

CONSTRUCTION
DOCUMENTS
APRIL 7, 2016

PROJECT DISCRPTION:

ADD NEW (3RD) FLOOR TO EXISTING RANCH HOME AND REMODEL
EXISTING KITCHEN AND PORTIONS OF 1ST FLOOR AND BASEMENT

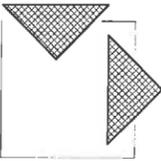
DRAWING LIST

- A1 COVER SHEET
- A2 FOUNDATION DEMO PLAN
- A3 FIRST FLOOR DEMO PLAN
- A4 ROOF DEMO PLAN
- A5 ELEVATION DEMO PLAN
- A6 ELEVATION DEMO PLAN
- A7 FOUNDATION FLOOR LAYOUT
- A8 FIRST FLOOR LAYOUT
- A9 SECOND FLOOR LAYOUT
- A10 ROOF PLAN
- A11 NEW ELEVATIONS
- A12 NEW ELEVATIONS
- A13 FOUNDATION
- A14 STRUCTURAL
- A15 STRUCTURAL
- A16 STRUCTURAL/SECTION

PROJECT INFORMATION: PER ZONING AMENDMENTS DATED 11/26/2012
BELMONT ZONING DISTRICT SR-C:

FRONT YARD SETBACK: 25'-0" (23'-9" UNCHANGED NON-CONFORMING)
REAR YARD SETBACK: 30'-0" (UNCHANGED)
SIDE YARD SETBACK: 10'-0" (9'-8" - UNCHANGED & 10'-0" UNCHANGED)
FRONTAGE: 75'-0" (EXISTING 66'-0" NON COMPLIANT) - UNCHANGED
LOT AREA: 9000 (6343SQFT NON CONFORMING (UNCHANGED))
MAX HEIGHT: 35/2.5 STORIES (31' +/- 3.5 STORIES NON CONFORMING)
SEE SITE PLAN FOR BASEMENT CALC'S
LOT COVERAGE (MAX): 25% - SEE SURVEY
OPEN AREA (MIN): 50% - SEE SURVEY

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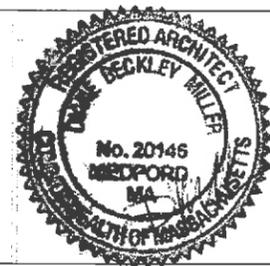


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Date: Issued for:

2/27/16	SCHEMATIC DESIGN
3/01/16	DESIGN DEVELOPMENT
4/07/16	CONSTRUCTION DOCS
6/28/16	PLANNING BOARD



RANA RESIDENCE
42 PINE STREET
BELMONT, MA

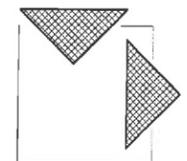
COVER SHEET

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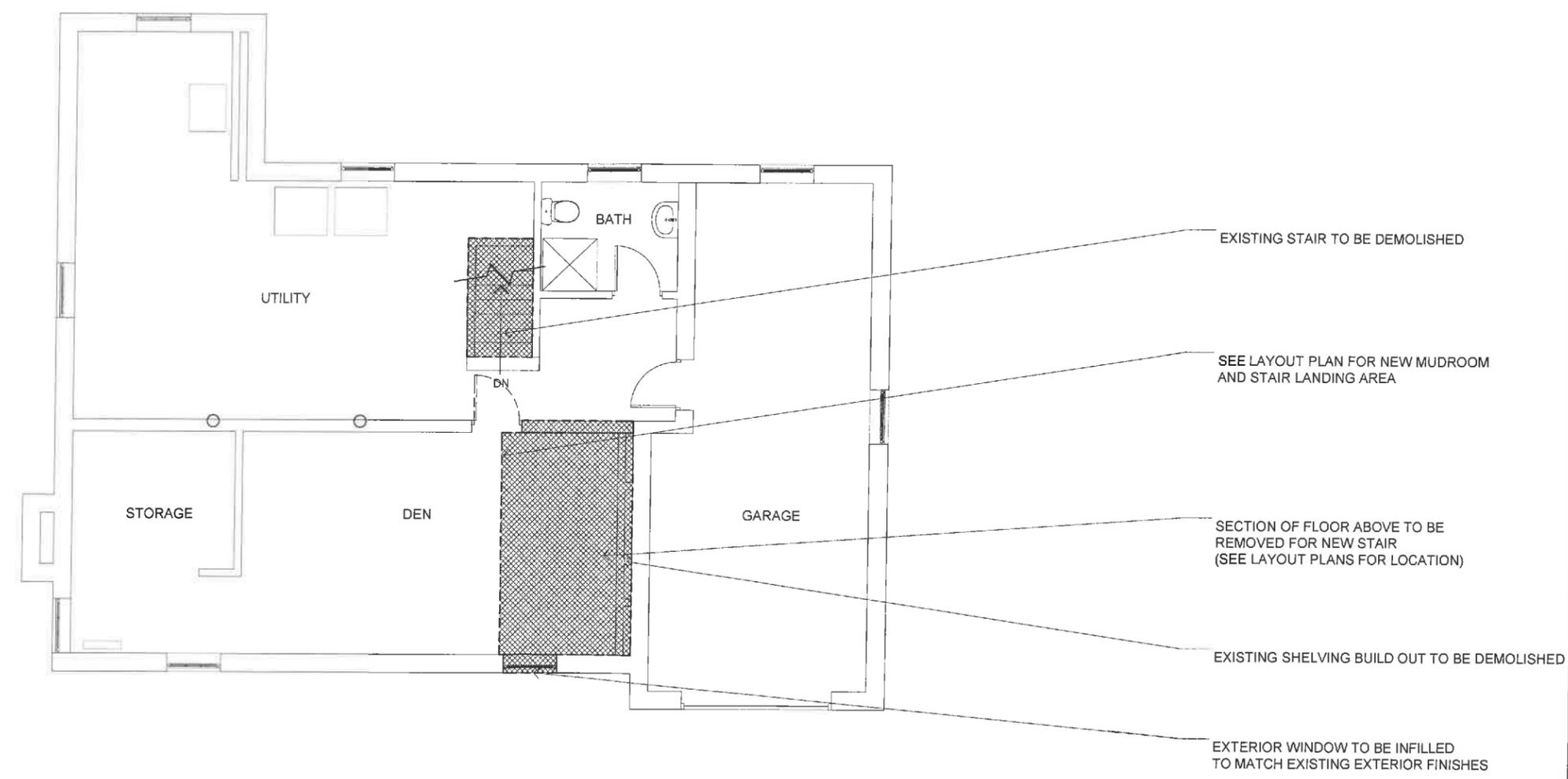
A1



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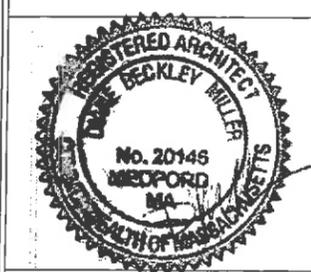


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BASEMENT PLANS

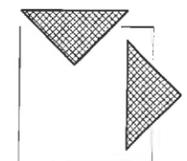
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A2

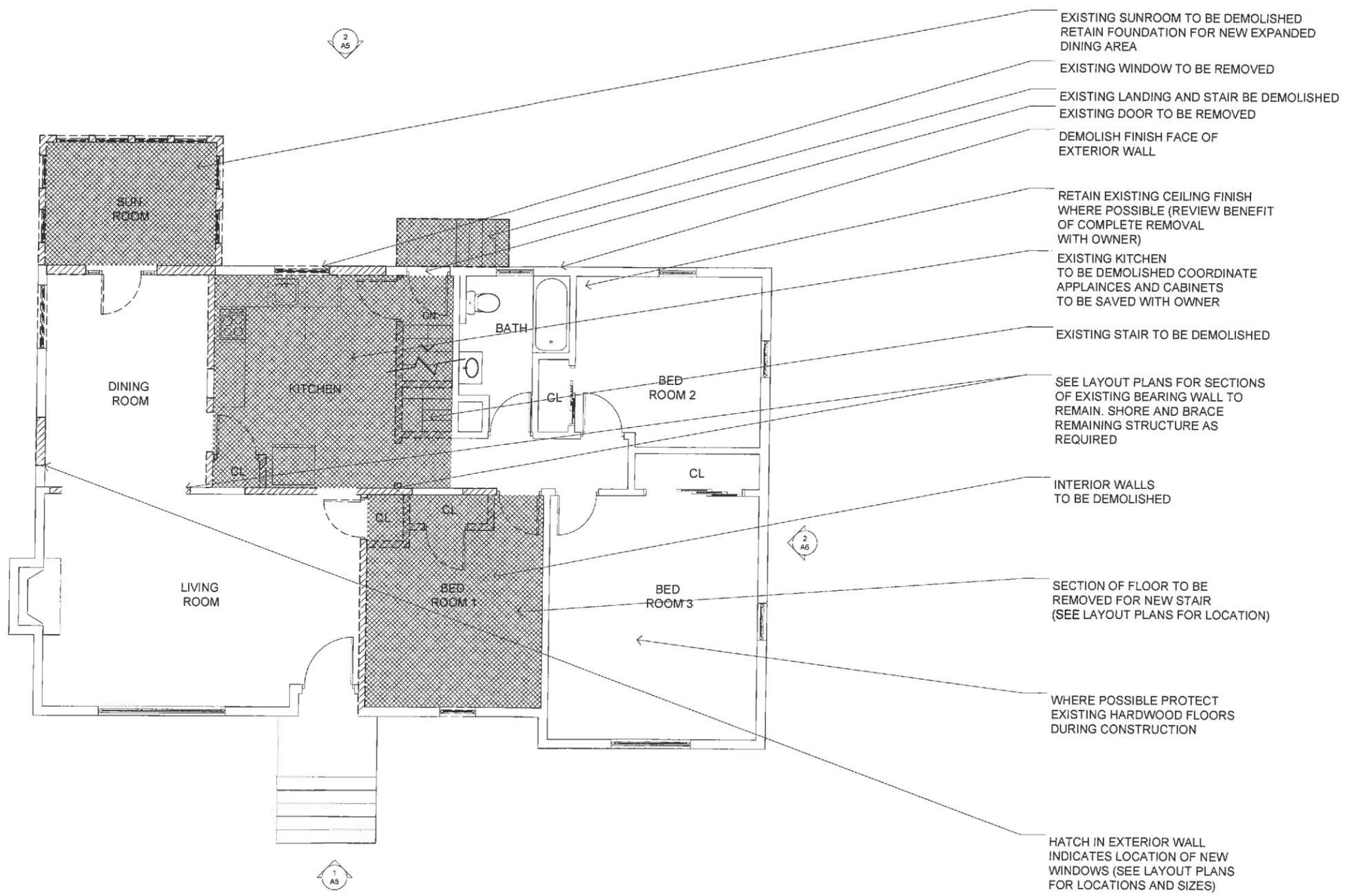
1 BASEMENT DEMO PLAN
SCALE: 1/8" = 1'



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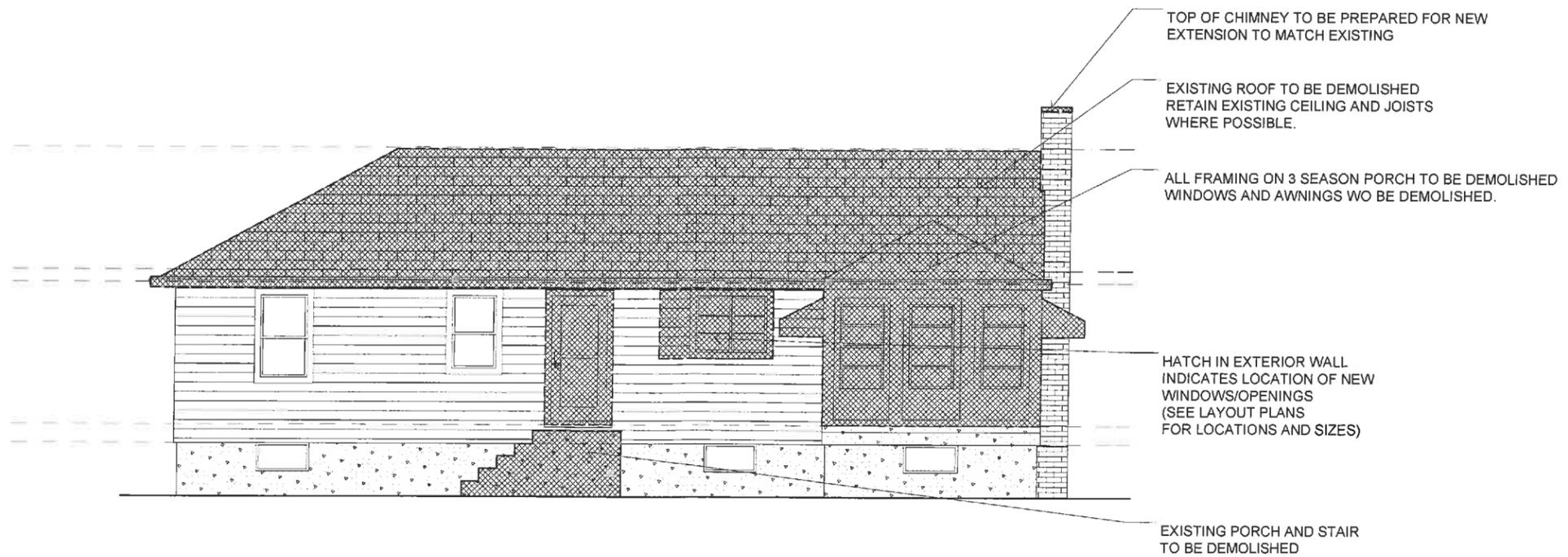
FLOOR PLANS

Sheet
Number:

A3

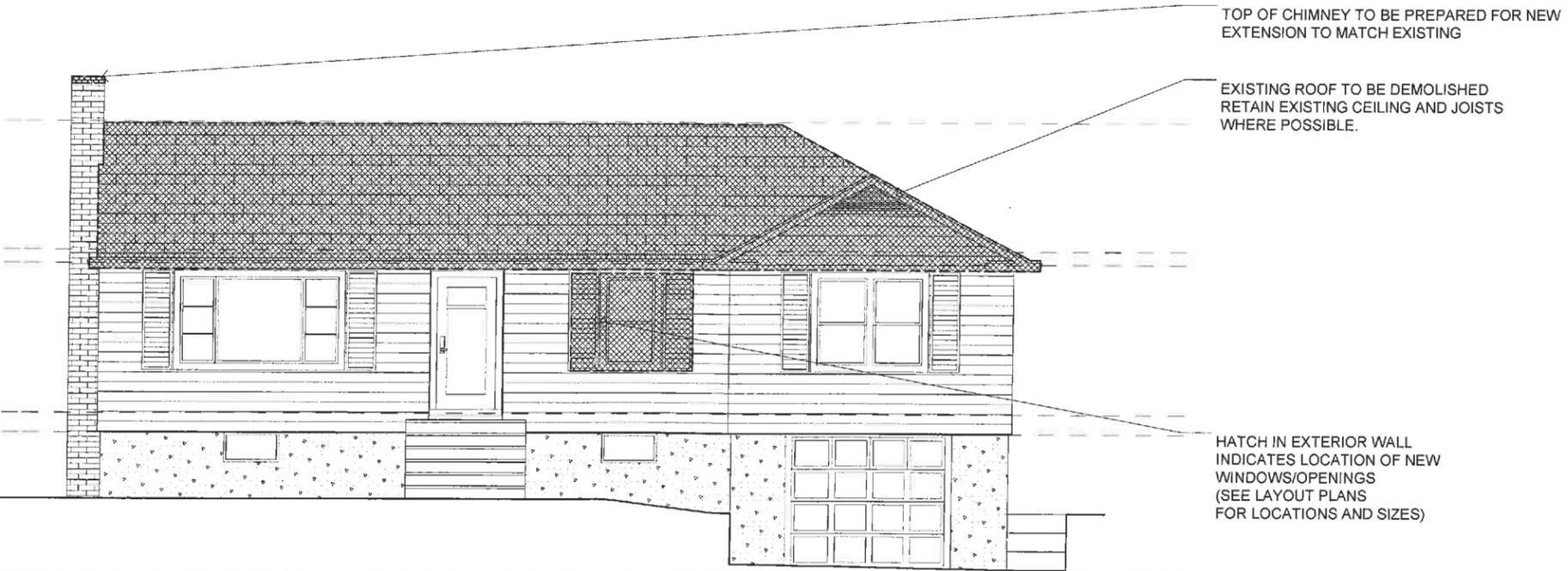
1 FIRST FLOOR DEMO PLAN
SCALE: 1/8" = 1'





2 NORTH ELEVATION
SCALE: 1/8" = 1'

ALL EXISTING EXTERIOR SIDING
TO BE REMOVED.



1 SOUTH ELEVATION
SCALE: 1/8" = 1'

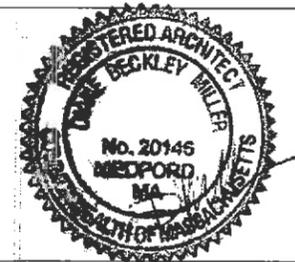


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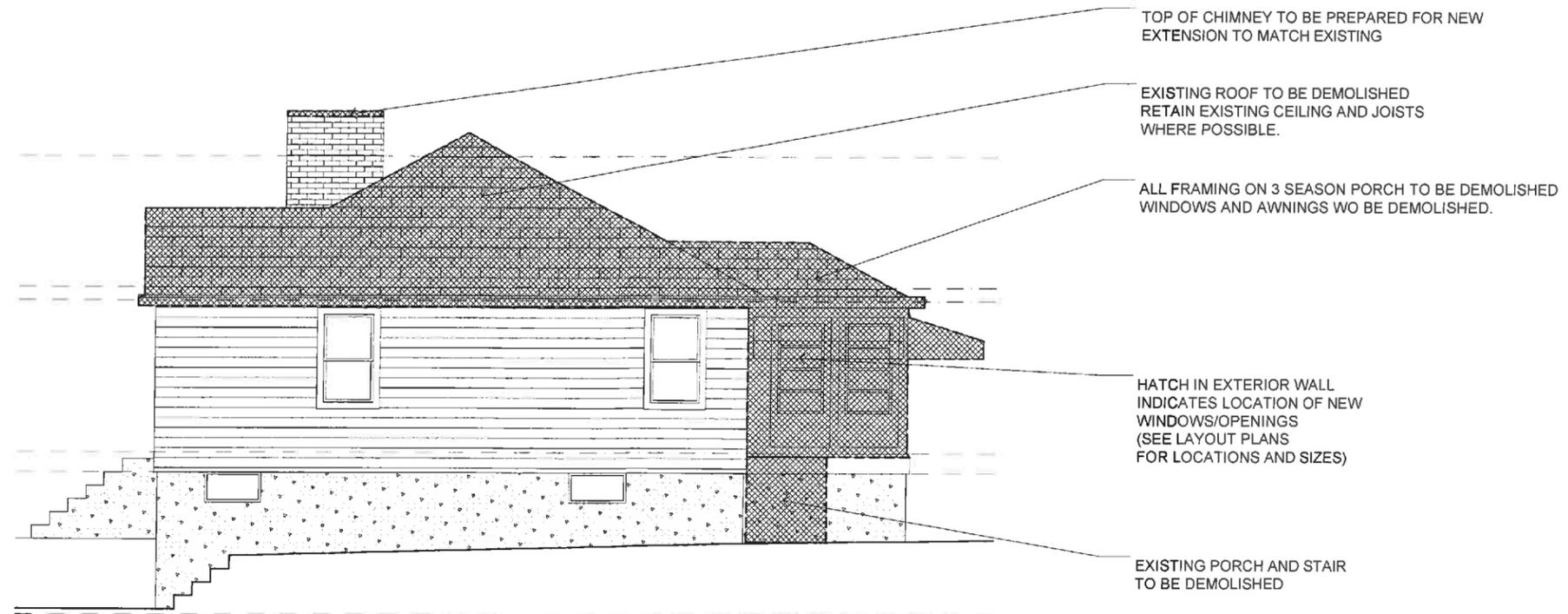


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BELMONT, MA

**EXISTING
ELEVATIONS**

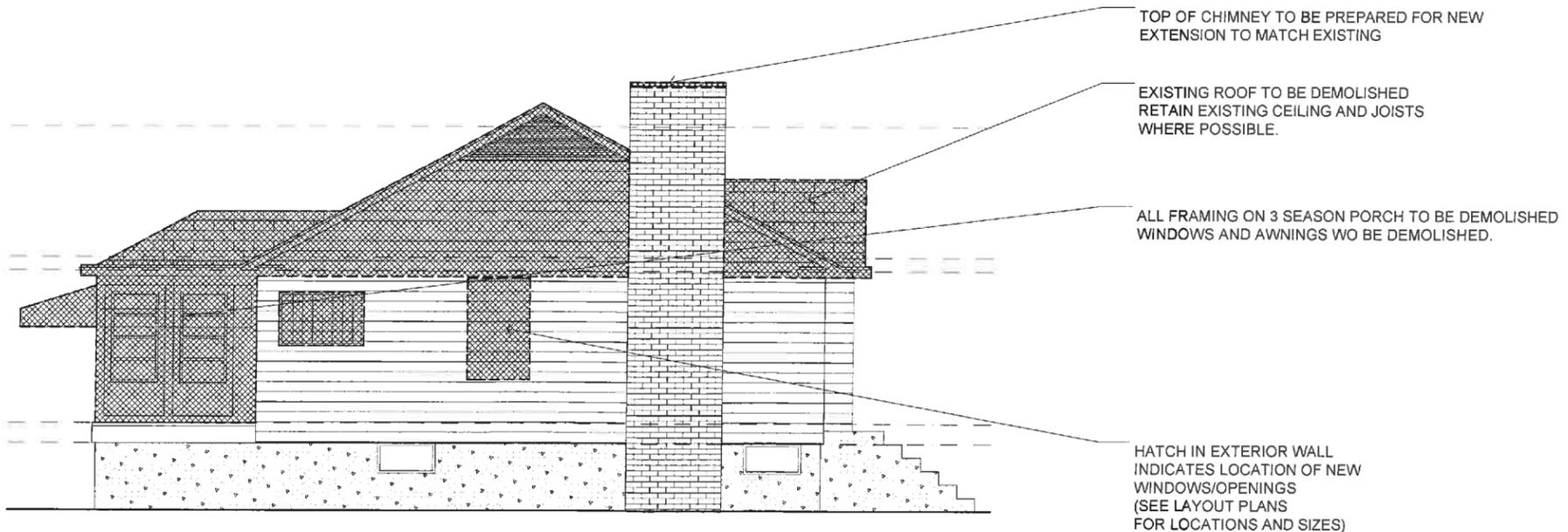
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ALL EXISTING EXTERIOR SIDING TO BE REMOVED.

2 EAST ELEVATION
SCALE: 1/8" = 1'



1 WEST ELEVATION
SCALE: 1/8" = 1'



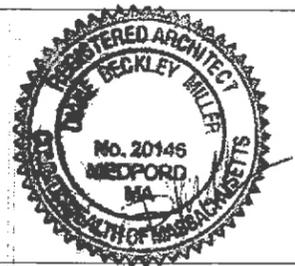
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EXISTING
ELEVATIONS

Sheet
Number:

A6

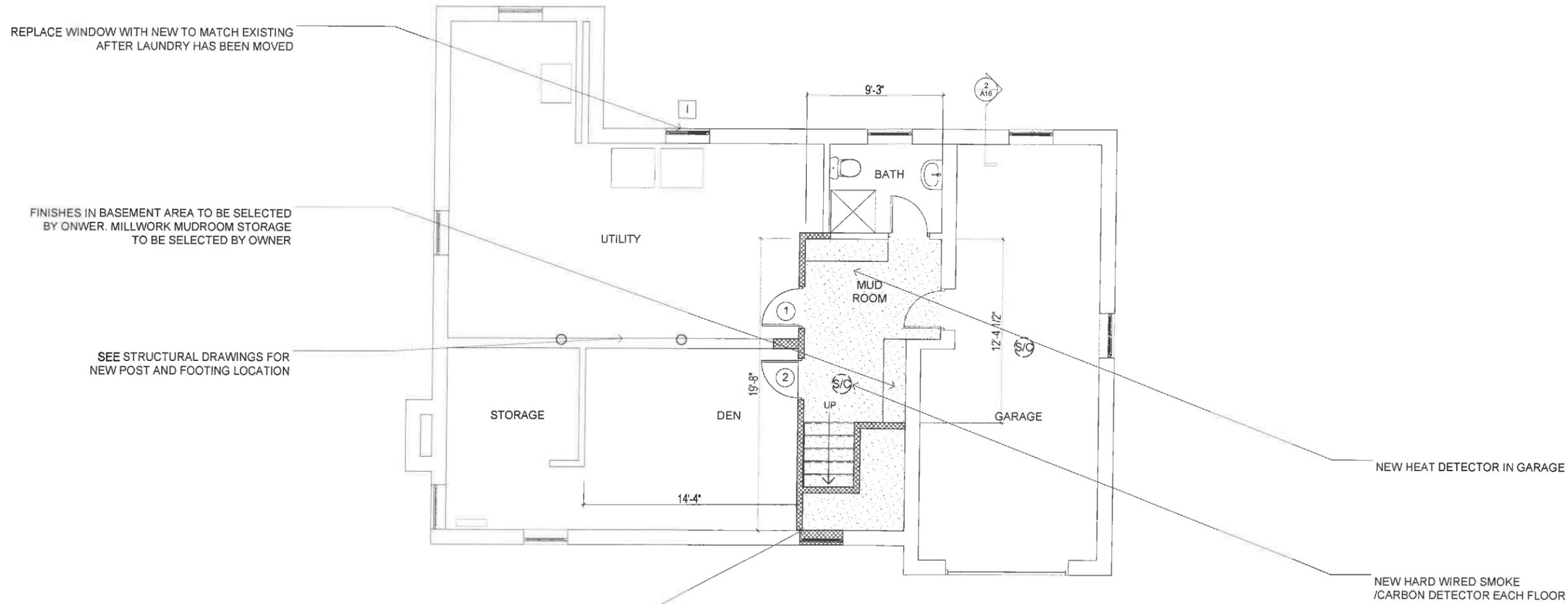
NOTE:
UNLESS OTHERWISE NOTED
ALL RECESSED LIGHTS ARE
TO BE LED TYPE ON DIMMER
SWITCHES

NOTE 2:
PAINT ALL INTERIOR AND
EXTERIOR FINISHES AS
REQUIRED & SELECTED BY
OWNER

NOTE 3:
ALL INTERIOR TRIM/BASE
PROFILES TO MATCH EXISTING
IN RESPECT TO PROFILE, SIZE
AND FINISH

NOTE 4:
PROVIDE NEW HARDWOOD
FLOOR TME. FEATHER IN NEW
BOARDS WHERE REQUIRED.
SAND & REFINISH EXISTING.

NOTE 5:
PROVIDE SMOKE AND CARBON
DETECTORS AS REQUIRED BY
CODE THROUGHOUT



REPLACE WINDOW WITH NEW TO MATCH EXISTING
AFTER LAUNDRY HAS BEEN MOVED

FINISHES IN BASEMENT AREA TO BE SELECTED
BY OWNER. MILLWORK MUDROOM STORAGE
TO BE SELECTED BY OWNER

SEE STRUCTURAL DRAWINGS FOR
NEW POST AND FOOTING LOCATION

NEW HEAT DETECTOR IN GARAGE

NEW HARD WIRED SMOKE
/CARBON DETECTOR EACH FLOOR

NEW 3'-6" WIDE WOOD STAIRS:
W/RAILINGS PER CODE
PT 2X12 STRINGERS AT 2' OC
WITH 6'-10" X 3'-0" LANDING (TO MATCH TREADS)
(11)10" TREADS W/1" NOSING, (12)8.00" RISERS (VIF)

1 BASEMENT PLAN
SCALE: 1/8" = 1'

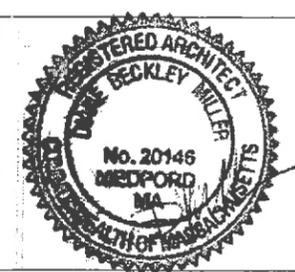


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BELMONT, MA

BASEMENT PLANS

Sheet
Number:

A7

NOTE:
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TO BE LED TYPE ON DIMMER
SWITCHES

NOTE 2:
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EXTERIOR FINISHES AS
REQUIRED & SELECTED BY
OWNER

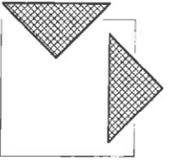
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PROVIDE NEW HARDWOOD
FLOOR TME. FEATHER IN NEW
BOARDS WHERE REQUIRED.
SAND & REFINISH EXISTING.

NOTE 5:
PROVIDE SMOKE AND CARBON
DETECTORS AS REQUIRED BY
CODE THROUGHOUT

NOTE 6:
PROVIDE NEW SMOKE AND
CARBON DETECTORS AS
REQUIRED BY CODE IN ALL
EXISTING BEDROOMS & AT
TOP AND BOTTOM OF ALL
EXISTING STAIRS.

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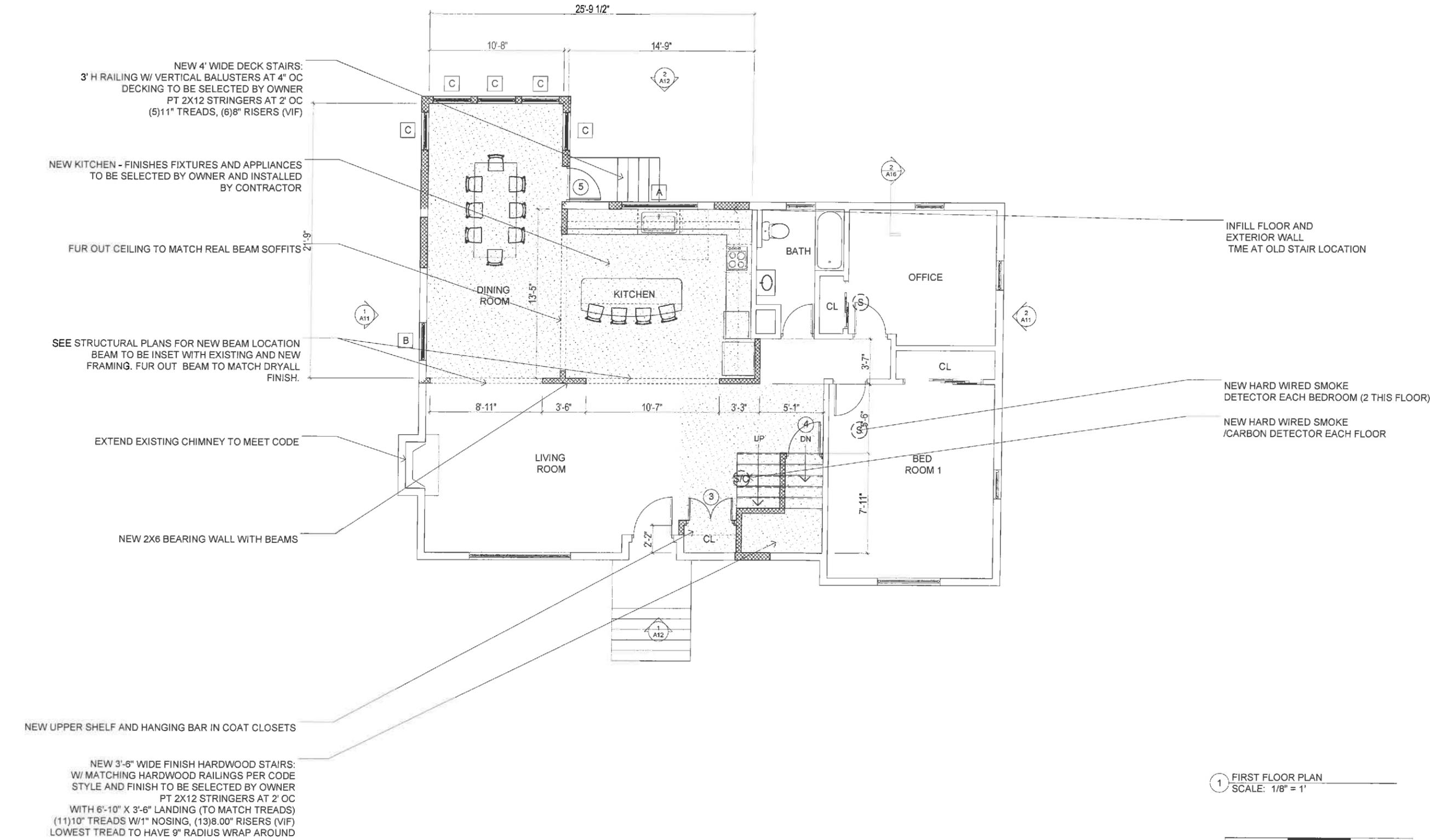


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NEW FLOOR PLANS

Sheet
Number:

A8



1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'



NOTE:
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ALL RECESSED LIGHTS ARE
TO BE LED TYPE ON DIMMER
SWITCHES

NOTE 2:
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EXTERIOR FINISHES AS
REQUIRED & SELECTED BY
OWNER

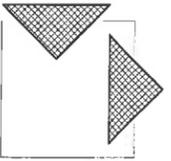
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PROFILES TO MATCH EXISTING
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AND FINISH

NOTE 4:
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FLOOR TME. FEATHER IN NEW
BOARDS WHERE REQUIRED.
SAND & REFINISH EXISTING.

NOTE 5:
PROVIDE SMOKE AND CARBON
DETECTORS AS REQUIRED BY
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NOTE 6:
PROVIDE NEW SMOKE AND
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EXISTING BEDROOMS & AT
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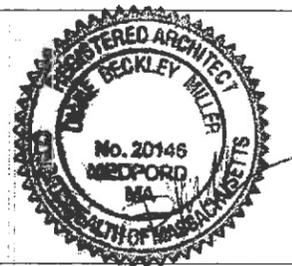


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NEW SECOND
FLOOR PLAN

Sheet
Number:

A9

BATHROOM: 3'-0" X 4'-5" SHOWER W/
TILE FLOOR AND WALLS, PLATE GLASS ONE SIDE W/DOOR,
SHAMPOO NICHE & SOAP (SEE EXISTING BATH)
MULTI HEAD SHOWER SYSTEM TO BE SELECTED BY OWNER
6'-0" WIDE VANITY WITH RECESSED MEDICINE
CABINET/MIRROR ABOVE; TOILET TO BE SELECTED
SOAKING TUB - FREE STANDING
TILE FLOOR W/ ELECTRIC FLOOR WARMING WIRES;
TILE WAINSCOTING TO 4'-0" AFF ON NON-SHOWER WALLS;
MRGWB OR PLASTER CEILING;
TOWEL BARS / HOOKS AS SELECTED;
LIGHTING AS SHOWN; MECHANICAL VENT PER CODE

NEW OPERABLE SKYLIGHT

EXTEND EXISTING CHIMNEY TO MEET CODE

PULL DOWN ATTIC CRAWL SPACE ACCESS

REVIEW OPTIONS FOR MASTER CLOSET STORAGE SYSTEM
WITH OWNER

PROVIDE NEW WATER HOOK UPS AND VENTING FOR
2ND FLOOR LAUNDRY

EXTEND R38 FLOOR INSULATION AT NEW 1'-0"
OVERHANG

NEW UPPER SHELF AND HANGING BAR IN ALL
BEDROOM CLOSETS

NEW 3'-6" WIDE FINISH HARDWOOD STAIRS:
W/ MATCHING HARDWOOD RAILINGS PER CODE
STYLE AND FINISH TO BE SELECTED BY OWNER
PT 2X12 STRINGERS AT 2' OC
WITH 6'-10" X 3'-6" LANDING (TO MATCH TREADS)
(11)10" TREADS W/1" NOSING, (13)8.00" RISERS (VIF)
LOWEST TREAD TO HAVE 9" RADIUS WRAP AROUND

NEW BATHROOM FINISHES AND
FIXTURES TO BE SELECTED
BY OWNER. INSTALL VENT FAN
AS REQUIRED PROVIDE SCONCE
LIGHTING AT VANITY (TO BE
SELECTED BY OWNER)

NEW UPPER SHELF AND HANGING BAR IN ALL
BEDROOM CLOSETS

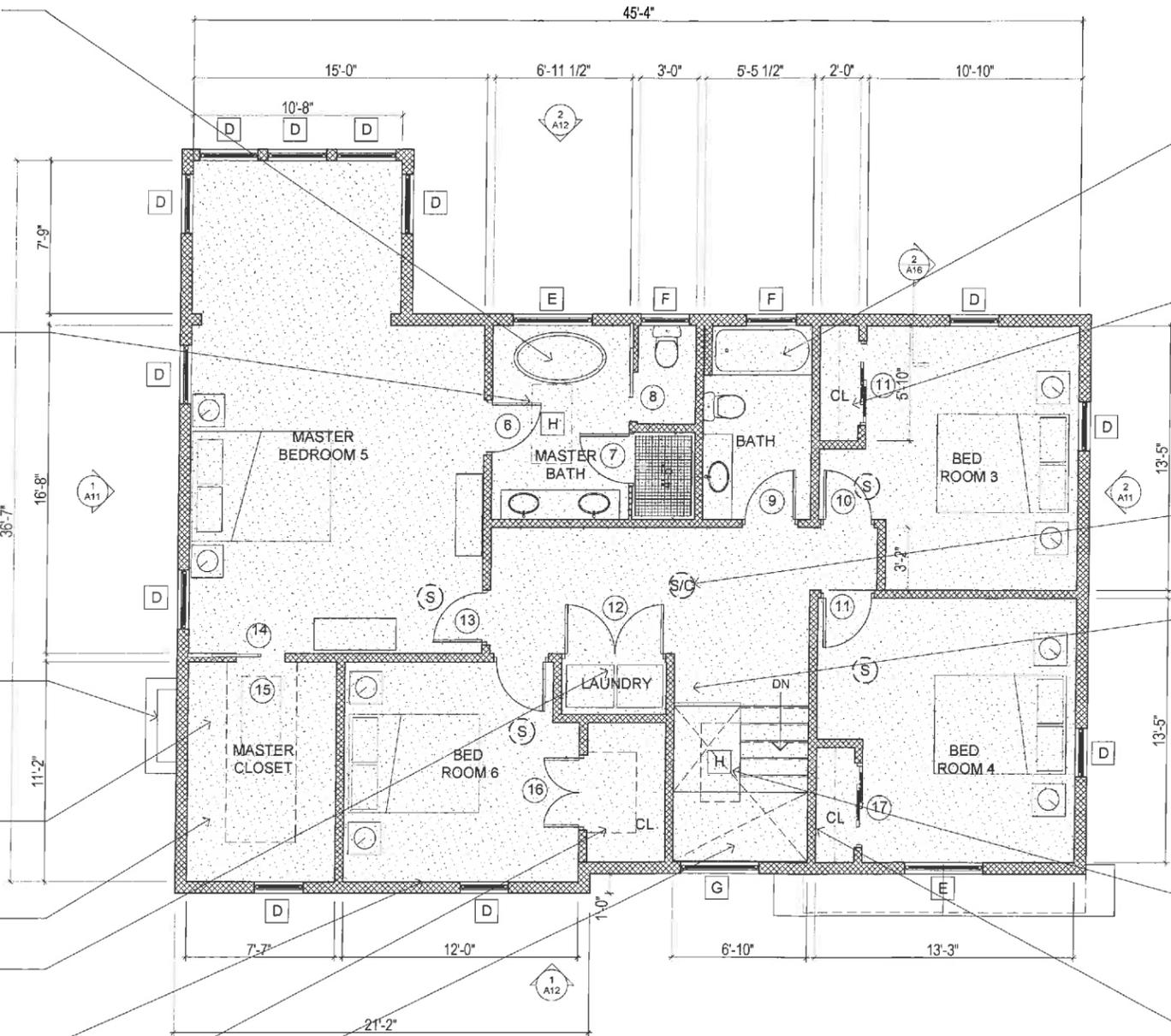
NEW HARD WIRED SMOKE
/CARBON DETECTOR EACH FLOOR

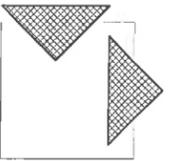
NEW HARD WIRED SMOKE
DETECTOR EACH BEDROOM (4 THIS FLOOR)

NEW OPERABLE SKYLIGHT

NEW UPPER SHELF AND HANGING BAR IN ALL
BEDROOM CLOSETS

1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'





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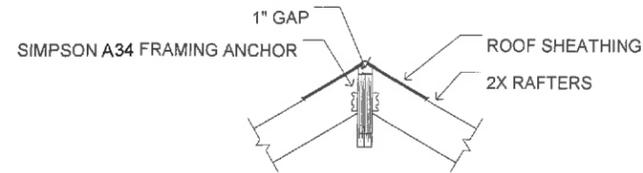


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ROOF PLAN

Sheet
Number:

A10



2 TYPICAL RIDGE VENT DETAIL
SCALE: 1/2" = 1'

GABLE END DETAILING TME (1'-2" OVERHANG)
W/8" RAKES AND 10" FASCIA BOARDS

PROVIDE GUTTERS AND
DOWNSPOUTS AS REQUIRED

RIDGE VENT TIED TO RAFTER
MATE CHANNELS

PROVIDE GUTTERS AND
DOWNSPOUTS AS REQUIRED

PROVIDE GABLE VENT TO MATCH
EXISTING TRIM PROFILES

NEW OPERABLE SKYLIGHT

1
A11

2
A11

PROVIDE GABLE VENT TO MATCH
EXISTING TRIM PROFILES

ROOF ASSEMBLY:
50 YEAR ASPHALT ROOF SHINGLES
NO. 15 BUILDING PAPER
BITUTHENE ICE AND WATER BARRIER
PLYWOOD SHEATHING
SEE FRAMING PLAN FOR STRUCTURE
RAFT-R-MATE VENTILATION CHANNELS
RIDGE VENT
R-38 BATT INSULATION
1" STRAPPING AT 16" O.C.
3/8" GWB CEILING

NEW OPERABLE SKYLIGHT

EXTEND CHIMNEY ABOVE NEW RIDGE
AS REQUIRED BY CODE

GABLE END DETAILING TME (1'-2" OVERHANG)
W/8" RAKES AND 10" FASCIA BOARDS

1
A12

1 ROOF PLAN
SCALE: 1/8" = 1'



EXTEND CHIMNEY ABOVE NEW RIDGE AS REQUIRED BY CODE

PROVIDE GABLE VENT TO MATCH EXISTING TRIM PROFILES

ROOF ASSEMBLY:
50 YEAR ASPHALT ROOF SHINGLES
NO. 15 BUILDING PAPER
BITUTHENE ICE AND WATER BARRIER
PLYWOOD SHEATHING
SEE FRAMING PLAN FOR STRUCTURE
RAFT-R-MATE VENTILATION CHANNELS
RIDGE VENT
R-38 BATT INSULATION
1" STRAPPING AT 16" O.C.
3/8" GWB CEILING

GABLE END DETAILING TME (1'-2" OVERHANG)
W/8" RAKES AND 10" FASCIA BOARDS

PROVIDE GABLE VENT TO MATCH EXISTING TRIM PROFILES

NEW 1 X 6 TRIM BOARD
DETAIL

6" AZEK OR SIM TRIM (TYPICAL)
ON NEW ADDITION



PROVIDE GUTTERS AND DOWNSPOUTS AS REQUIRED

EXTERIOR WALL ASSEMBLY:
SIDING TO BE SELECTED BY OWNER
TYVEK "COMMERCIAL WRAP" O.A.E.
1/2" CDX PLYWOOD SHEATHING
2X6 WOOD STUDS @ 16" O.C.
R-20 HIGH DENSITY BATT INSULATION
6 MIL. POLY VAPOR BARRIER
1/2" GWB ON INTERIOR

6" AZEK OR SIM TRIM (TYPICAL) OWNER
TO SELECT FINAL PROFILE.

NEW EXTERIOR LIGHT TO BE
SELECTED BY OWNER.

NEW 3'-0" HIGH RAILING TO CODE
FINISHES TO BE SELECTED BY OWNER

NEW PT DECKING AS
SELECTED BY OWNER

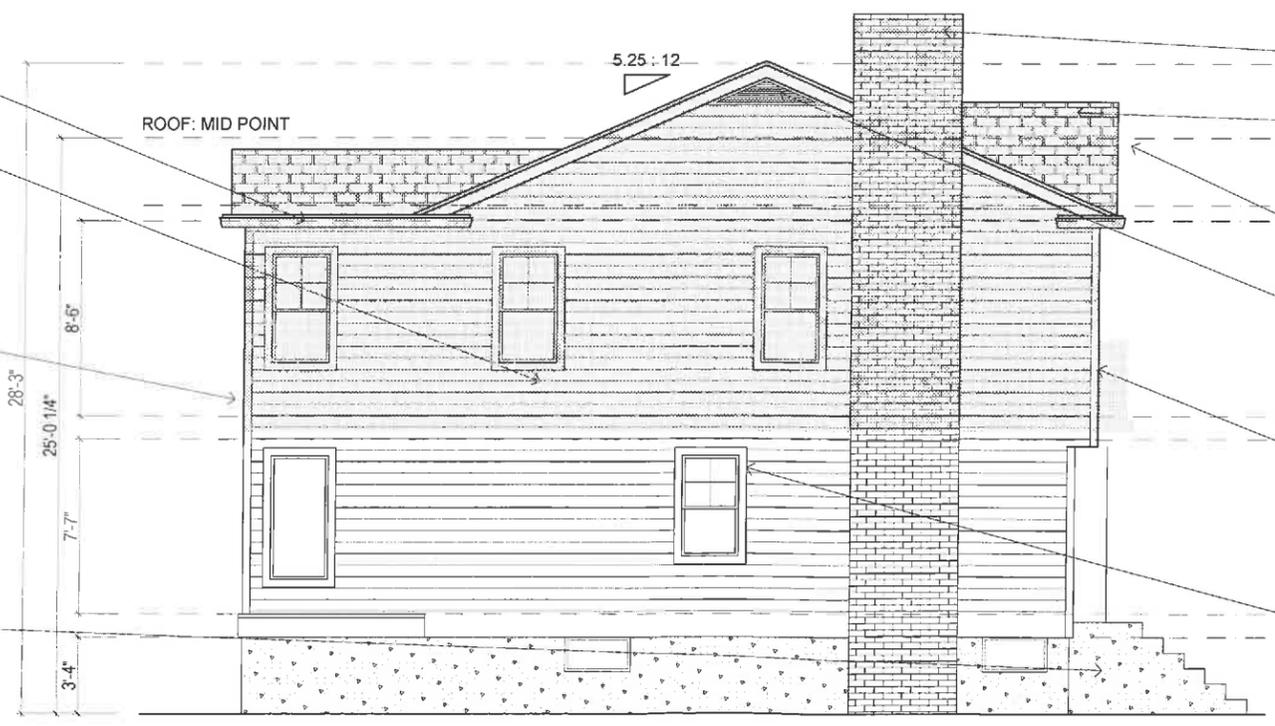
REFER TO DIMENSIONED
LAYOUT PLANS FOR
REMOVED AND NEW WALL
AND BEAM LOCATIONS

2 EAST ELEVATION
SCALE: 1/8" = 1'

PROVIDE GUTTERS AND DOWNSPOUTS AS REQUIRED

EXTERIOR WALL ASSEMBLY:
SIDING TO BE SELECTED BY OWNER
TYVEK "COMMERCIAL WRAP" O.A.E.
1/2" CDX PLYWOOD SHEATHING
2X8 WOOD STUDS @ 16" O.C.
R-20 HIGH DENSITY BATT INSULATION
6 MIL. POLY VAPOR BARRIER
1/2" GWB ON INTERIOR

6" AZEK OR SIM TRIM (TYPICAL) OWNER
TO SELECT FINAL PROFILE.



EXTEND CHIMNEY ABOVE NEW RIDGE AS REQUIRED BY CODE

ROOF ASSEMBLY:
50 YEAR ASPHALT ROOF SHINGLES
NO. 15 BUILDING PAPER
BITUTHENE ICE AND WATER BARRIER
PLYWOOD SHEATHING
SEE FRAMING PLAN FOR STRUCTURE
RAFT-R-MATE VENTILATION CHANNELS
RIDGE VENT
R-38 BATT INSULATION
1" STRAPPING AT 16" O.C.
3/8" GWB CEILING

GABLE END DETAILING TME (1'-2" OVERHANG)
W/8" RAKES AND 10" FASCIA BOARDS

PROVIDE GABLE VENT TO MATCH EXISTING TRIM PROFILES

6" AZEK OR SIM TRIM (TYPICAL)
ON NEW ADDITION

NEW 1 X 6 TRIM BOARD
DETAIL

EXISTIGN FRONT STOOP TO REMAIN

1 WEST ELEVATION
SCALE: 1/8" = 1'

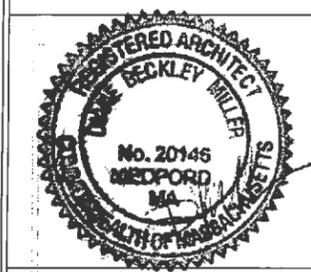


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NEW ELEVATIONS

Sheet
Number:

A11

PROVIDE GUTTERS AND DOWNSPOUTS AS REQUIRED

EXTERIOR WALL ASSEMBLY:
SIDING TO BE SELECTED BY OWNER
TYVEK "COMMERCIAL WRAP" O.A.E.
1/2" CDX PLYWOOD SHEATHING
2X6 WOOD STUDS @ 16" O.C.
R-20 HIGH DENSITY BATT INSULATION
6 MIL. POLY VAPOR BARRIER
1/2" GWB ON INTERIOR

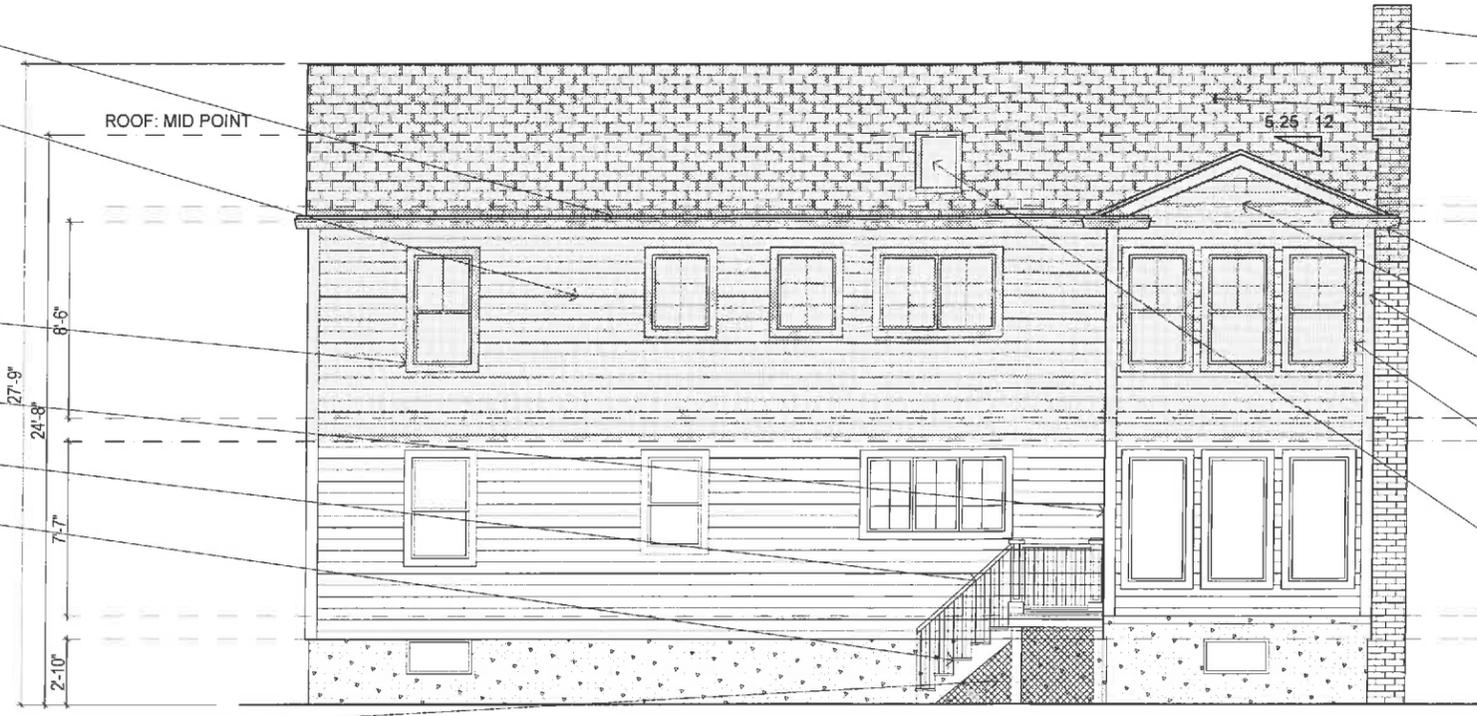
6" AZEK OR SIM TRIM (TYPICAL) OWNER TO SELECT FINAL PROFILE.

NEW EXTERIOR LIGHT TO BE SELECTED BY OWNER.

NEW 3'-0" HIGH RAILING TO CODE FINISHES TO BE SELECTED BY OWNER

NEW PT DECKING AS SELECTED BY OWNER

NEW VINYL LATTICE SCREENING (PROFILE TO BE SELECTED BY OWNER)



EXTEND CHIMNEY ABOVE NEW RIDGE AS REQUIRED BY CODE

ROOF ASSEMBLY:
50 YEAR ASPHALT ROOF SHINGLES
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BITUTHENE ICE AND WATER BARRIER
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R-38 BATT INSULATION
1" STRAPPING AT 16" O.C.
3/8" GWB CEILING

GABLE END DETAILING TME (1'-2" OVERHANG) W/8" RAKES AND 10" FASCIA BOARDS

PROVIDE GABLE VENT TO MATCH EXISTING TRIM PROFILES

NEW 1 X 6 TRIM BOARD DETAIL

6" AZEK OR SIM TRIM (TYPICAL) ON NEW ADDITION

NEW BATHROOM SKYLIGHT SEE SCHEDULE

2 NORTH ELEVATION
SCALE: 1/8" = 1'

REFER TO DIMENSIONED LAYOUT PLANS FOR REMOVED AND NEW WALL AND BEAM LOCATIONS

EXTEND CHIMNEY ABOVE NEW RIDGE AS REQUIRED BY CODE

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GABLE END DETAILING TME (1'-2" OVERHANG) W/8" RAKES AND 10" FASCIA BOARDS

PROVIDE GABLE VENT TO MATCH EXISTING TRIM PROFILES

NEW 1 X 8 TRIM BOARD DETAIL

NEW SHUTTERS

6" AZEK OR SIM TRIM (TYPICAL) ON NEW ADDITION

NEW STAIR SKYLIGHT SEE SCHEDULE

NEW 1 X 6 TRIM BOARD DETAIL



PROVIDE GUTTERS AND DOWNSPOUTS AS REQUIRED

EXTERIOR WALL ASSEMBLY:
SIDING TO BE SELECTED BY OWNER
TYVEK "COMMERCIAL WRAP" O.A.E.
1/2" CDX PLYWOOD SHEATHING
2X6 WOOD STUDS @ 16" O.C.
R-20 HIGH DENSITY BATT INSULATION
6 MIL. POLY VAPOR BARRIER
1/2" GWB ON INTERIOR

4" AZEK OR SIM TRIM (TYPICAL) OWNER TO SELECT FINAL PROFILE.

NEW EXTERIOR LIGHT TO BE SELECTED BY OWNER.

PROVIDE GABLE VENT TO MATCH EXISTING TRIM PROFILES

NEW SHUTTERS

GABLE END DETAILING TME (1'-2" OVERHANG) W/8" RAKES AND 10" FASCIA BOARDS

EXISTING FRONT STOOP TO REMAIN

EXISTING GARAGE TO REMAIN

1 SOUTH ELEVATION
SCALE: 1/8" = 1'

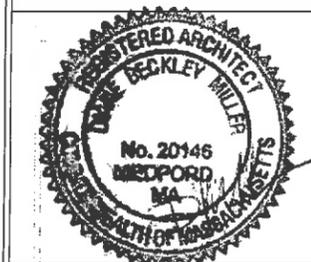


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Date:	Issued for:
2/27/16	SCHEMATIC DESIGN
3/01/16	DESIGN DEVELOPMENT
4/07/16	CONSTRUCTION DOCS
6/28/16	PLANNING BOARD



RANA RESIDENCE
42 PINE STREET
BELMONT, MA

NEW ELEVATIONS

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