

RECEIVED
TOWN CLERK
BELMONT, MA

CASE NO. 18-21

2018 JUN -4 AM 10:37

NOTICE OF PUBLIC HEARING BY THE
ZONING BOARD OF APPEALS

ON APPLICATION FOR A SPECIAL PERMIT

Notice is hereby given that the Belmont Zoning Board of Appeals will hold a public Hearing on MONDAY, June 18, 2018 at 7:00 PM in the Art Gallery, 3rd floor, Homer Municipal Building, 19 Moore St., to consider the application of Joseph DeStefano d/b/a Underwood Estates LLC for a Special Permit under Section 3.3 of the Zoning By-Law to Construct a Mixed-Use Building at 493 Trapelo Road, located in a Local Business I (LBI) Zoning District.

ZONING BOARD OF APPEALS



Town of Belmont
Zoning Board of Appeals

RECEIVED
TOWN CLERK
BELMONT, MA

2018 JUN -4 AM 10:37

APPLICATION FOR A SPECIAL PERMIT

Date: 5-17-18

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 493 TLAPELO Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for CONSTRUCTION
OF A NEW MIXED USE BUILDING.

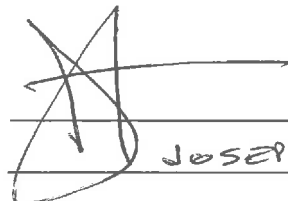
on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner

Print Name

Address

Daytime Telephone Number


JOSEPH DESTEFANO



OFFICE OF COMMUNITY DEVELOPMENT
Town of Belmont
Homer Municipal Building
19 Moore Street
Belmont, Massachusetts 02478-0900
Telephone: (617) 993-2650 Fax: (617) 993-2651

April 9, 2018

Joseph DeStefano
38 Lexington Street Suite F
Belmont, MA 02478

RE: Denial to Construct a Mixed-Use Building.

Dear Mr. DeStefano:

The Office of Community Development is in receipt of your building permit application to construct a Mixed-Use Building at 493 Trapelo Road, located in LBI Zoning District.

Your application has been denied since it does not comply with the current Zoning By-Laws. More specifically, Section 3.3 of the Town of Belmont's Zoning By-Law states, "Mixed-Use - provided that at a minimum the first floor is to be reserved for commercial use and that the residential use comply with §6.10, inclusionary Housing" may be allowed only by Special Permit from the Board of Appeals.

To begin the Special Permit process, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant Director, at (617) 993-2650.

Sincerely,


Glenn R. Clancy, P.E.
Building Commissioner

May 21, 2018

Joseph G. DeStefano
3 Sumner Lane
Belmont, Ma.02478

Belmont Zoning Board of Appeals
Belmont Town Hall
455 Concord Ave
Belmont, Ma. 02478

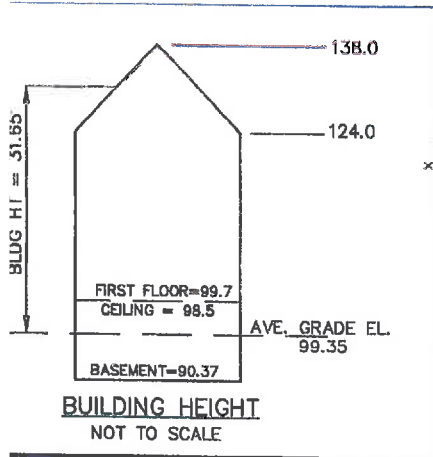
Gentlemen,

As you may know my name is Joseph DeStefano. I write to explain my proposed re-development of Waverley Square. My development would include the demolition of two one story "dated strip style" buildings containing approximately 10,000-15000 square feet of retail. Our proposal would then construct 2 thoughtfully designed mixed use 3 story buildings consisting of approximately 10,000 square feet of retail and 18,000 square feet of residential space. The buildings conform with the existing LB1 Zoning Bylaw and are allowed by special permit by the Zoning Board of Appeals. This development would greatly enhance the appearance of Waverley Square and hopefully encourage further redevelopment along Trapelo Road Corridor to complete a exciting revitalization of tBelmont's retail and residential neighborhoods.

Thank You,

Joseph G. DeStefano

A handwritten signature in dark ink, appearing to read 'Joseph G. DeStefano', is written over the printed name. The signature is stylized with a large, sweeping 'X' or 'J' shape at the beginning and a circular flourish at the end.

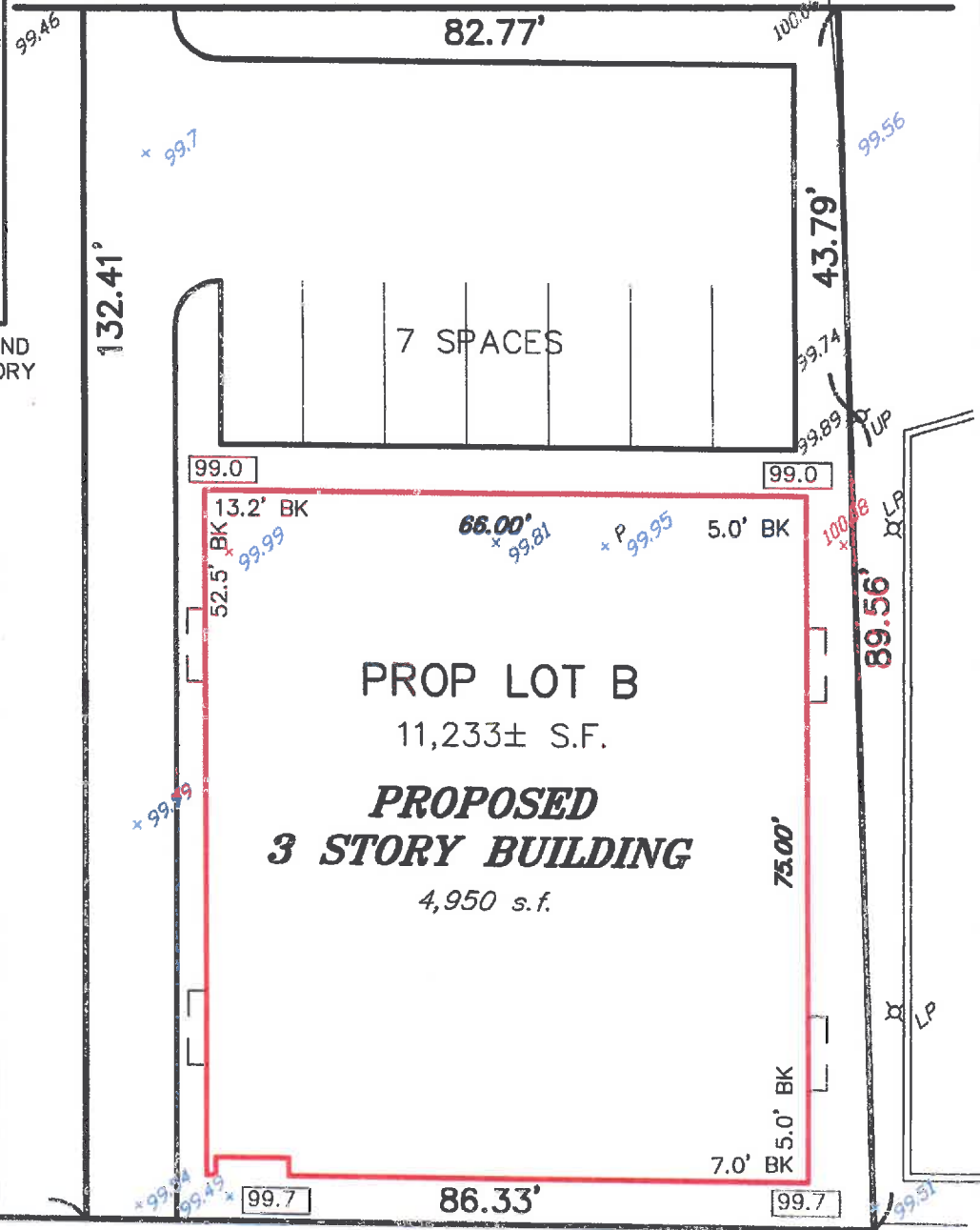


100.0% OF BASEMENT UNDERGROUND
THEREFOR BASEMENT IS NOT A STORY



PROP LOT A
13,032± S.F.

PROP LOT C
25,522± S.F.



THE PROPERTY IS NOT LOCATED
WITHIN WETLANDS AS SHOWN
ON THE TOWN OF BELMONT
WETLANDS ATLAS.

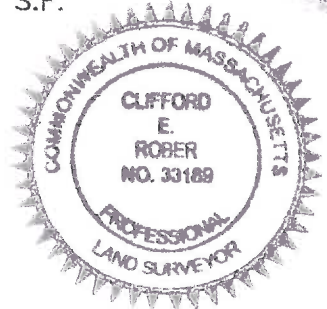
TRAPELO ROAD

ZONING DISTRICT: LB-1

FRONT SETBACK:	5'	PROP.	5.0'
SIDE SETBACK:	6'	13.2'/5.0'	
REAR SETBACK:	6'	52.5'	

OWNER: UNDERWOOD ESTATES LLC
60863/503
ASSESSORS MAP 32 - PARCELS

TOTAL LOT AREA: 11,233± S.F.



PROPOSED PLOT PLAN
493 TRAPELO ROAD
IN
BELMONT, MA
(MIDDLESEX COUNTY)

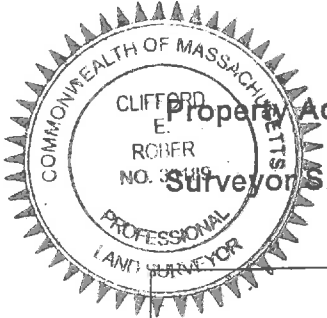
SCALE: 1"= 20' DATE: 5/1/2018

ROBER SURVEY
1072 MASSACHUSETTS AVENUE
ARLINGTON, MA 02476
(781) 648-5533
DWG. NO. 3555SP1lotB.DWG

CLIFFORD E. ROBER, PLS 5/1/2018
DATE

Zoning Compliance Check List

(Registered Land Surveyor)



LOT B
 Property Address: 493 TRAPELO ROAD

Zone: LB1

Surveyor Signature and Stamp: [Signature]

Date: 5/1/18

	REQUIRED	EXISTING	PROPOSED
Lot Area	—	11,233	11,233
Lot Frontage	20'	86.33	86.33
Floor Area Ratio	1.25/1.5 SP		1.29
Lot Coverage	—		
Open Space	—		
Front Setback	5'		5.0
Side Setback	6'		13.2
Side Setback	6'		7.0
Rear Setback	6'		52.5
Building Height	28/32 SP		31.6
Stories	2/3 SP		3
½ Story Calculation			

NOTES:

ROBER SURVEY

Professional Land Surveyor

PROJECT: R-3555 BY: CR DATE: _____

BLOCK ~~B~~

Brimmont

4932

90% UNOCCUPIED

1ST

4932

2ND

4996

3RD

4589 ←

19,449

GFA

1-3 ONLY →

14517 sq @ 1.5 = 9878 sq

ROCK

PARKING

5.1.2.2

POS

12 UNITS (STUDIO/1 BR) @ 1 SP/ = 12 SP.

5.1.2.6

1SP

350 GFA (GND)

4932 / 350 = 14.09 SP = 14

SIDEWAYS

TOTAL

26

"

$\frac{10}{12}$

0.83

= $\frac{6}{x}$

x = 7.22

ROCK

$\frac{12}{12}$

1

= $\frac{6}{x}$

x = 6

FRONT

5.1.1.5.1 ROAD

14

+ 6

20

=

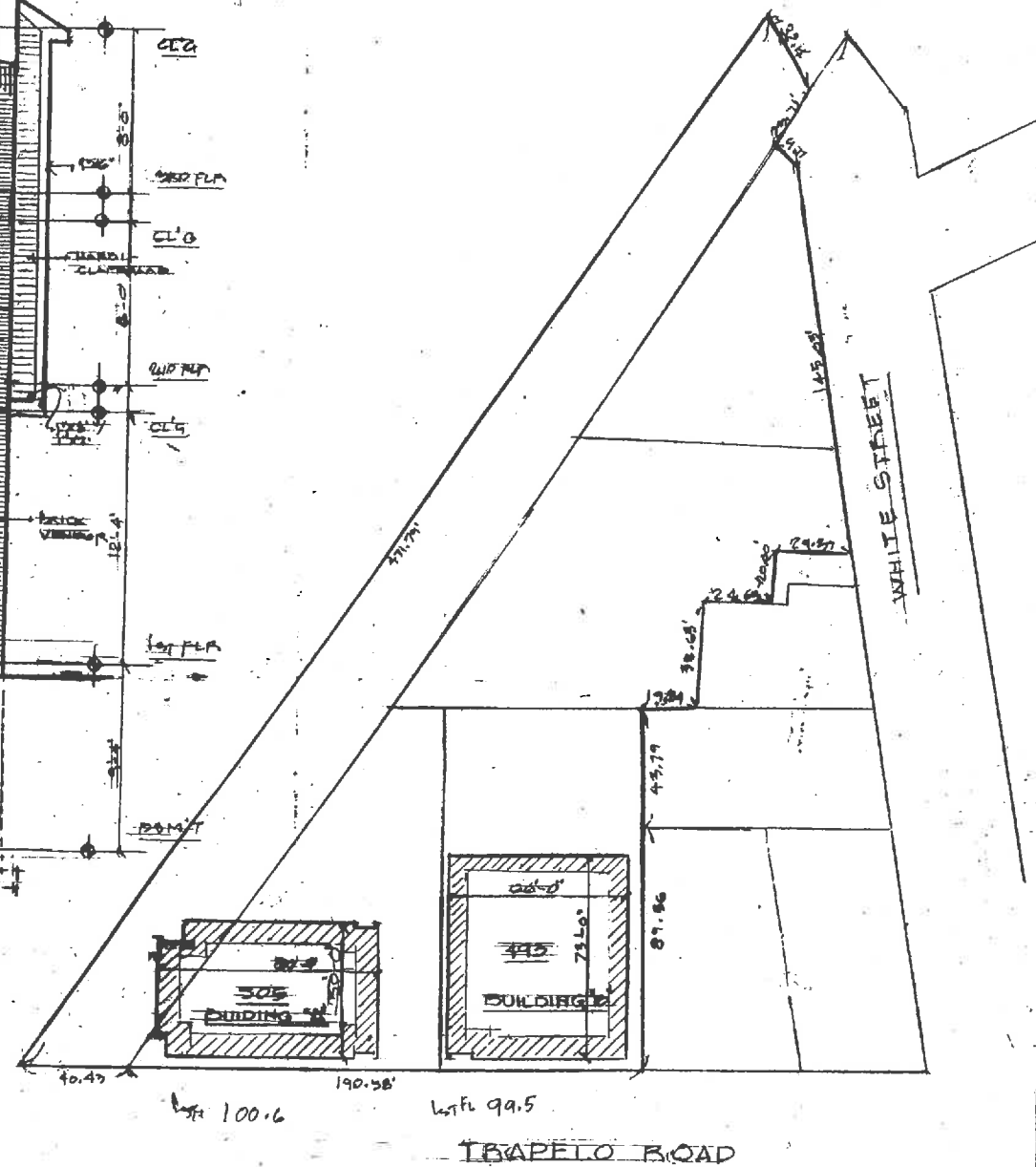
MT

32'

3 STORIES



W/ SPOR. PERMIT



WAVERLEY SQUARE REDEVELOPMENT

493 TRAPEZO ROAD, BELMONT, MA.

DESCO ASSOCIATES, INC.

38 LEXINGTON STREET, BELMONT, MA.

BUILDING 'B'

SITE PLAN
SCALE: 1" = 30'

NOTE:
SITE DATA OBTAINED FROM
TOPOGRAPHIC PLAN IN
BELMONT, MA. TO BE SURVEY
1872 & MASSACHUSETTS AVE
ARLINGTON, MA.

BLDG 'B'

BUILDING 'B'
THE STATION AT WAVERLEY SQUARE

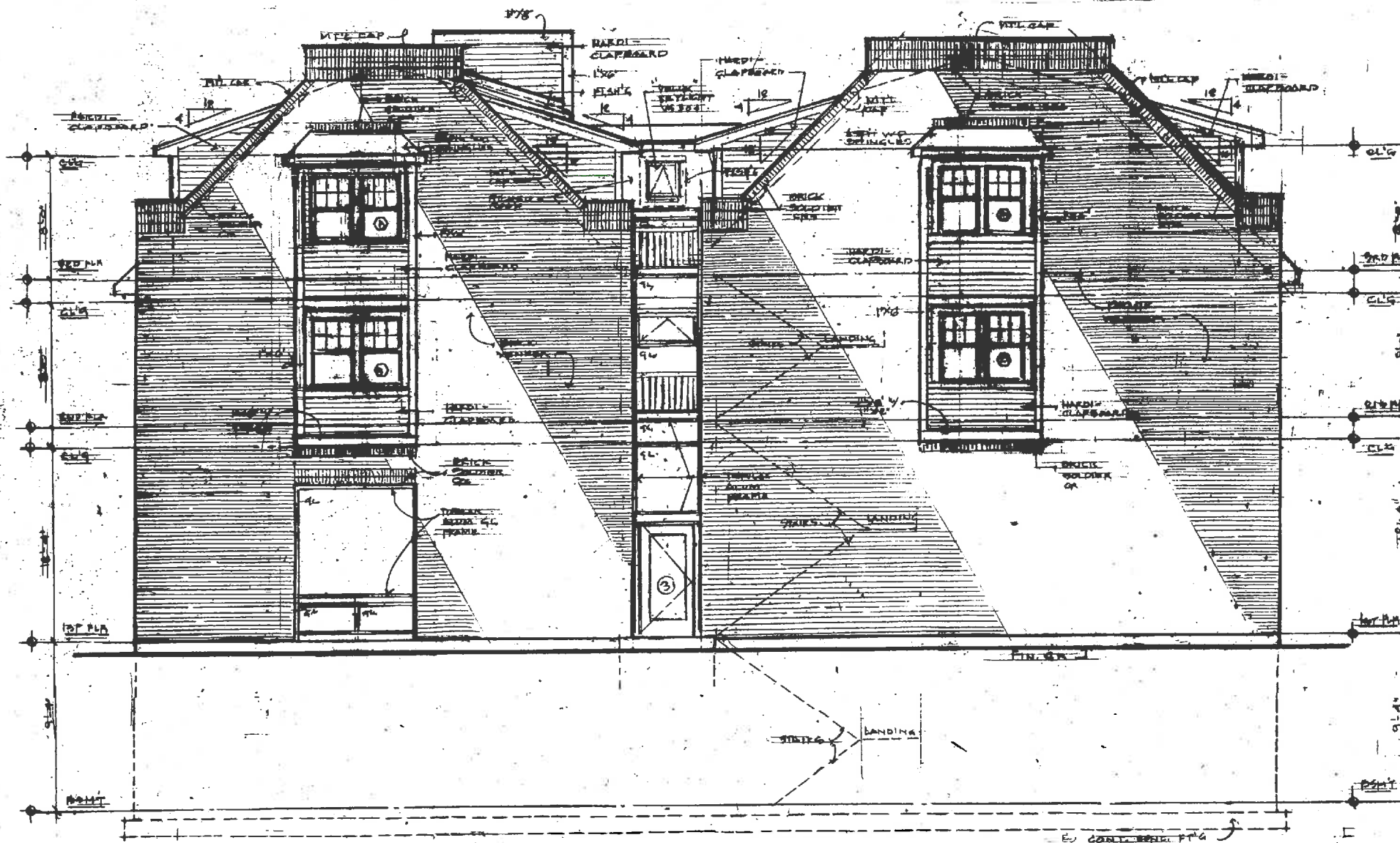
WAVERLEY SQUARE REDEVELOPMENT
493 TRAPEZO ROAD, BELMONT, MA.

DEVELOPER:

DESCO ASSOCIATES, INC.
38 LEXINGTON STREET
BELMONT, MA.

PETER F. DIMIO
ARCHITECT
443 BOSTON STREET
NORTH BOSTON, MA
02116

A.O.



RIGHT SIDE ELEVATION
SCALE 1/4" = 1'-0"

GENERAL NOTES

All construction and materials shall meet the requirements of the Massachusetts State Building Code, the local jurisdiction of the City of LYNN, MA and other applicable jurisdictions.

All materials and items shall be installed or applied as per the manufacturer's instructions, directions and recommendations and as per the best practice of the trade.

GENERAL:
MA Document A 201 - general conditions of the contract for construction - latest issue in effect at signing of construction contract shall be part of this contract in its entirety. Article one thru fourteen inclusive.
Any reference to "Contractor" in these drawings and notes shall refer to the contractor, his employees, his sub-contractors or their sub-sub-contractors, his suppliers and any other individuals or companies under contract to him for this project as the case may apply.

Contractor shall provide all necessary labor, material, equipment, items tools and supervision as required to perform and complete the work as shown or intended by the drawings.

SAFETY:
Contractor shall carry out provisions of "The Manual of Accident Prevention in Construction" published by The Associated General Contractors of America, Inc. and any other safety regulations as required by any applicable jurisdictions including OSHA and manufacturer's safety recommendations for equipment, tools or materials. (Also see: OSHA Safety and Health Standards 29 CFR 1926/1010) latest edition as applicable.

PERMITS:
Contractor shall obtain and pay for all permits, fees, licenses, royalties and taxes, required for construction and occupancy.

CODES:
Contractor shall perform all work and provide all materials in compliance with all applicable codes and jurisdiction including latest issue of Massachusetts State Building Code and any requirements of the City of LYNN, MA.
Contractor shall perform all work and install or apply all items and material as per manufacturer's instructions and recommendations and as per best practice of trades.

TEMPORARY SERVICES:
Contractor shall provide, install and pay for any and all temporary services as required for construction including water, electricity, telephone and heating.

STORAGE:
Temporary storage of materials, debris and excess materials shall be allowed on the project site only in a location previously approved by owner.

SCAFFOLDING:
Contractor shall provide, erect and dismantle any and all interior and exterior scaffolding and bracing as required by construction and in compliance with all applicable laws, ordinances, codes, safety rules (including OSHA) and other applicable jurisdictions.

SECURITY:
Contractor shall be wholly responsible for patrolling and protecting the work under construction, materials stored on site and existing structures. The contractor shall have full responsibility for the security of the property, including any required temporary fencing, barricades, overhead protection, alarm systems, and night lighting.

FIRE PREVENTION:
Contractor shall take all necessary precautions for prevention of fire during the construction period.

PUBLIC ROADS AND WALKS:
Contractor shall keep all public roads, walks and ways caused by construction, and repair any damage to any part or portions of the construction process.

SHORING, SHEETING AND BRACING:
Contractor shall provide, install, and remove any pay for any sheeting, shoring and bracing as required by any portion of the construction process.

Contractor shall check, verify and coordinate all measurements, dimensions and report any discrepancies directly to the Architect immediately.

CUTTING AND PATCHING:
Contractor shall provide all patching of all materials made necessary by the construction (and demolition) process and required to complete the intent of the drawings as needed for a complete, finished and final installation.

Contractor shall make all cuts, holes, perforations, cove, etc. necessary to accommodate the work of the contract.

Contractor shall notify the architect before doing any cutting of any structural members not specifically scheduled on the plans.

Match all materials required to be patched by the construction (and demolition) process, with materials identical to the existing material in the adjoining area of the patch, or with an alternate method acceptable to and approved by the architect.

Matching shall be done in a workmanship-like manner and shall not be discernible after its completion.

BUILDING "B"

THE STATION AT WAVELEY SQUARE

WAVELEY SQUARE REDEVELOPMENT

495 TRAPELO ROAD, BELMONT, MA.

DEVELOPER:

DESIGN ASSOCIATES, INC.

300 WASHINGTON STREET

BELMONT, MA.

DEVELOPER:

ARCHITECT

200 WEST STREET

NORTH BOSTON, MA.

01864

PROCESSED PRINT 2-7-12

BUILDING "B"

AL.1



PROCESS PRINT 2-248

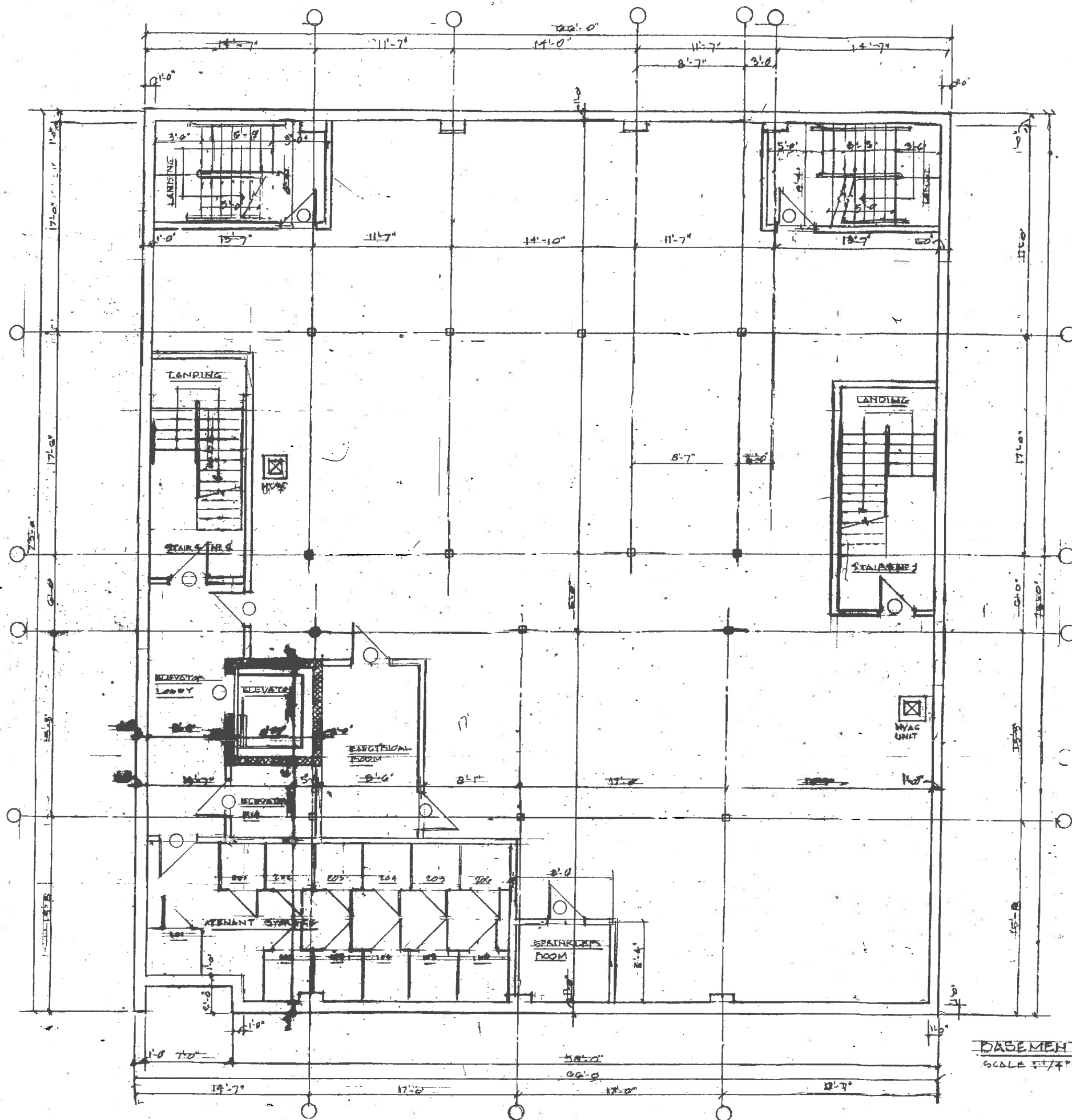
BLDG'3

BUILDING "B"
THE STATION AT WAVERLY SQUARE

WAVERLY SQUARE REDEVELOPMENT
435 TRAFALG ROAD, BELMONT, MA.
DEVELOPER'S
DECO ASSOCIATES, INC.
351 EXETER STREET
BELMONT, MA.

PETER F. DIMIO
ARCHITECT
245 BEM STREET
NORTH READING, MA
01864

AL3



BASEMENT FLOOR PLAN
SCALE 1/4" = 1'-0"

SCALE 1-10

~~PROGRESS PRINT~~ 2.7.18
11.0.17
BLDG'13'

PETER F. DI MEO
ARCHITECT
349 ELM STREET
NORTH BRADNANT, MA.
21904

ARCHITECT

949-6147 STREETS

WEST BURN STREET
NORTH BROADWAY, MA.

4. **वर्षा**

WAVELEY SQUARE REDEVELOPMENT
412 TRAPelo ROAD, BELMONT, MA.

433 PABLO ROAD FRI MOUNTAIN

P. 000001

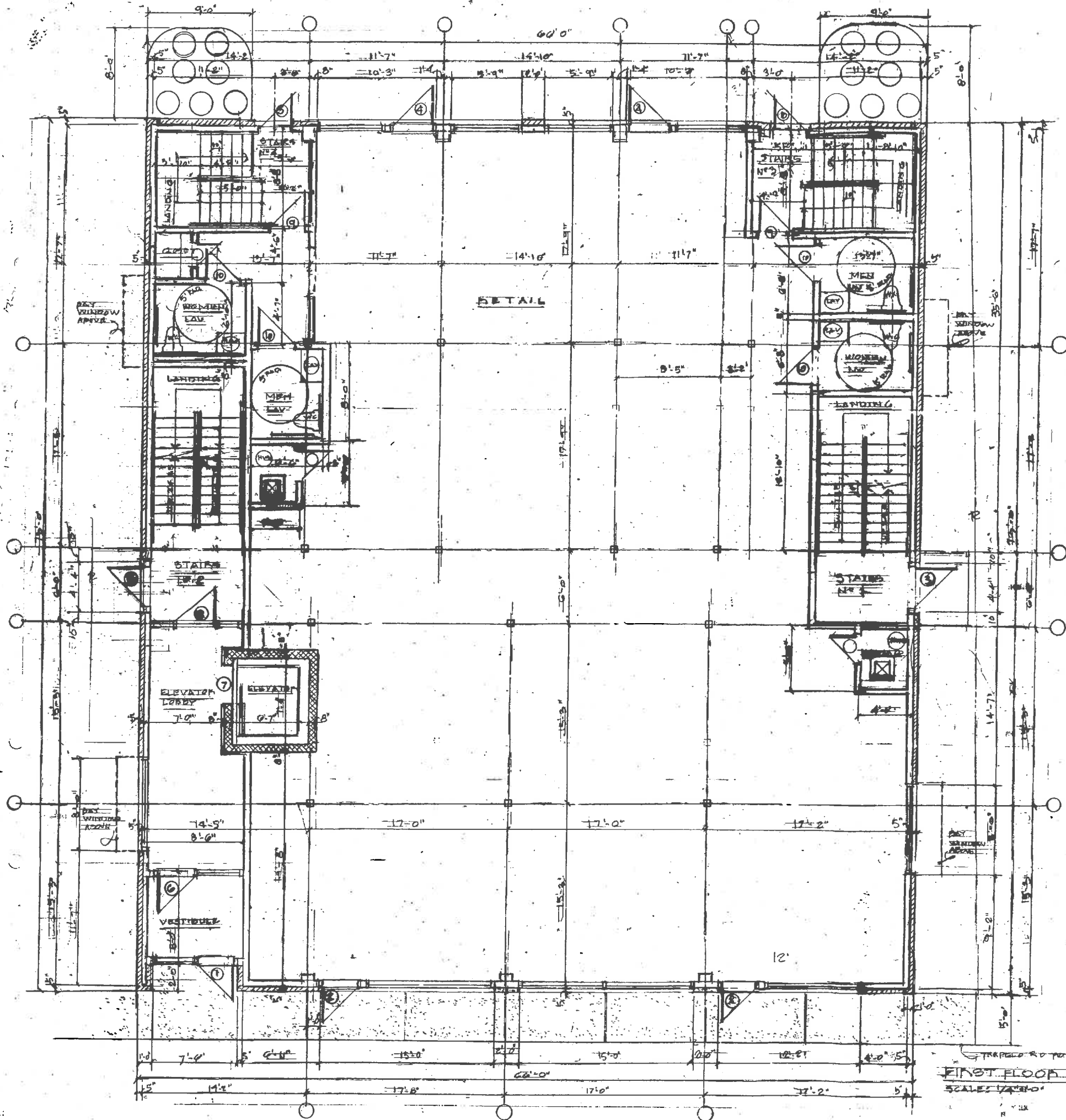
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THE POLISH EXILE

~~Belmont, MA.~~

BUILDING IS
THE STATION AT WIMBORLEY SQUARE

THE STATION AT WASHINGTON



TRAPED RD TO PROPERTY LINE
FIRST FLOOR PLAN
 SCALE 1/8" = 1'-0"

160' ±
 150' ±

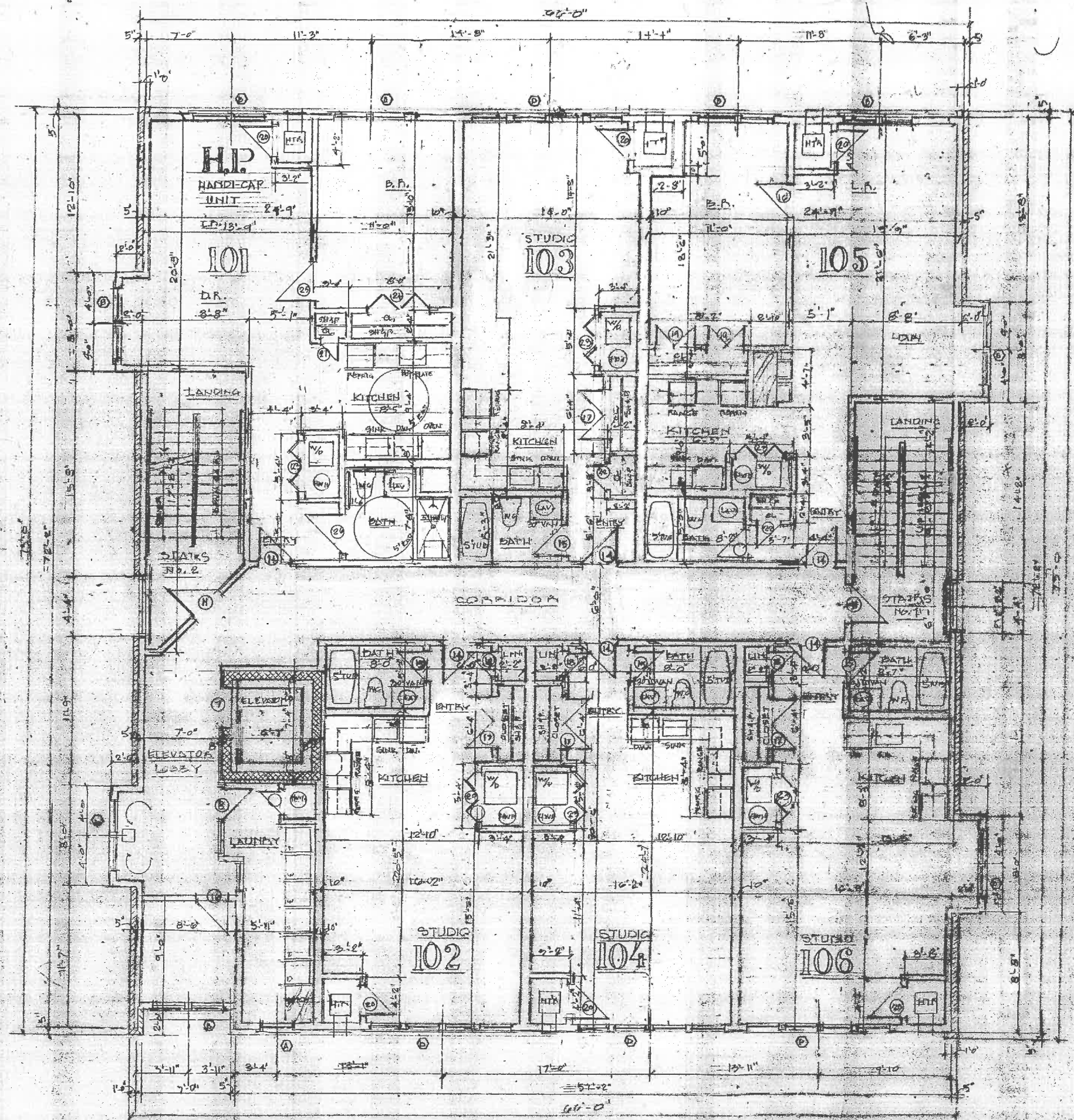
PROGRESS PRINT 2-7-18
BLDG 'B'

PETER F. DIMIO
 ARCHITECT
 245 BLM STREET
 NORTH ABING, MA 01844

WAVERLEY SQUARE REDEVELOPMENT
 499 TRAPERO ROAD, BELMONT, MA
 DEVELOPERS
 DESCO ASSOCIATES, INC.
 28 LEXINGTON STREET
 BOSTON, MA

BUILDING 'B'
 THE STATION AT WAYERLEY SQUARE

A2.1



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



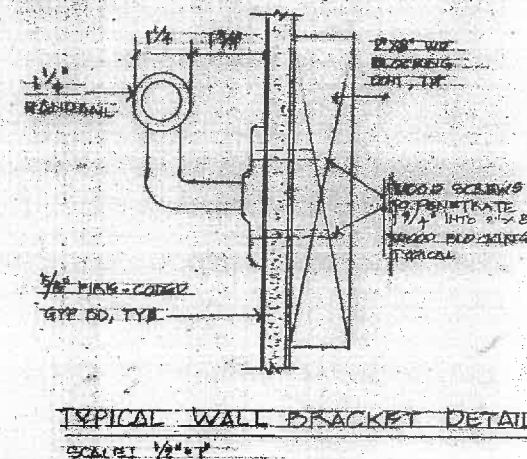
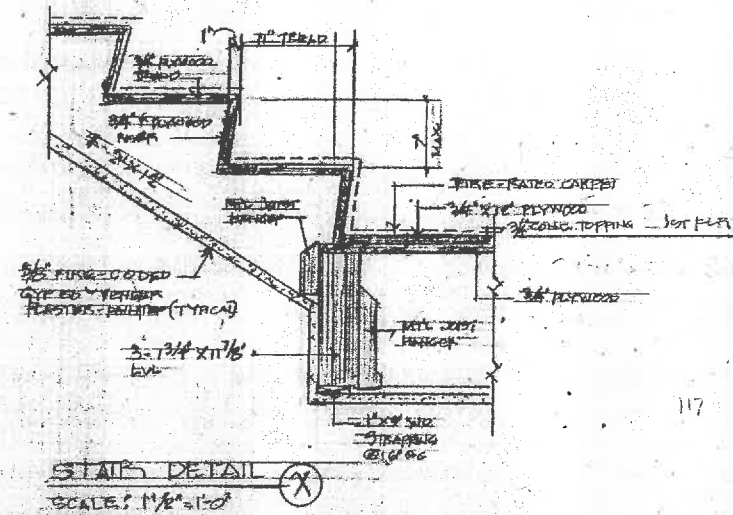
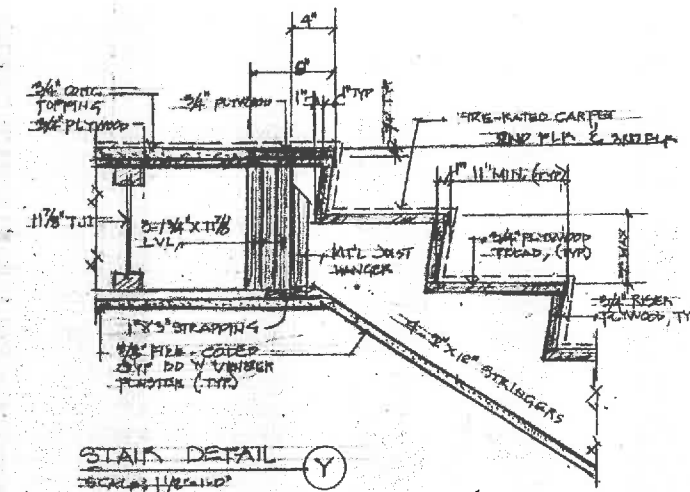
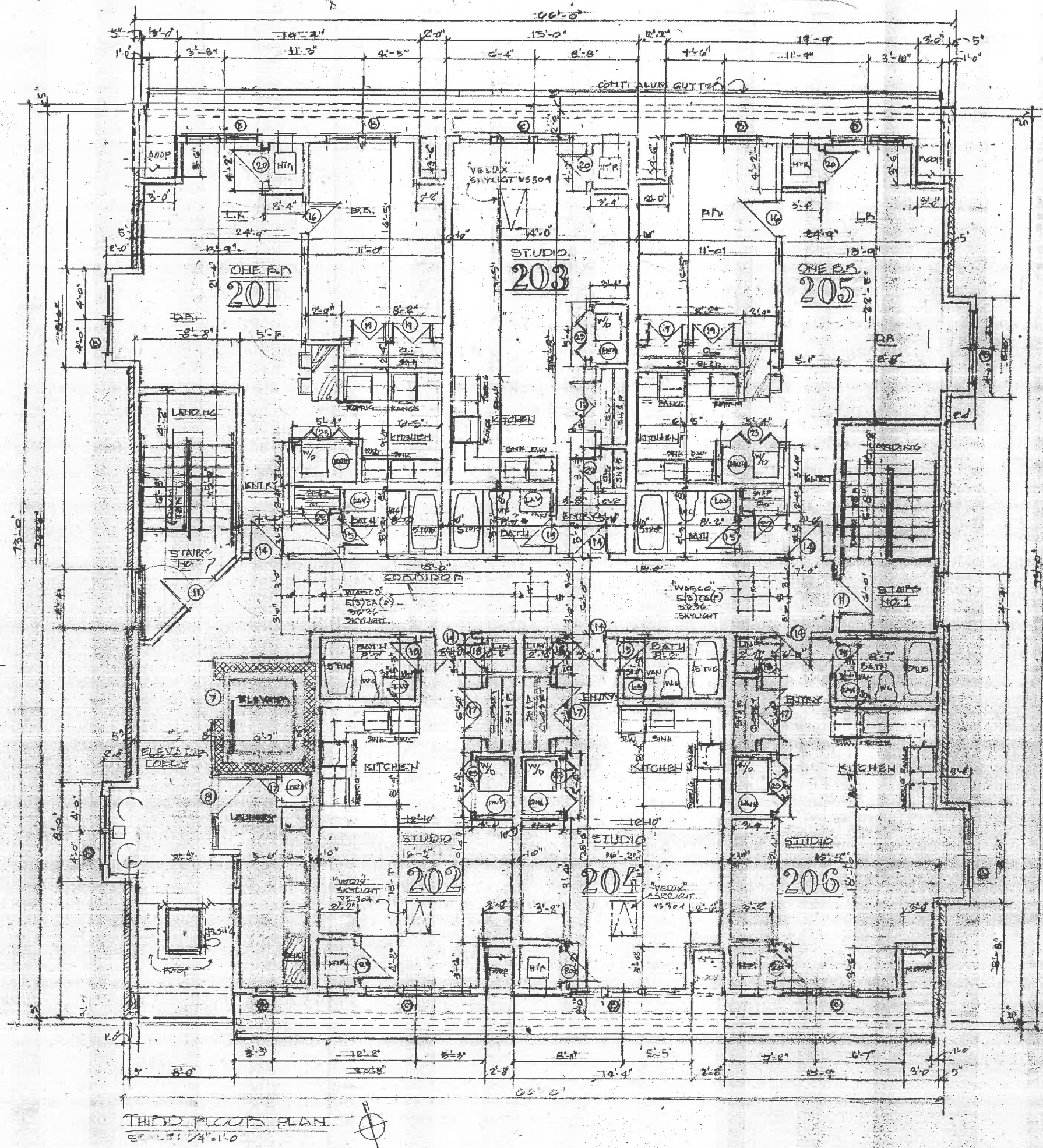
PROCESS PRINT 2-7-18

BLDG "B"

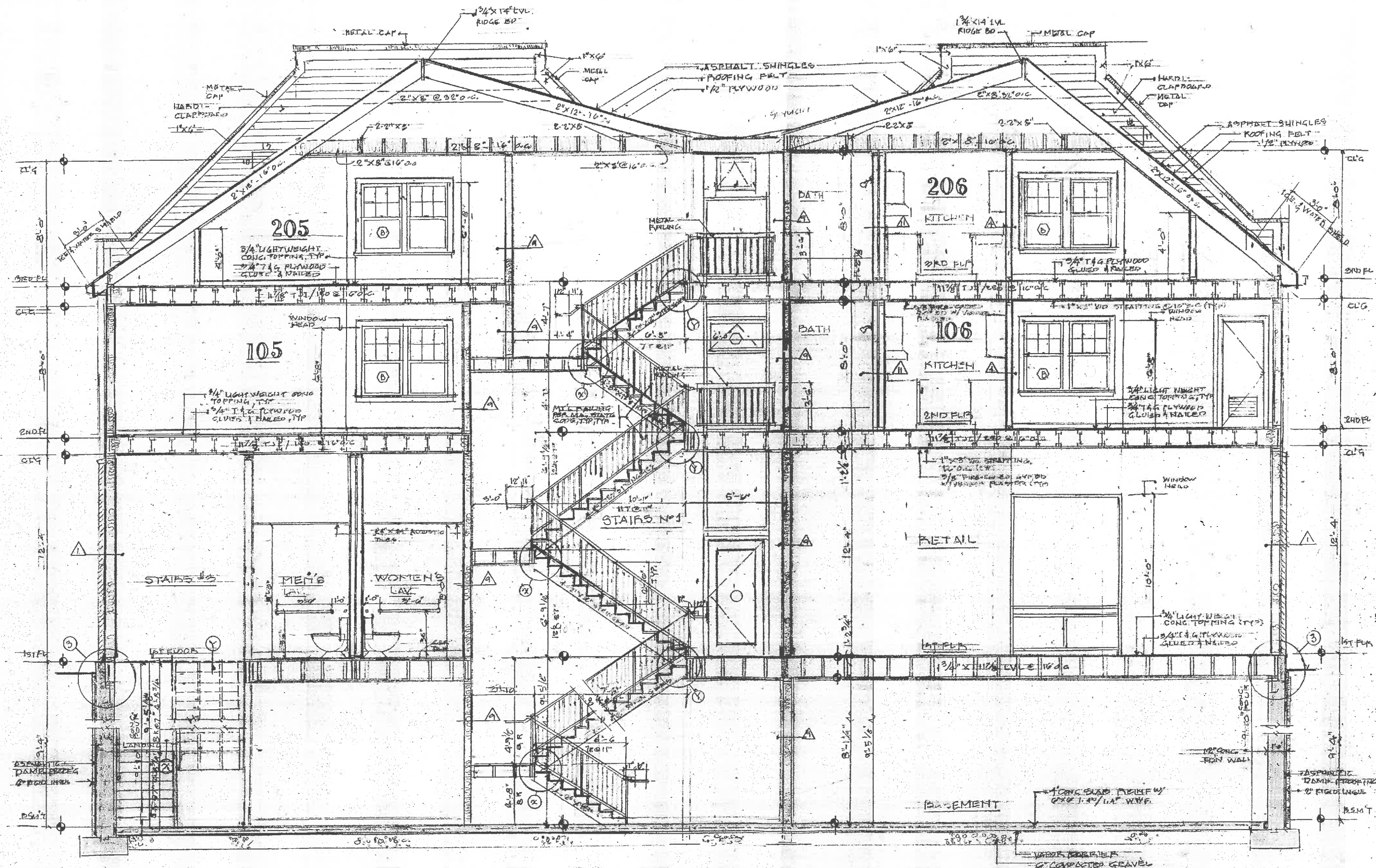
Waverley Square Redevelopment
470 TRAFALGO ROAD, BELMONT, MA
DEVELOPER:
DESCO ASSOCIATES, INC.
1000 WASHINGTON STREET
BELMONT, MA

PETER F. DIMIO
ARCHITECT
245 ELM STREET
NORTH READING, MA
01864

A2.2



PETER F. DI MEO
ARCHITECT
245 EURE STREET
NORTH BOSTON, MA.
01894.



CROSS SECTION

SCALE: 3/8" = 1'-0"

B B

PROGRESS PART 2-7-18

BLDG 'B'

BUILDING "B"
THE STATION AT WAVERLEY SQUARE

WAVERLEY SQUARE REDEVELOPMENT

315 TRAPELO ROAD, BELMONT, MA.

DEVELOPERS

DESCO ASSOCIATION, INC.

58 LEXINGTON STREET

BELMONT, MA.

PETER P. DIMIO

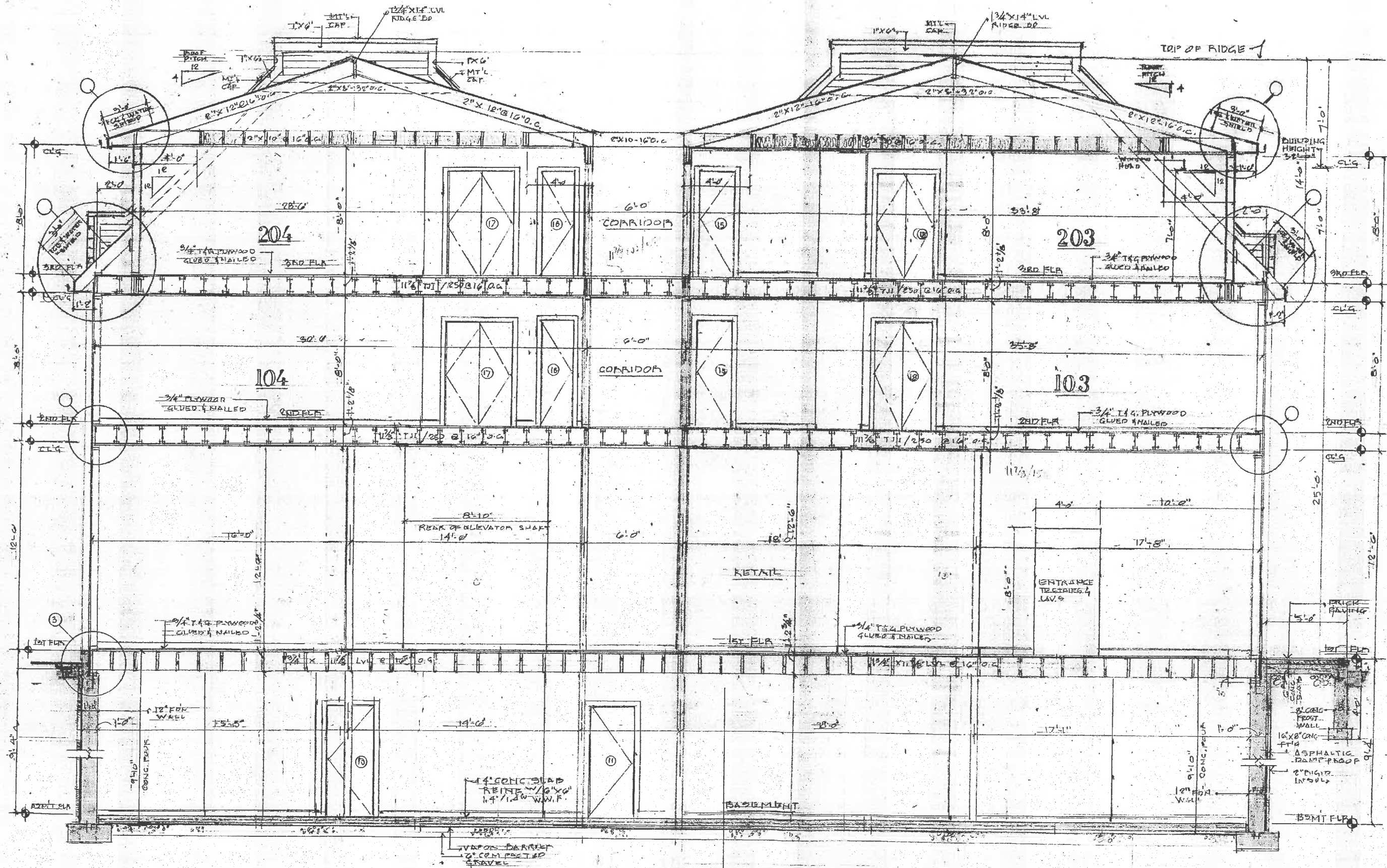
ARCHITECT

245 BUNKER STREET

ROCKFORD, MA.

01864

A30



FRAMING CROSS SECTION
SCALE: 3/8"=1'-0"

A A

PROCESS PRINT 2-7-8
17

BLDG 'B'

WAVELEY SQUARE REDEVELOPMENT
#15 TRAPELO ROAD, BELMONT, MA.
DEVELOPERS:
DESCO ASSOCIATES, INC.
28 LEXINGTON STREET
BELMONT, MA.

PETER F. DI MEO
ARCHITECT
245 ELM STREET
NORTH READING, MA.
01864

A31

BUILDING "B"
THE SECTION AT WAVELEY SQUARE