

# The Residences at Bel Mont

ZONE 3 - MCLEAN DISTRICT - SUBDISTRICT B

OLMSTED DRIVE, BELMONT, MA

APPLICATION FOR DESIGN & SITE PLAN REVIEW - ARCHITECTURAL DRAWINGS

SUBMISSIONS :

APRIL 16, 2021	DESIGN & SITE PLAN REVIEW APPLICATION
MARCH 01, 2022	REVISED DESIGN PERMIT SET



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PROJECT TEAM & CONTACT INFORMATION :

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CIVIL ENGINEER	VHB, INC. 101 WALNUT STREET WATERTOWN, MA 02472 PHONE # : 617.924.1770
LANDSCAPE ARCHITECT	RYAN ASSOCIATES 144 MOODY STREET WALTHAM, MA, 02453 PHONE # : 781.314.0401
SUSTAINABILITY	NEW ECOLOGY, INC. 15 COURT SQUARE #420, BOSTON, MA, 02108 PHONE # : 617.557.1700
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Consultant:

Revision:

1 03-01-2022

Architect of Record:

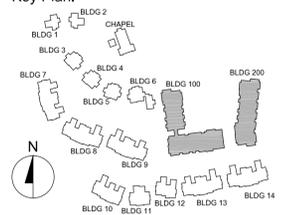


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Checked: E.B.

Scale: NOT TO SCALE

Key Plan:



Project Name:

The Residences at Bel Mont  
Zone III  
McLean District  
Olmsted Drive, Belmont, MA

Sheet Name:

PROJECT COVER

Project Number:

20073

Issue Date:

April 16, 2021

Sheet Number:

T0.01



BUILDING FLOOR AREA AND PARKING SUMMARY :

Building	Building Type	Building Height (measured from average finish grade high side of building) Feet'	Building Height (measured from average finish grade) Feet'	Building Height Stories	Building Footprint SF	Residential Gross Floor Area SF	Garage SF	Total Gross Floor Area SF	1BR (M)	1BR (L)	1BR/DEN	2BR (S)	2BR (M)	2 BR (L)	2 BR + DEN	3BR	UNITS TOTAL	Garage Parking Spaces Total	Garage EV Spaces	Bicycle Spaces	
100	Multifamily Multifamily (55+)	49.8'	55.0'	3	24,288	69,800	26,479	96,279	16	8	8	6	6	6	1	7	58				
200		58.0'	64.3'	4	16,715	66,673	21,354	88,027	1	7	7	10	13	11	1	4	54				
<b>Total</b>					<b>41,003</b>	<b>136,473</b>	<b>47,833</b>	<b>184,306</b>	<b>17</b>	<b>15</b>	<b>15</b>	<b>16</b>	<b>19</b>	<b>17</b>	<b>2</b>	<b>11</b>	<b>112</b>	<b>99</b>	<b>20</b>	<b>56</b>	
									47 1BR's			54 2BR's			11 3BR's						
									42.0%			48.2%			9.8%						
									Affordable Units: 28			Accessible Group 2A Units: 6									

NOTES:

- Building Footprint** is measured to the exterior face of exterior walls, exclusive of outdoor patios.
- Gross Floor Area** - per the Belmont Zoning By-Law. Gross Floor Area is the sum of the horizontal areas of the several floors of all buildings on the same lot, measured from the exterior face of exterior walls, including basements and any interior parking and loading areas, but not including cellars or areas having less than six feet floor-to-ceiling height. is measured to the exterior face of exterior walls, exclusive of outdoor balconies, patios. Gross area of building includes garages and utility / meter rooms.
- Building Height - Feet** - per the McLean District Zone 3 Overlay District Zoning, Building Height is measured from the average finished grade adjoining the building at all exterior walls to the highest point of the roof (including all rooftop mounted mechanical equipment). No flat or shed roofs shall be allowed on buildings or building elements of more than one story. For the purposes of determining the Height of a building in Subdistrict B, if and only if the lowest floor of the building is used for parking, then an alternative Height limit shall be applied: the vertical distance from the average finished grade adjoining the building on the side that has the highest average grade to the highest point of the roof shall not exceed 58 feet and the vertical distance from the average finished grade adjoining the building on the side that has the highest average finished grade shall not be considered a story.
- Building Height - Stories** - per the McLean District Zone 3 Overlay District Zoning, for buildings using this alternative Height limit, a floor having a ceiling elevation at or below the average finished grade adjoining the building on the side that has the highest average finished grade shall not be considered a story.
- Units Total** - the total of 112 units includes two (2) *bonus units* as permitted per the McLean District Zone 3 Overlay District Zoning Section 6B.2.4. Accordingly, rehabilitation of Eliot chapel is proposed - see the Subdistrict A architectural drawings for more information.

KEY PLAN :



DWG #	DRAWING TITLE	ISSUE DATES	
		APRIL 16, 2021 DESIGN & SITE PLAN SUBMISSION	MARCH 01, 2022 REVISED DESIGN PERMIT PLAN
<b>TITLE SHEETS</b>			
T0.01	PROJECT COVER		
T0.02	DRAWING INDEX, PROJECT INFORMATION & KEY PLAN		
<b>ARCHITECTURAL DRAWINGS</b>			
A1.00	BUILDINGS 100 & 200 FLOOR PLANS - GARAGE PLAN		
A1.01	BUILDINGS 100 & 200 - FIRST FLOOR PLAN		
A1.02	BUILDINGS 100 & 200 - SECOND FLOOR PLAN		
A1.03	BUILDINGS 100 & 200 - THIRD FLOOR PLAN		
A1.04	BUILDINGS 100 & 200 - FOURTH FLOOR & ROOF PLAN		
A1.05	BUILDINGS 100 & 200 ROOF PLANS		
A2.01	BUILDINGS 100 & 200 TYPICAL ENLARGED UNIT PLANS		
A4.01	BUILDINGS 100 & 200 EXTERIOR ELEVATIONS		
A4.02	BUILDINGS 100 EXTERIOR ELEVATIONS		
A4.03	BUILDING 200 EXTERIOR ELEVATIONS		
A4.04	BUILDING 200 EXTERIOR ELEVATIONS		
A4.05	ENLARGED BUILDING EXTERIOR ELEVATIONS		
A4.11	VIEWS FROM TRAPELO ROAD & WAVERLY SQUARE		
A4.12	VIEWS FROM TRAPELO ROAD & WAVERLY SQUARE		
A5.01	BUILDINGS 100 & 200 BUILDING SECTION		

ZONING SUMMARY CHART:

Dimensional Standard	Permitted	Proposed
No. of Units	110	110
Bonus Units	2	2
No. of 3BR units	10% (11 Units)	10% (11 Units)
Total GSF Max	250,000 SF	185,000 SF
Building Height High Side (Ft)	58	49.6' & 58'
Building Height Overall (Ft)	68	55' & 64.75'
Building Height Stories	5	3 & 4
Parking Spaces	1.5 per Unit	1.35 per Unit (152 Spaces)
Bicycle Parking	.5 per Unit	.5 per Unit (56)
Affordable Units	25%	25% (28)
Age-Restricted Units	53	53



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Revision:

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Architect of Record:

*Edward R. Bradford*

Drawn: N.B.

Checked: E.B.

Scale: AS NOTED

Key Plan:

Project Name:

**The Residences at Belmont Zone III**  
McLean District  
Olmsted Drive, Belmont, MA

Sheet Name:

**DRAWINGS INDEX, PROJECT INFORMATION, & KEY PLAN**

Project Number:

20073

Issue Date:

April 16, 2021

Sheet Number:

**T0.02**

Thursday, March 3, 2022 2:59:10 PM P:\20073.00 - Belmont Northland Residential\Drawings\Working\CAD01 - Title Sheet\2022-03-01 Revised Design Permit Set\2022-03-01 20073 SUB B TAT - 24x36 - T0.02.dwg

Consultant:

Revision:

1 03-01-2022

Architect of Record:



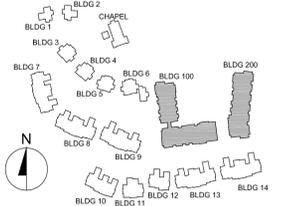
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Scale: 1/16" = 1'-0"

Key Plan:



Project Name:

**The Residences  
 at Bel Mont  
 Zone III  
 McLean District  
 Olmsted Drive, Belmont, MA**

Sheet Name:

**BUILDINGS 100 & 200  
 GARAGE PLAN**

Project Number:

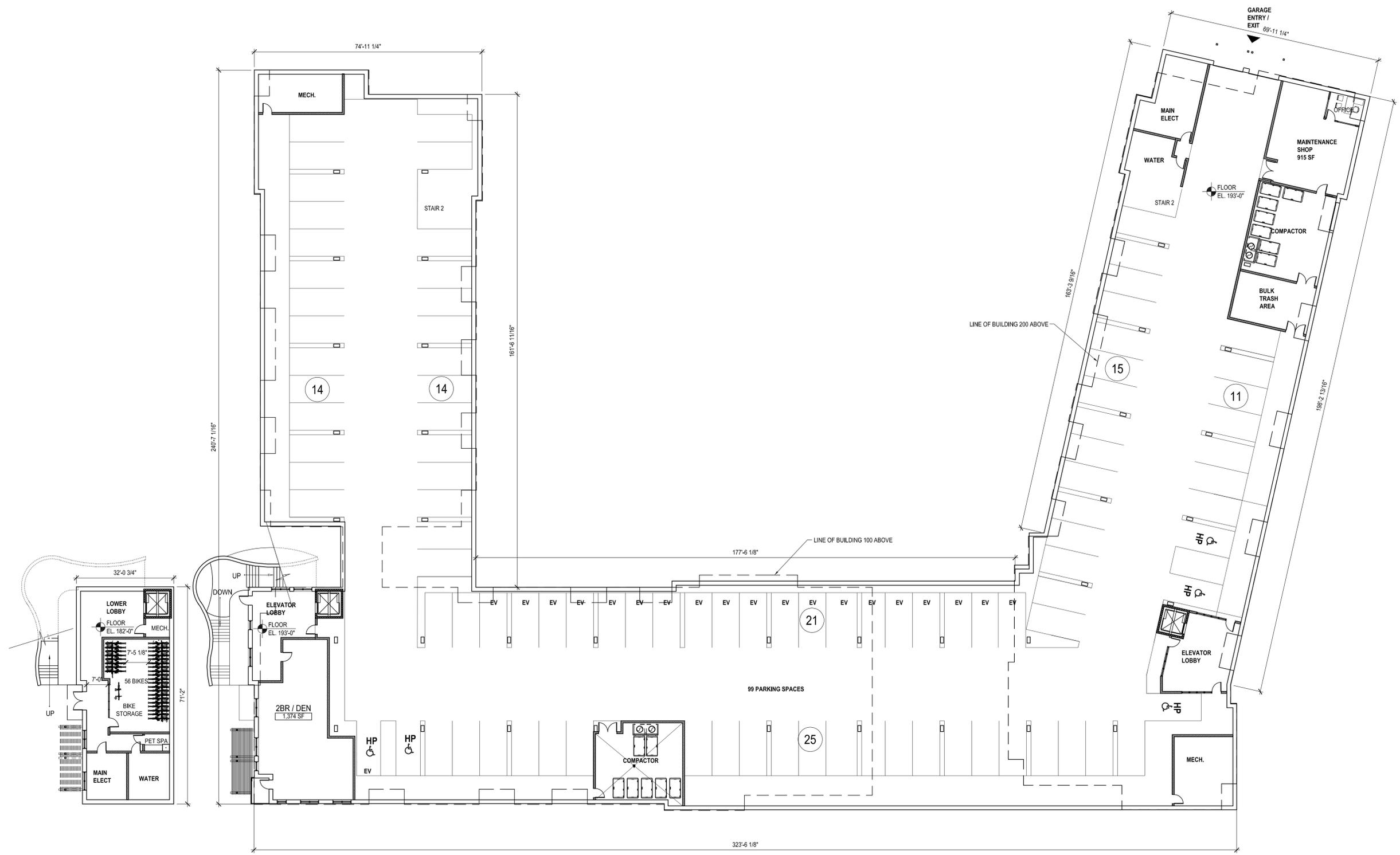
20073

Issue Date:

April 16, 2021

Sheet Number:

**A1.00**



20 LOWER LOBBY PLAN - BUILDINGS 100 & 200  
 SCALE: 1/16" = 1'-0"

10 GARAGE PLAN - BUILDINGS 100 & 200  
 SCALE: 1/16" = 1'-0"

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Revision:

1 03-01-2022

Architect of Record:



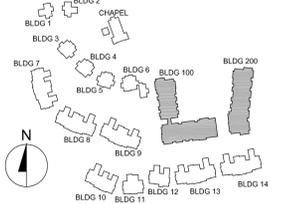
*Edward P. Bradford*

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Key Plan:



Project Name:

**The Residences  
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 Zone III  
 McLean District  
 Olmsted Drive, Belmont, MA**

Sheet Name:

**BUILDINGS 100 & 200  
 FIRST FLOOR PLAN**

Project Number:

20073

Issue Date:

April 16, 2021

Sheet Number:

**A1.01**

NOTE:  
 SEE A2.01 DRAWING FOR ENLARGED UNIT PLAN

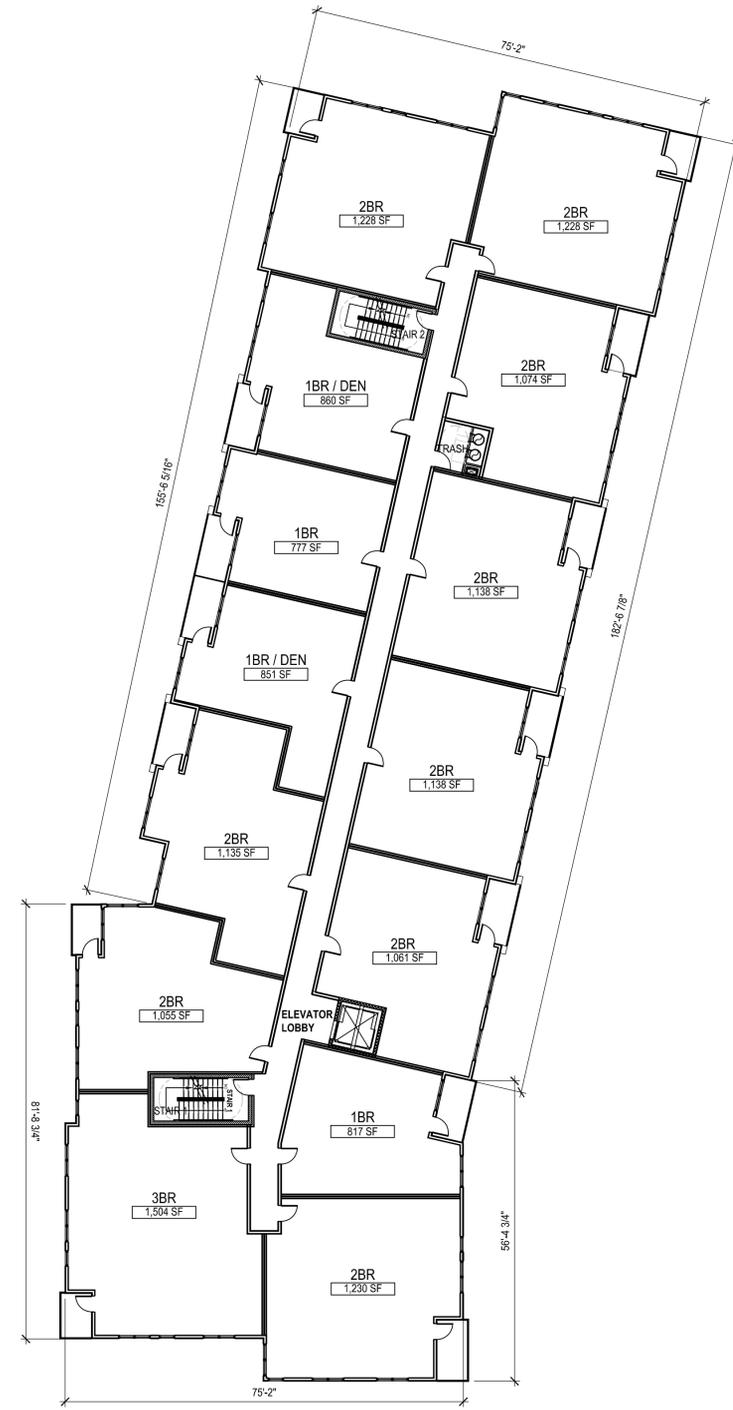
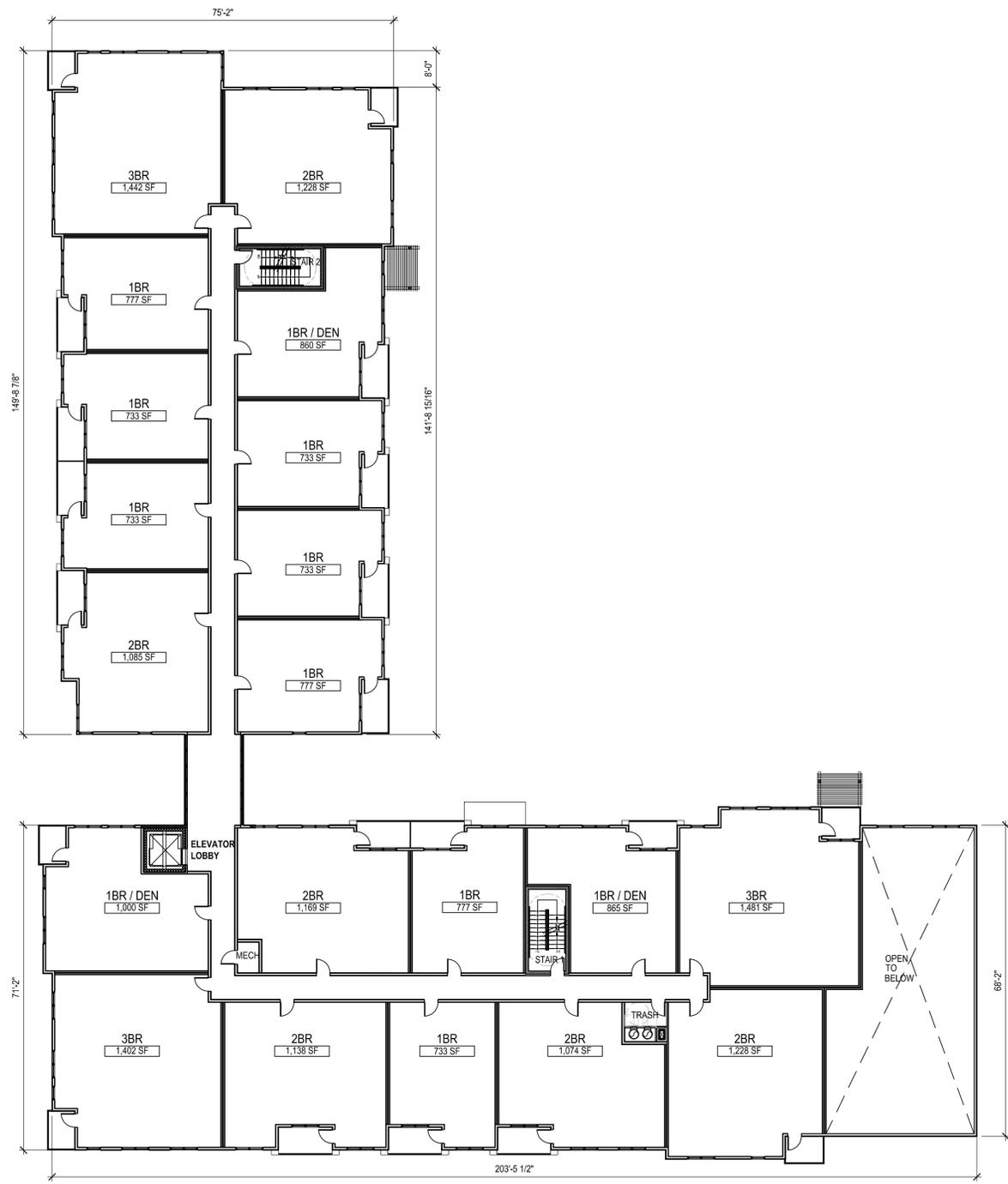


10 FIRST FLOOR PLAN - BUILDINGS 100 & 200  
 SCALE: 1/16" = 1'-0"

NOTE:  
SEE A2.01 DRAWING FOR ENLARGED UNIT PLAN

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10 SECOND FLOOR PLAN - BUILDINGS 100 & 200  
SCALE: 1/16" = 1'-0"

Consultant:

Revision:

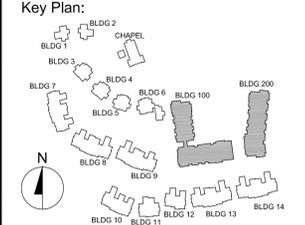
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Project Name:

The Residences  
at Bel Mont  
Zone III  
McLean District  
Olmsted Drive, Belmont, MA

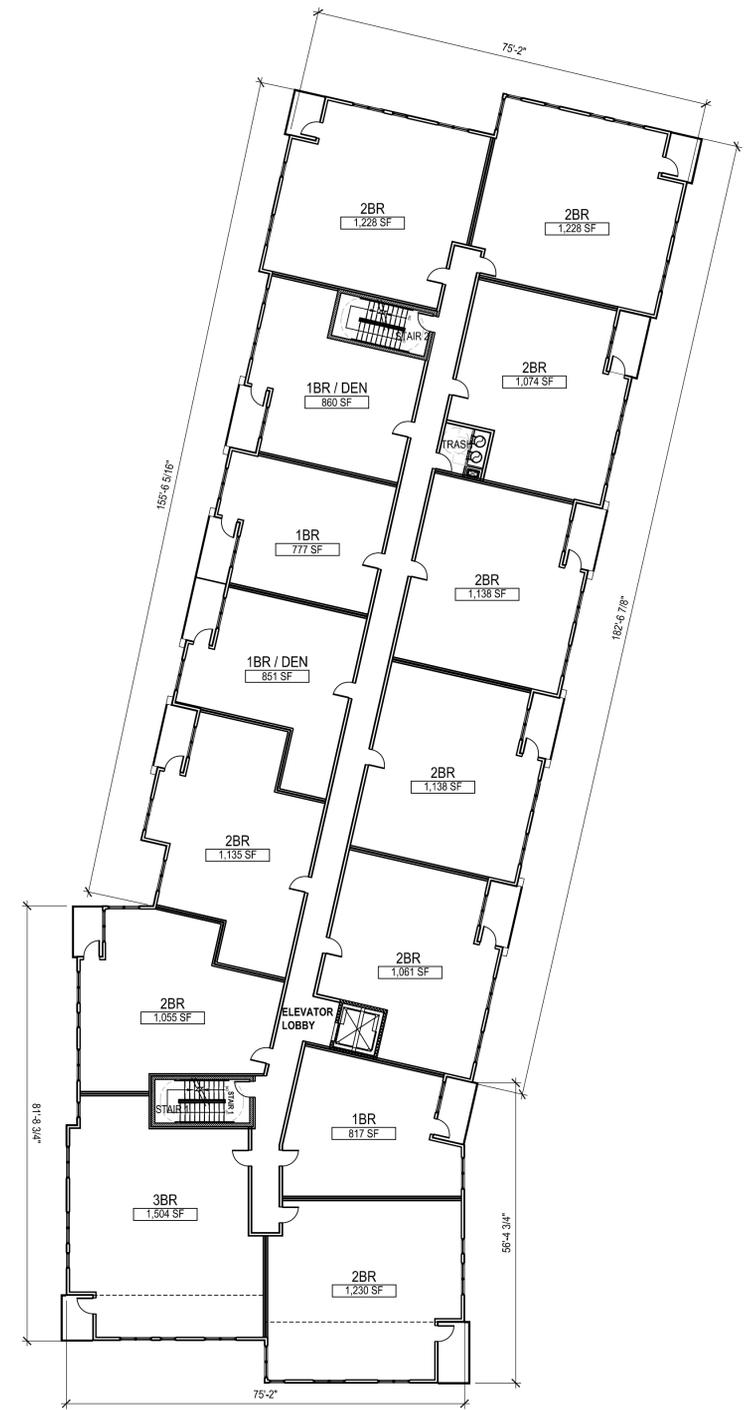
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BUILDINGS 100 & 200  
SECOND FLOOR PLAN

Project Number:  
20073

Issue Date:  
April 16, 2021

Sheet Number:  
A1.02

NOTE:  
SEE A2.01 DRAWING FOR ENLARGED UNIT PLAN



10 THIRD FLOOR PLAN - BUILDINGS 100 & 200  
SCALE: 1/16" = 1'-0"

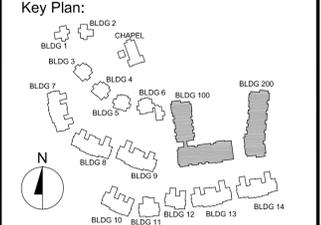


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Project Name:  
**The Residences  
at Bel Mont  
Zone III  
McLean District**  
Olmsted Drive, Belmont, MA

Sheet Name:  
**BUILDINGS 100 & 200  
THIRD FLOOR PLAN**

Project Number:  
**20073**  
Issue Date:  
**April 16, 2021**  
Sheet Number:

**A1.03**

NOTE:  
SEE A2.01 DRAWING FOR ENLARGED UNIT PLAN

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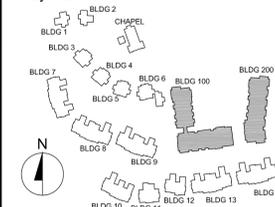


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Key Plan:



Project Name:

**The Residences  
at Bel Mont  
Zone III  
McLean District  
Olmsted Drive, Belmont, MA**

Sheet Name:

**BUILDINGS 100 & 200  
FOURTH FLOOR & ROOF  
PLANS**

Project Number:

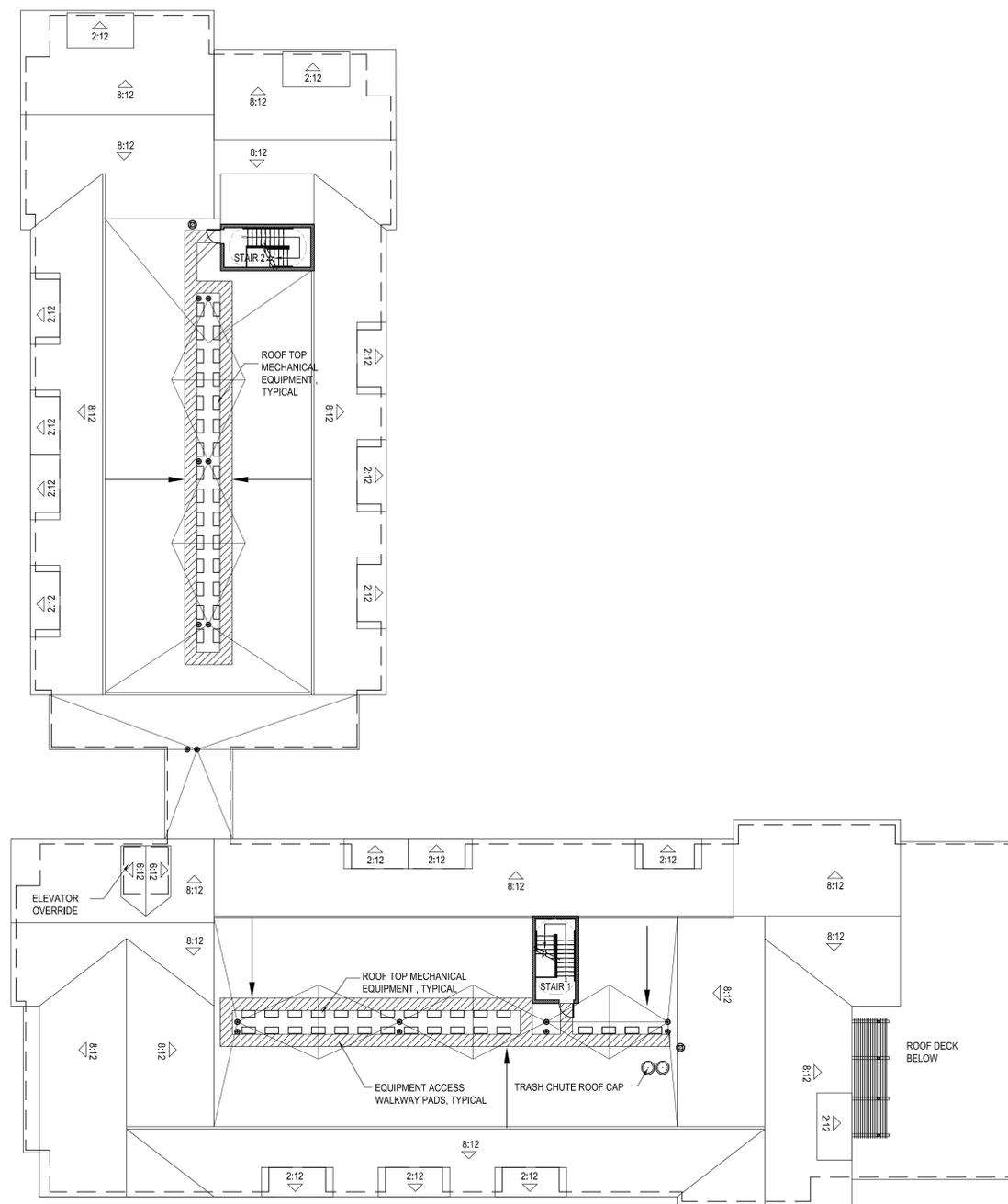
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Issue Date:

April 16, 2021

Sheet Number:

# A1.04



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Revision:

Architect of Record:



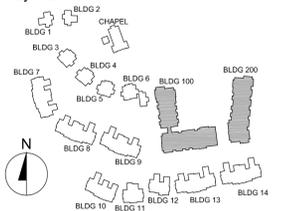
*Edward P. Bradford*

Drawn: Y.Y

Checked: E.B

Scale: 1/16" = 1'-0"

Key Plan:



Project Name:

**The Residences  
 at Belmont  
 Zone III  
 McLean District  
 Olmsted Drive, Belmont, MA**

Sheet Name:

**BUILDINGS 100 & 200  
 ROOF PLAN**

Project Number:

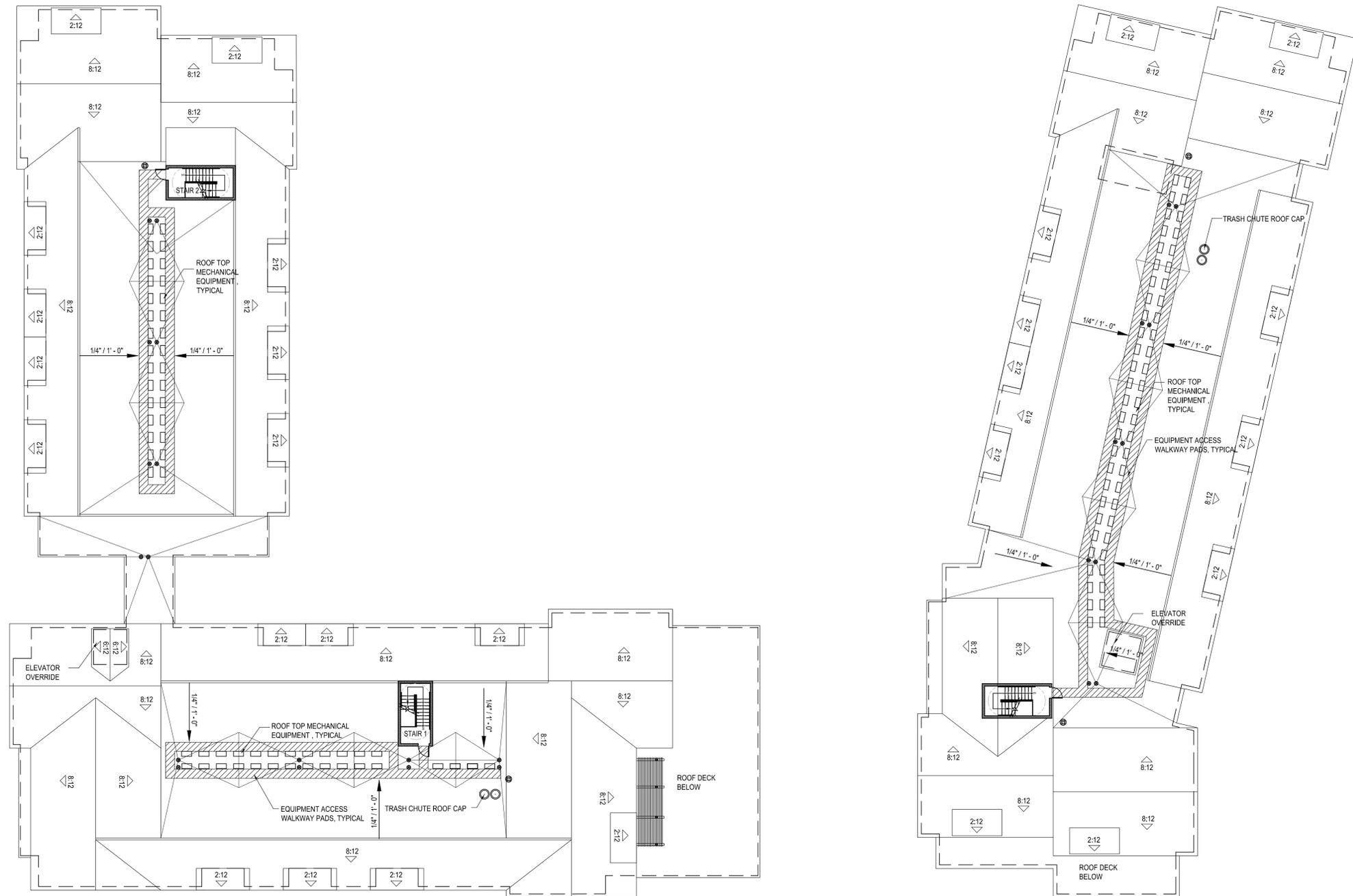
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Issue Date:

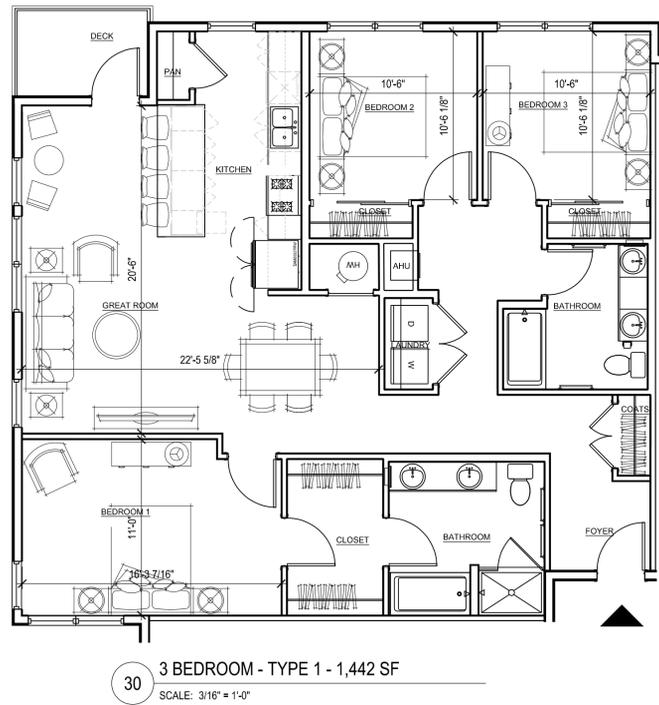
**April 16, 2021**

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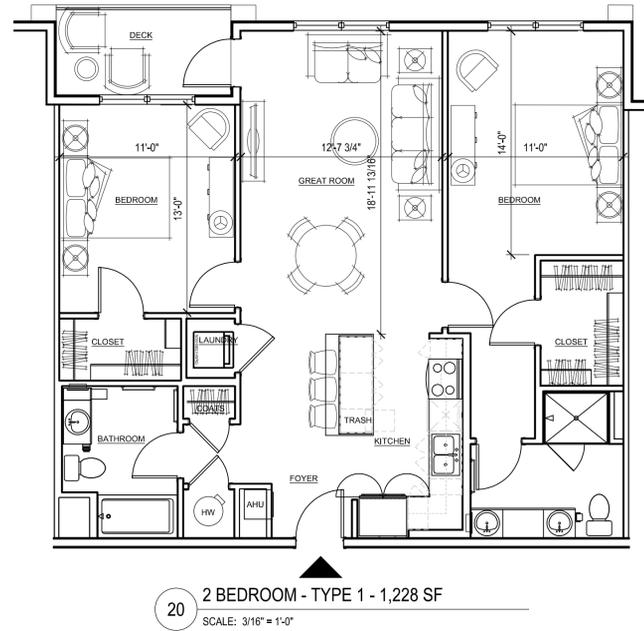
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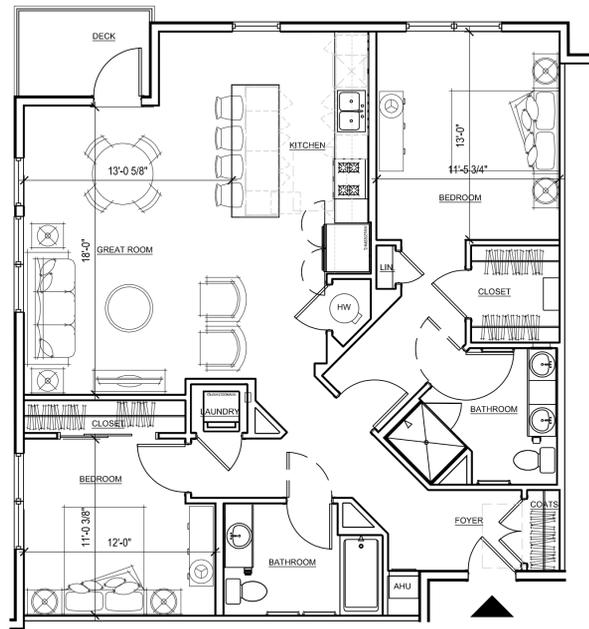
**10 ROOF PLAN**  
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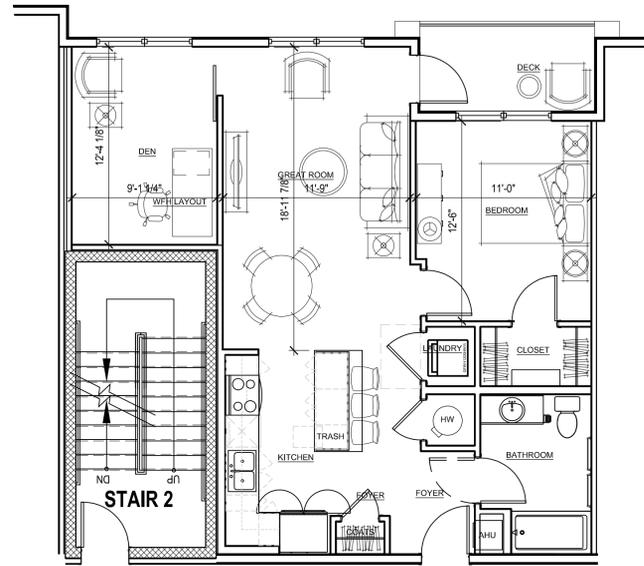
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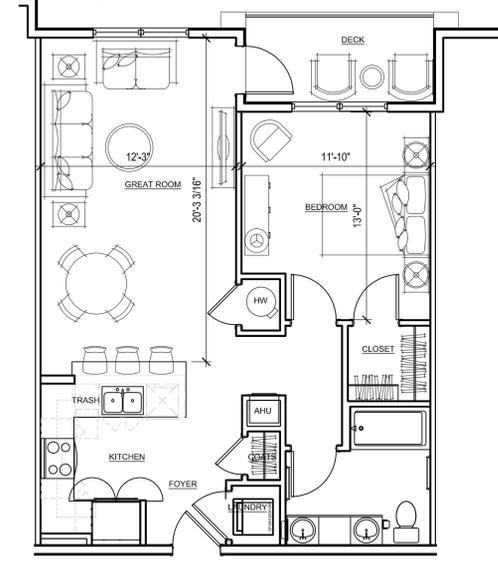
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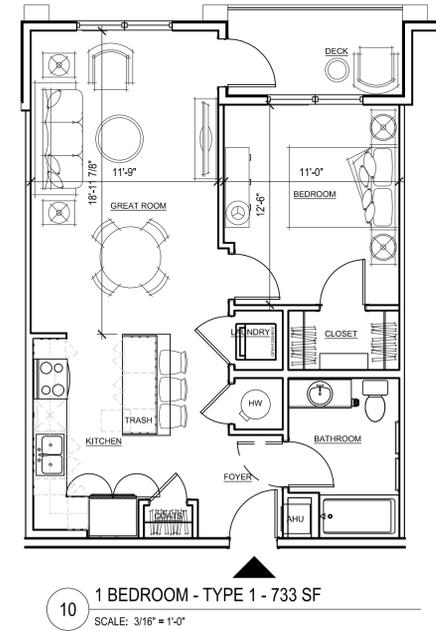
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11 1 BEDROOM + DEN - TYPE 3 - 860 SF  
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11 1 BEDROOM - TYPE 2 - 777 SF  
 SCALE: 3/16" = 1'-0"



10 1 BEDROOM - TYPE 1 - 733 SF  
 SCALE: 3/16" = 1'-0"

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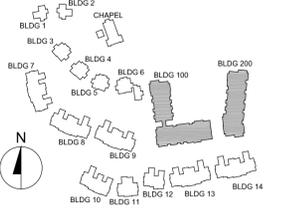


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Key Plan:



Project Name:

The Residences  
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Sheet Name:

BUILDINGS 100 & 200  
 TYPICAL ENLARGED  
 UNIT PLANS

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A2.01