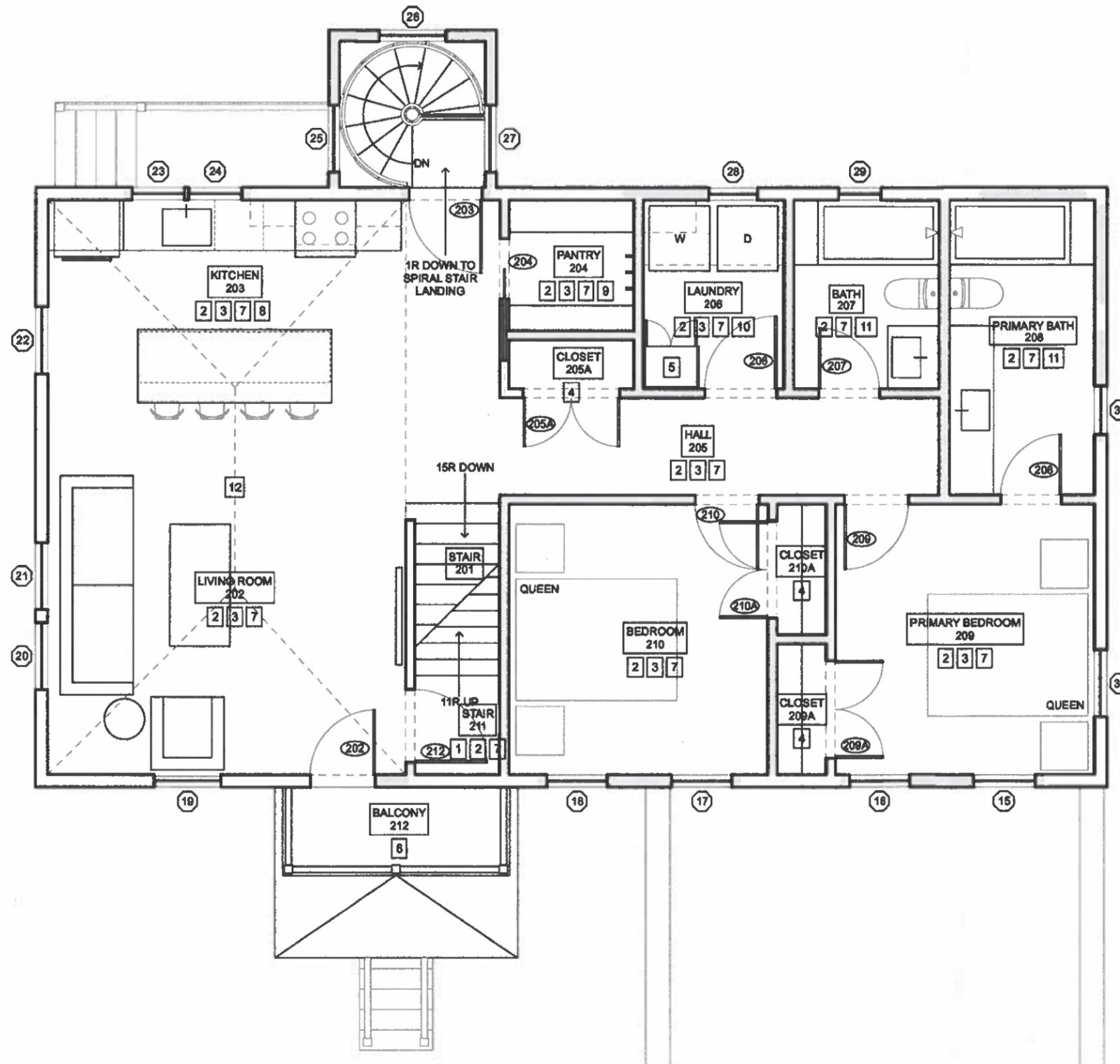
Proposed Third Story Plan

A-3.2

SECOND FLOOR CONSTRUCTION NOTES:

- 1 NEW STAIR TO ATTIC. PAINTED WOOD TREADS, PAINTED RISERS. WOODEN BANISTER, PAINTED WOOD BALUSTERS.
- 2 NEW 5/8" BLUEBOARD AND SMOOTH PLASTER WALLS & CEILING. INSULATE EXTERIOR WALLS TO MAXIMUM POSSIBLE R-VALUE.
- 3 NEW WOOD FLOOR.
- 4 CLOSET WITH POLE AND SHELF.
- 5 NEW PAINTED WOOD BUILT-IN, DESIGN TBD.
- 6 NEW BALCONY. KEBONY DECKING, AZEK WRAPPED P.T. POSTS, PAINTED WOODEN BALUSTERS, AZEK BANISTERS.
- 7 PAINT ROOM
- 8 NEW KITCHEN WITH CUSTOM PAINTED WOOD CABINETRY AND STONE COUNTERS. ISLAND WITH STORAGE AND SEATING. NEW UNDERMOUNT SINK, INDUCTION RANGE, AND REFRIGERATOR. PROVIDE MAKE-UP AIR TO NEW HOOD.
- 9 NEW PANTRY. PAINTED WOODEN FLOOR TO CEILING SHELVES, HOOKS ON WALL.
- 10 NEW LAUNDRY ROOM. TILED FLOOR. SIDE BY SIDE WASHER AND GAS DRYER. FOLDING SURFACE AND STORAGE CABINET ABOVE.
- 11 NEW BATHROOM. TILED FLOOR AND SHOWER AREA. TUB SHOWER WITH BENCH WITH STONE TOP. NEW PAINTED WOOD VANITY WITH UNDERMOUNT SINK AND STONE COUNTER, DESIGN TBD. NEW W.C.
- 12 NEW HIGHER 'CATHEDRAL'-STYLE CEILING IN THIS AREA PROTRUDING INTO MECHANICAL ROOM ABOVE.

-  NEW DOOR
-  NEW WINDOW
-  NEW WALLS
-  EXISTING WALLS TO REMAIN



PROPOSED THIRD STORY PLAN

3/16" = 1'-0"

1



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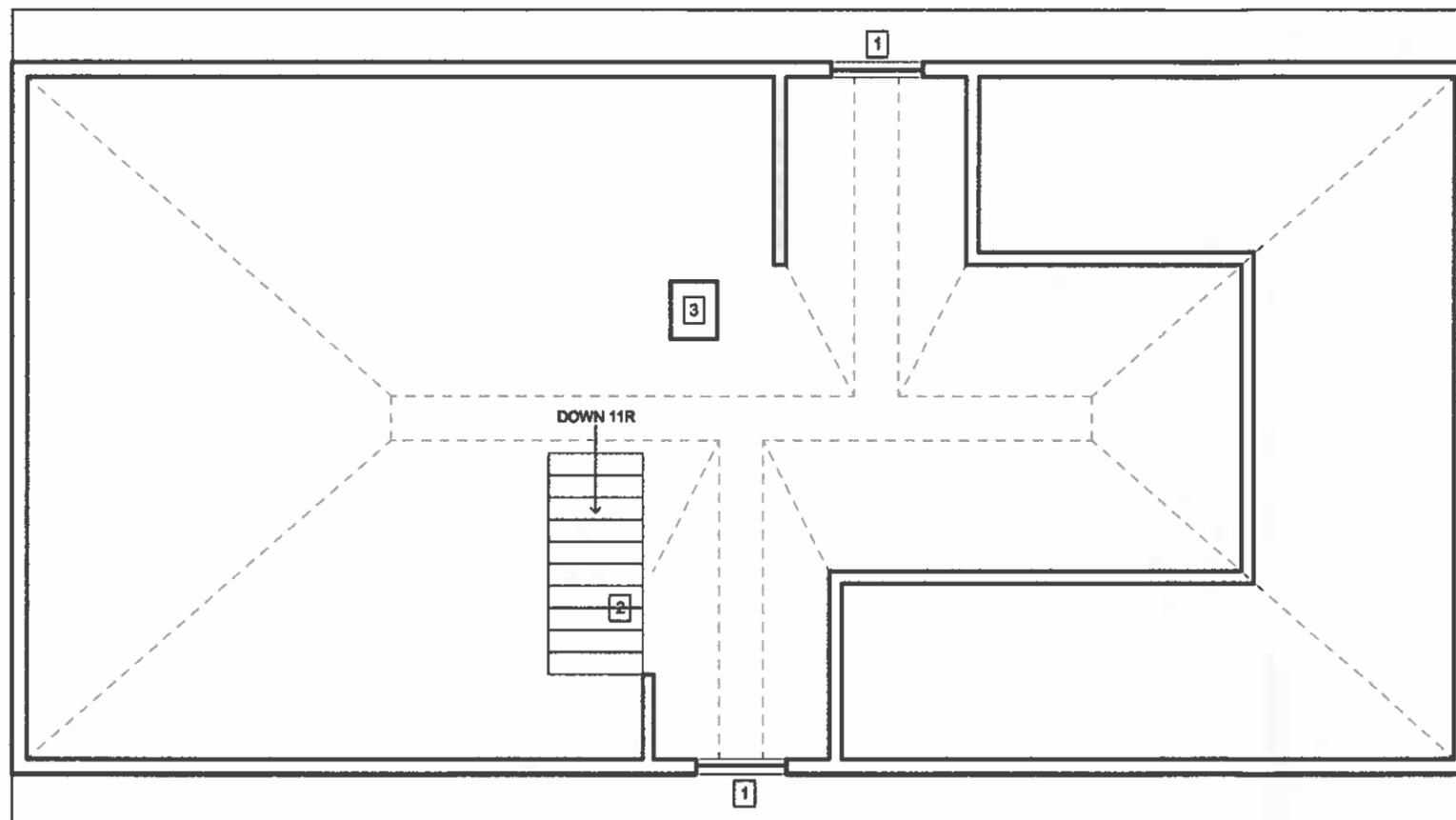
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Checked by	mab

Existing Half Story  
Plan

**A-2.3**



**THIRD FLOOR DEMOLITION NOTES:**

- 1 REMOVE DOOR OR WINDOW.
- 2 REMOVE STAIR FOR RECONSTRUCTION
- 3 REMOVE CHIMNEY THROUGH ROOF.

**DRAWING KEY:**

- WALLS TO BE DEMOLISHED
- EXISTING WALLS TO REMAIN

**EXISTING HALF STORY PLAN**

3/16" = 1'-0" **1**



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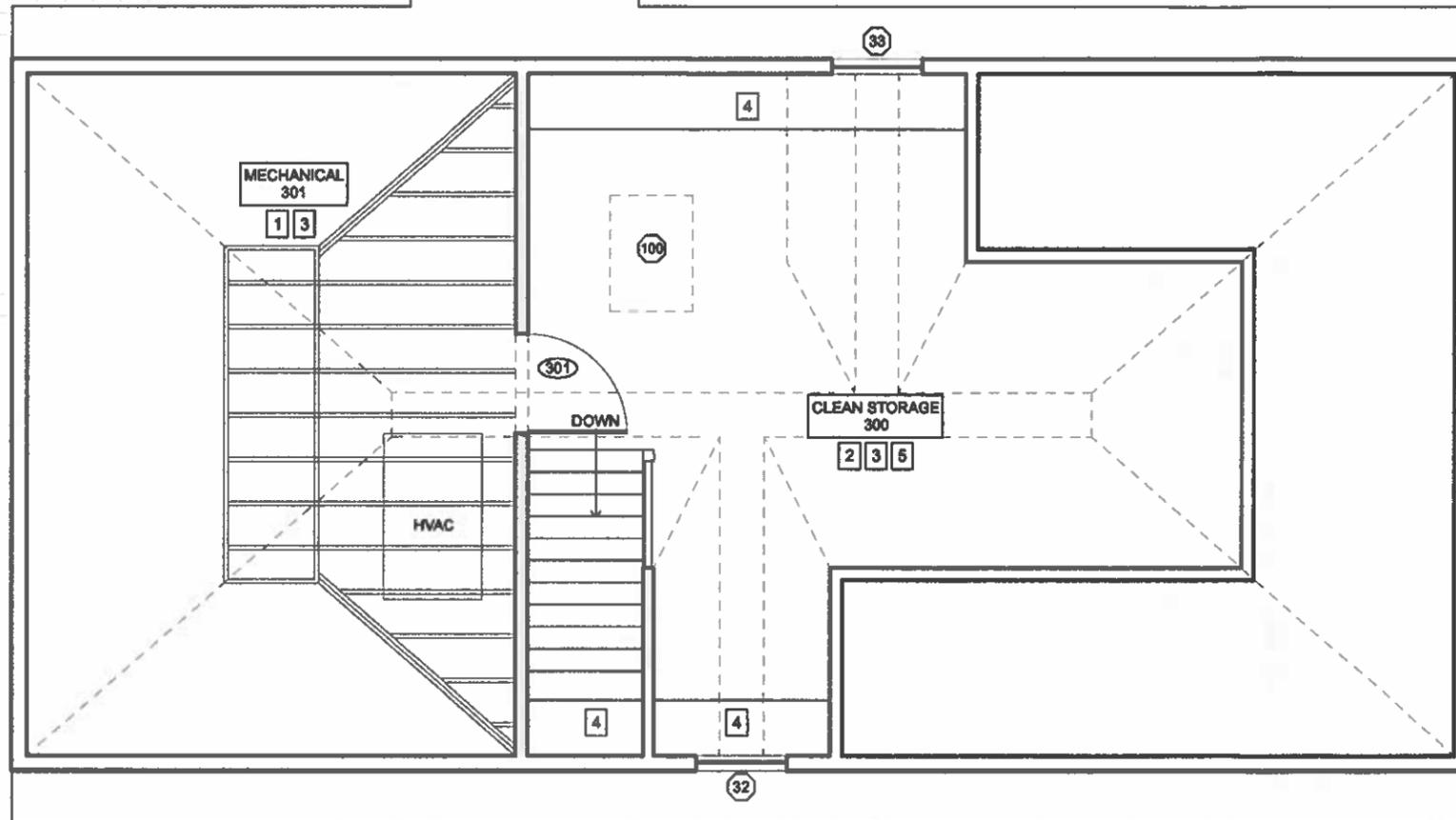
**SMART  
ARCHITECTURE**  
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**Marchio Residence**  
45 Trapelo Road  
Belmont, MA

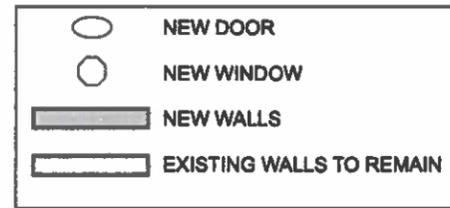
Job number	2309
Scale	as noted
Date	09.19.23
Drawn by	rb
Checked by	mab

Proposed Half Story  
Plan

**A-3.3**



- THIRD FLOOR CONSTRUCTION NOTES:
- 1 NEW UNFINISHED MECHANICAL ROOM. AIR HANDLER UNIT SERVING UNIT 2 AND OTHER MECHANICAL EQUIPMENT AS NEEDED.
  - 2 NEW CLEAN STORAGE ROOM. 5/8" BLUEBOARD AND SMOOTH PLASTER WALLS & CEILING. INSULATE EXTERIOR WALLS TO MAXIMUM POSSIBLE R-VALUE.
  - 3 NEW WOOD FLOOR.
  - 4 NEW SOFFIT ALONG FLOOR CONTAINING HVAC RUNNING THROUGH CLEAN STORAGE INTO EAVES.
  - 5 PAINT ROOM.



PROPOSED HALF STORY PLAN

3/16" = 1'-0" 1



EXISTING FRONT ELEVATION

3/16" = 1'-0" ①

Board of Zoning Appeal  
Application



General Drawing Note:  
Do not scale off these drawings.  
Written dimensions take precedence.  
Contractor to verify all written  
dimensions in field before proceeding  
with work. Notify architect and owner  
of any dimensional discrepancies  
before proceeding with work. Exterior  
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Interior dimensions given are to  
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Marchio Residence  
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Existing Front  
Elevation

A-6.0



PROPOSED FRONT ELEVATION

3/16" = 1'-0" ①

Board of Zoning Appeal  
Application



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Proposed Front  
Elevation

A-7.0



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Job number **2309**

Scale **as noted**

Date **09.19.23**

Drawn by **rb**

Checked by **mab**

Existing Northwest  
Elevation

**A-6.1**



**EXISTING NORTHWEST SIDE ELEVATION** ①  
3/16" = 1'-0"



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Existing Rear  
Elevation

**A-6.2**



**EXISTING REAR ELEVATION**

3/16" = 1'-0" **1**



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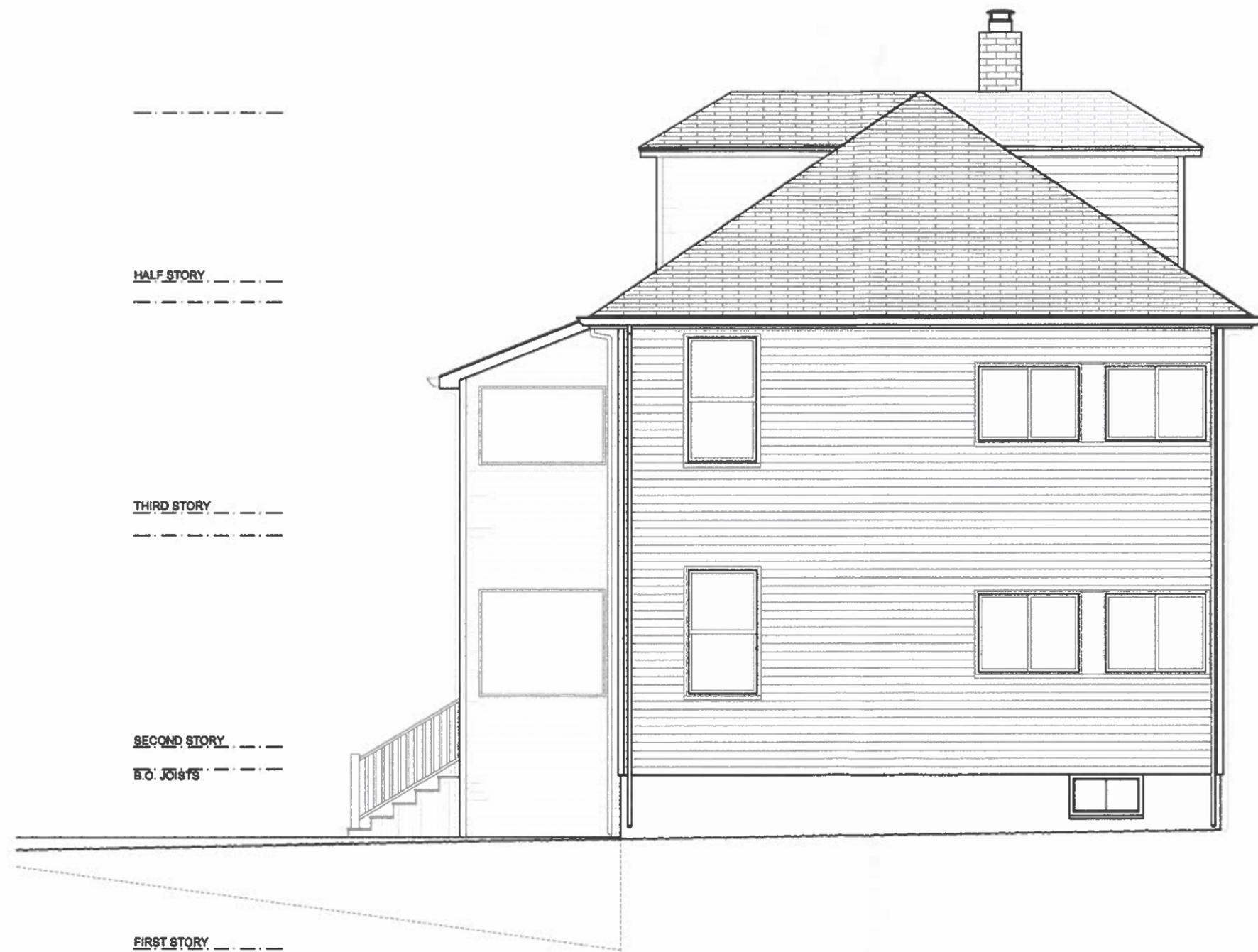
Proposed Rear  
Elevation

**A-7.2**



PROPOSED REAR ELEVATION

3/16" = 1'-0" ①



EXISTING NORTHEAST ELEVATION

3/16" = 1'-0"

1

Board of Zoning Appeal  
Application



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Existing Northeast  
Elevation

A-6.3



PROPOSED NORTHEAST ELEVATION

3/16" = 1'-0"

1

Board of Zoning Appeal  
Application



General Drawing Note:  
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Proposed Northeast  
Elevation

A-7.3