



Town of Belmont

APPLICATION FOR A SPECIAL PERMIT

Date: 4/15/16

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 96 COUNTRY CLUB LANE Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for CONSTRUCTION OF TWO REAR ADDITIONS AND A DECK.

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner: *Beverly Buker Staley*
Print Name: Beverly Buker - Staley
Address: 96 Country Club Lane
Belmont, MA
Daytime Telephone Number: 617-852-6402



OFFICE OF COMMUNITY DEVELOPMENT
TOWN OF BELMONT
19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2664
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

April 5, 2016

Dean Staley & Beverly Bucker-Staley
96 Country Club Lane
Belmont, MA 02478

RE: Denial to Construct Two Rear Additions and a Deck.

Dear Mr. Staley and Mrs. Bucker,

The Office of Community Development is in receipt of your building permit application for the construction of two proposed Rear Additions and a deck at 96 Country Club Lane located in a Single Residence A Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Laws, more specifically, Section 4.2.2 of the Dimensional Regulations, where:

1. The minimum required rear setback in a Single Residence A Zoning District is 40'. The existing rear setback is 27.1' and the proposed 27.2'.
2. The maximum allowed lot coverage is 20%, the existing lot coverage is 22.3% and the proposed is 23.4%.

You may alter your plans to conform to the current Town of Belmont Zoning By-Laws and resubmit for a building permit, or you may request two Special Permits from the Zoning Board of Appeals to construct these additions and the deck. If you choose this option, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant Director, at (617) 993-2650 in order to begin the process.

Sincerely,

Glenn R. Clancy, P.E.
Inspector of Buildings

04/15/16

Application for a Special Permit
96 Country Club Lane

To whom it may concern,

We are applying for a special permit to make our home more comfortable and easier to live in. Our project has three elements: an expansion of our garage, an extension of our deck, and an upgrade of our existing 3-season sun room with an additional bedroom above. We feel these changes are in harmony with the area and will not create any detrimental effects on the neighborhood.

Our current garage is 20x19 and barely fits our cars. In the winter we have no room for our snow blower and in the summer have no room for our lawn mower and garden equipment. We thought about a shed but felt, with our small backyard, that an extension of our garage would be more appealing.

We like to entertain and eat out doors in the summer but our current deck is too narrow to accommodate a table or chair grouping. We would like to expand our deck to allow us to sit outdoors comfortably with family and friends and enjoy our back yard. Overall, we are reducing our deck area and making it more functional.

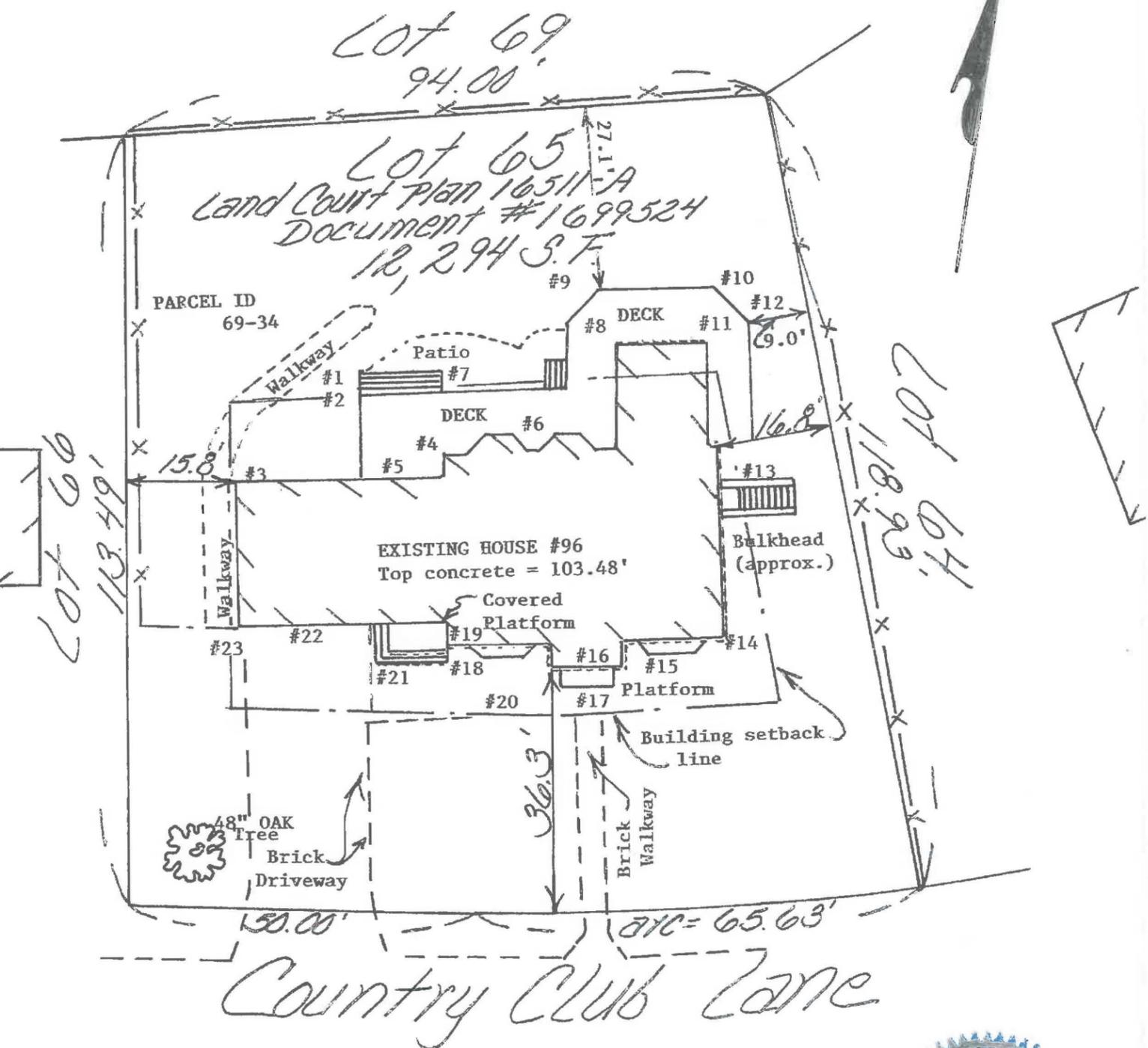
Our favorite room during the warm months is our 3-season sun room. We enjoy the light and views. However, we would like to have use of this room all year around. Our current room is small and if we are going to renovate we would like to make it a size that would fit our needs better, providing an area for sitting, circulation, a table or bar, and play space for our twin granddaughters.

We hope you will approve our request.

Sincerely,

Beverly Buker & Dean Staley
Homeowners – 96 Country Club Lane

Certified Plot Plan



- | | |
|----------------------------|--------------------------------|
| #1 GROUND = 100.5' | #14 GROUND = 103.0' |
| #2 GROUND = 100.5' | #15 ROOF OVERHANG = 120.60' |
| #3 GROUND = 100.6' | #16 GROUND = 103.1' |
| #4 ROOF OVERHANG = 112.3' | #17 THRESHOLD = 104.54' |
| #5 GROUND = 100.9' | #18 WALK ELEV. = 103.4' |
| #6 ROOF OVERHANG = 120.5' | #19 GROUND = 102.9' |
| #7 GROUND = 100.9' | #20 ROOF OVERHANG = 111.8' |
| #8 DECK ELEV. = 103.67' | #21 OVERHANG = 120.5 |
| #9 PATIO ELEV. = 100.6' | #22 GROUND = 103.1' |
| #10 HOUSE CORNER = 108.03' | #23 OVERHANG = 111.8' |
| #11 ROOF OVERHANG = 111.1' | #23 DRIVEWAY AT DOOR = 101.74' |
| #12 GROUND = 100.0' | #23 GROUND = 100.8' |
| #13 GROUND = 100.4' | #23 ROOF OVERHANG = 112.3' |
| #14 HOUSE CORNER = 108.9' | |
| #15 ROOF OVERHANG = 111.1' | |
| #16 GROUND = 101.1' | |
| #17 GROUND = 102.4' | |
| #18 ROOF OVERHANG = 120.4' | |

MICHAEL D. MARTORELLA
 No. 35863
 REGISTERED PROFESSIONAL LAND SURVEYOR
 SURVEYOR
 11/10/2015
 DATE:

NOTE:
THIS PLAN IS NOT TO BE USED FOR THE ESTABLISHMENT OF PROPERTY LINES, ERECTION OF FENCES OR LANDSCAPING.

Plan of land in: BELMONT, MASS.
 Prepared for: DEAN STALEY & BEVERLY BUKER
 By: DAVID E. ROSS ASSOCIATES, INC.
 111 Fitchburg Road - P.O. Box 368
 Ayer, Mass. 01432 Tel. 978-772-6232

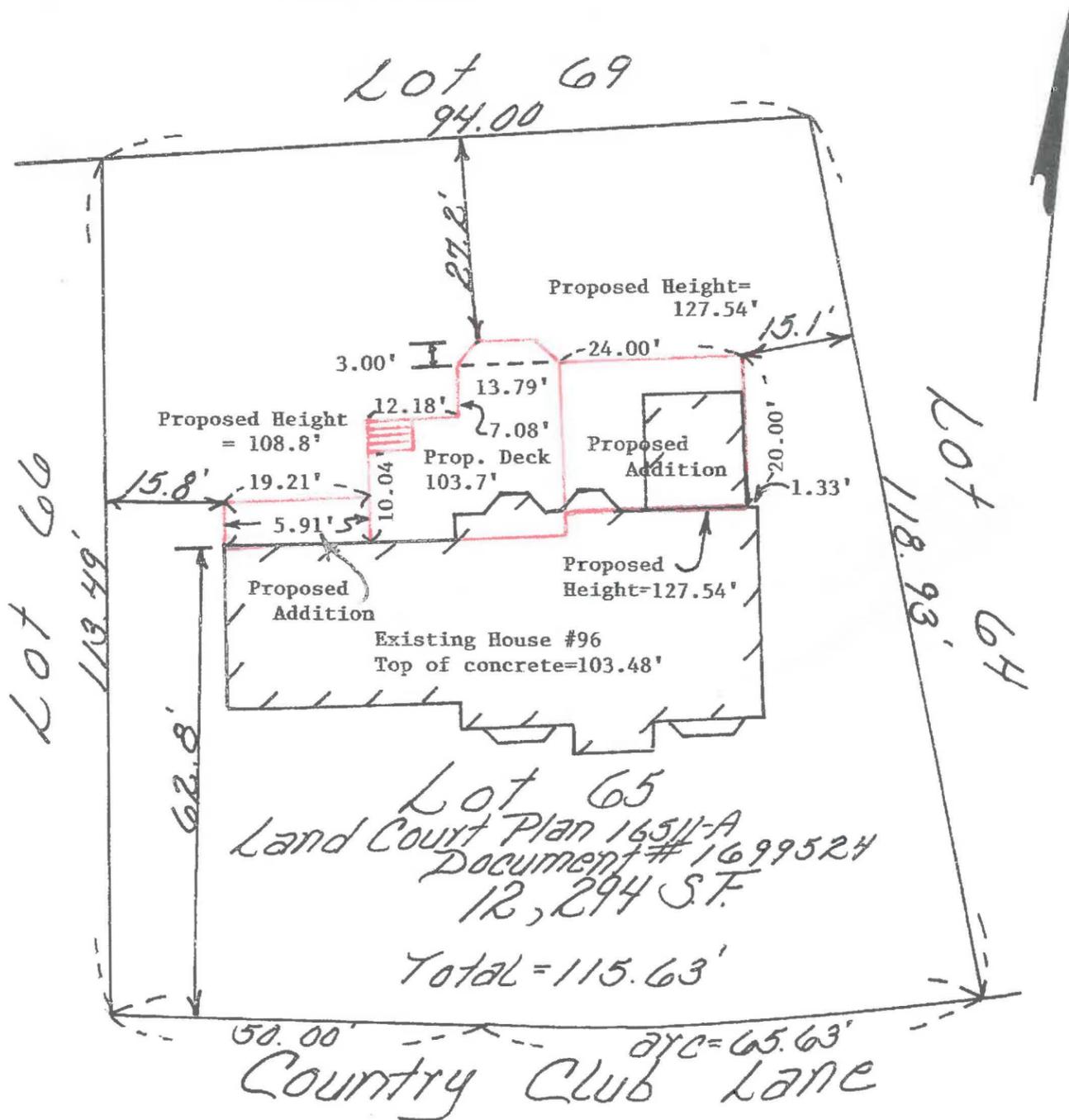
Owner: Dean Staley & Beverly
 Loc. House No. 96 Buker
 App. No.
 Date: November, 2015
 Scale: 1"=20'

"Existing Conditions Plan"

Job No. 30717 Plan No. S-14228

Sheet
1 of 2

Certified Plot Plan



I CERTIFY THAT THE EXISTING HOUSE AND PROPOSED ADDITION ARE LOCATED ON THE LOT AS SHOWN.
 I FURTHER CERTIFY THAT THE STRUCTURES ARE LOCATED WITHIN FLOOD ZONE "X" (UNSHADED) PER FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWN OF BELMONT, COMMUNITY PANEL NO. 250182 0412 E DATED JUNE 4, 2010.

	REQUIRED	EXISTING	PROPOSED
Lot Area	25,000 Sq. Ft.	12,294 Sq. Ft.	N/A
Lot Frontage	125 Feet	115.63'	N/A
Floor Area Ratio	N/A	N/A	N/A
Lot Coverage	20%	22.3%	23.4%
Open Space	50%	71.1%	70.3%
Front Setback	30 Feet	36.3'	62.8'
Side Setback	15 Feet	9.0'	15.1'
Side Setback	15 Feet	15.8'	15.8'
Rear Setback	40 Feet	27.1'	27.2'
Building Height	36 Feet	26.5'+/-	26.0'+/-
Stories	2 1/2	2 1/2	2 1/2
1/2 Story Calculation	3.0' wall height = 16' x 16' = 256 Sq. Ft. 3.0' wall perimeter = 64 feet		
	proposed addition perimeter = 88 feet		
	5.0' wall height = 10.66' x 13.33' = 142.10 Sq. Ft.		
	addition area = 480 sq. ft. (60% of 480 Sq. Ft. = 288 Sq. Ft.)		

Zoning Classification: SINGLE RESIDENCE A



Michael D. Martorella
 SURVEYOR
 12/30/2015
 DATE REVISED
 3/23/2016
Michael D. Martorella
 Sheet 2 of 2

Note:

This plan is not to be used for the establishment of property lines, erection of fences or landscaping.

Proposed Addition Plan

Job No. 30717, Plan No. S-14228

Owner: Dean Staley and Beverly Buker
 Loc. House No. 96
 App. No.
 Date: November, 2015
 Scale: 1"=20'

Zoning Compliance Check List

(Registered Land Surveyor)

Property Address: 96 Country Club Lane

Zone: Single Res. A

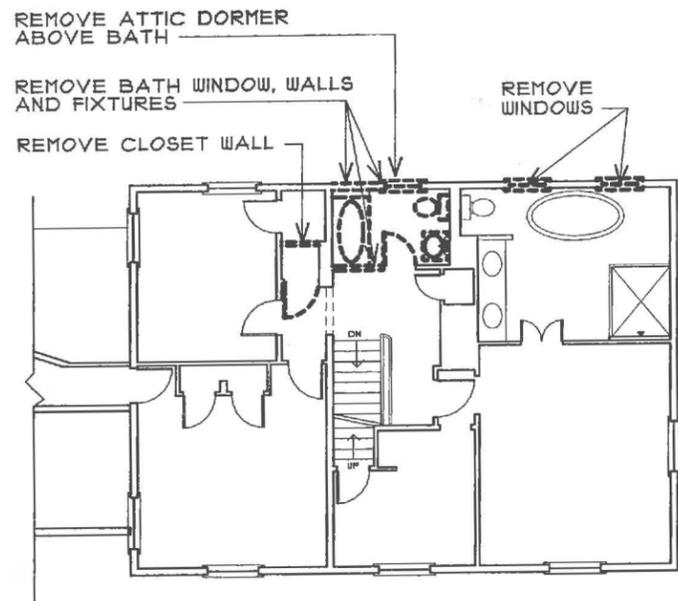
Surveyor Signature and Stamp: *[Signature]*
36863

Date: 3/23/2016

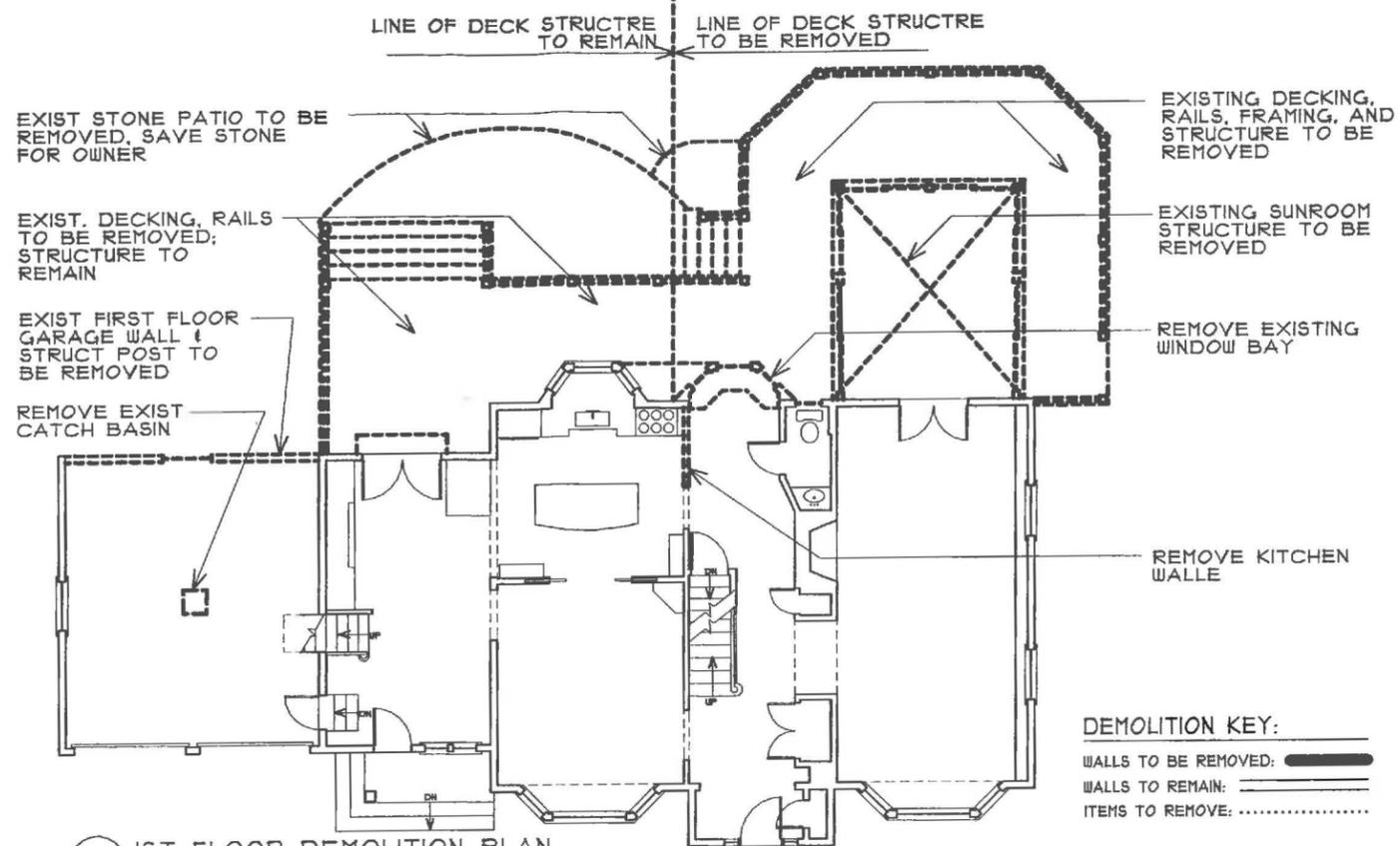
	REQUIRED	EXISTING	PROPOSED
Lot Area	25,000 Sq. Ft.	12,294 Sq. Ft.	N/A
Lot Frontage	125 Feet	115.63'	N/A
Floor Area Ratio	N/A	N/A	N/A
Lot Coverage	20%	22.3%	23.4%
Open Space	50%	71.1%	70.3%
Front Setback	30 Feet	36.3'	62.8'
Side Setback	15 Feet	9.0'	15.1'
Side Setback	15 Feet	15.8'	15.8'
Rear Setback	40 Feet	27.1'	27.2'
Building Height	36 Feet	26.5'+/-	26.0' +/-
Stories	2 1/2	2 1/2	2 1/2
1/2 Story Calculation	3.0' wall height=16' x 16' =256 Sq. Ft. 3.0' wall perimeter=64 feet		
	proposed addition perimeter=88 feet		
	5.0' wall height =10.66' x 13.33'=142.10 Sq. Ft.		
	addition area=480 sq. ft. (60% of 480 Sq. Ft.=288 Sq. Ft.)		

NOTES: See existing conditions and proposed addition plan owned by Dean Staley & Beverly Buker dated November 2015 by David E. Ross Associates, Inc.-Plan No.S-14228



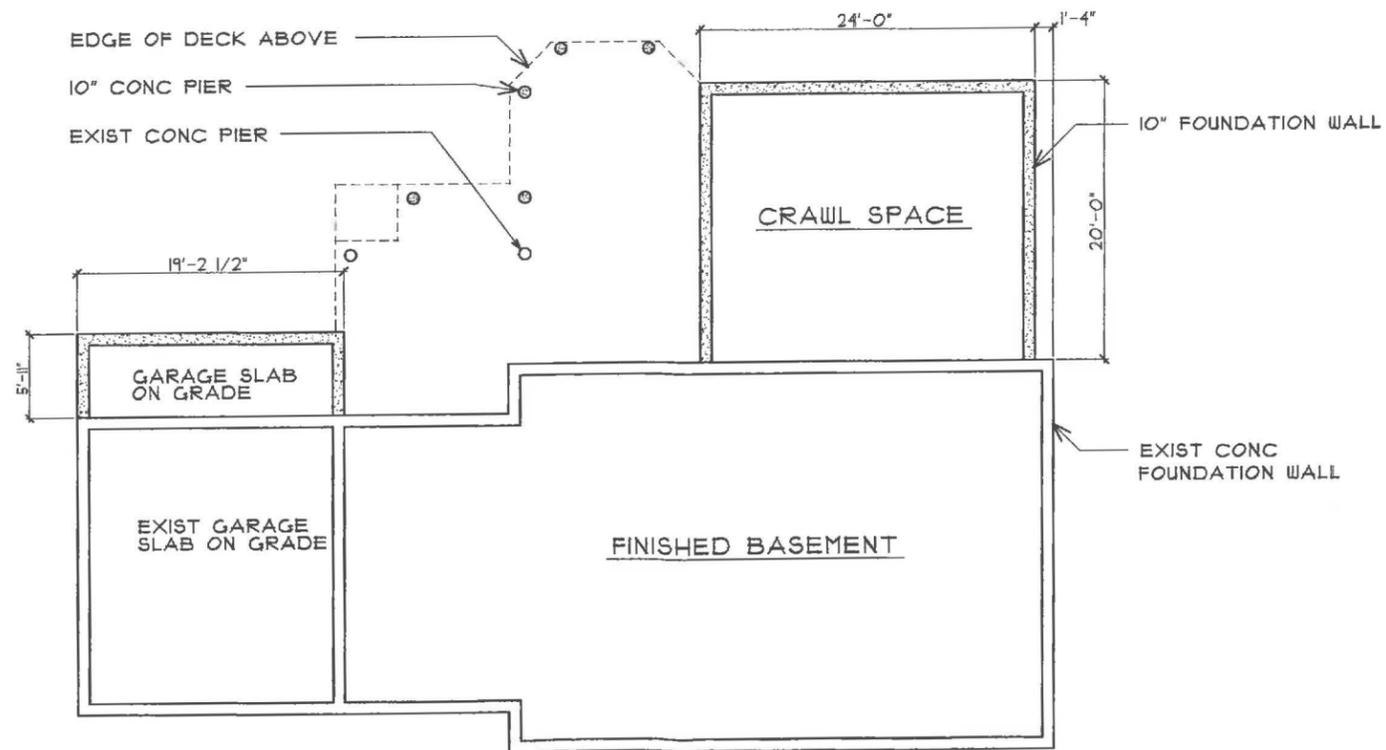


2 2ND FLOOR DEMOLITION PLAN
NTS



1 1ST FLOOR DEMOLITION PLAN
NTS

DEMOLITION KEY:
 WALLS TO BE REMOVED:
 WALLS TO REMAIN:
 ITEMS TO REMOVE:



3 FOUNDATION PLAN
NTS

BUKER/STALEY
 96 COUNTRY CLUB LANE
 BELMONT, MASSACHUSETTS

revisions:

△	XX/XX/XX

DICKINSON
 ARCHITECTS, LLC
 18 MAIN STREET
 P.O. BOX 704
 CONCORD, MA 01742
 (978) 341-8267

DEMOLITION
 PLANS
 AND
 FOUNDATION
 PLAN

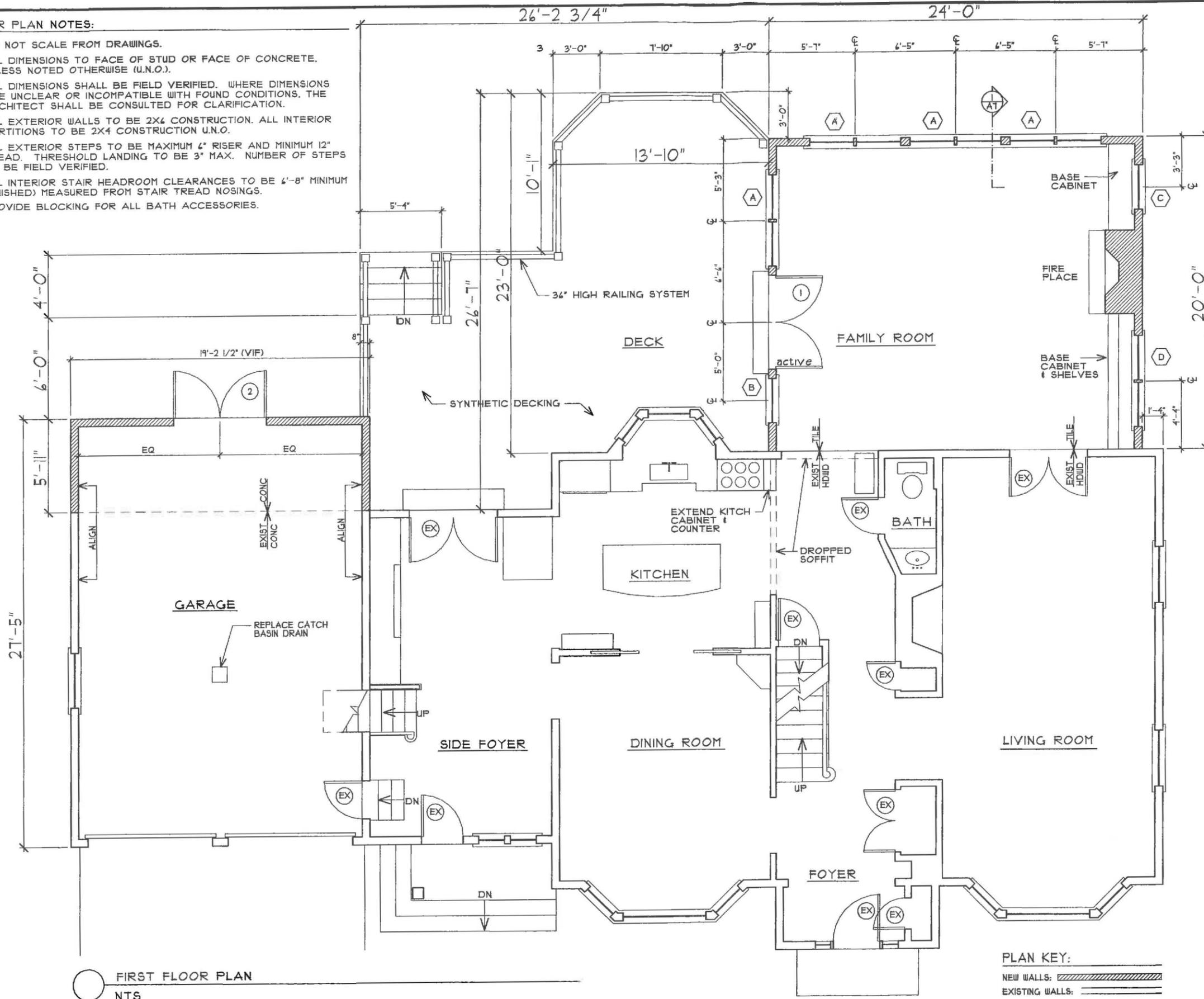
scale:
 date: 03/24/16

drawn by: BD
 checked by: BD

A |

FLOOR PLAN NOTES:

1. DO NOT SCALE FROM DRAWINGS.
2. ALL DIMENSIONS TO FACE OF STUD OR FACE OF CONCRETE, UNLESS NOTED OTHERWISE (U.N.O.).
3. ALL DIMENSIONS SHALL BE FIELD VERIFIED. WHERE DIMENSIONS ARE UNCLEAR OR INCOMPATIBLE WITH FOUND CONDITIONS, THE ARCHITECT SHALL BE CONSULTED FOR CLARIFICATION.
4. ALL EXTERIOR WALLS TO BE 2X4 CONSTRUCTION. ALL INTERIOR PARTITIONS TO BE 2X4 CONSTRUCTION U.N.O.
5. ALL EXTERIOR STEPS TO BE MAXIMUM 4" RISER AND MINIMUM 12" TREAD. THRESHOLD LANDING TO BE 3" MAX. NUMBER OF STEPS TO BE FIELD VERIFIED.
6. ALL INTERIOR STAIR HEADROOM CLEARANCES TO BE 6'-8" MINIMUM (FINISHED) MEASURED FROM STAIR TREAD NOSINGS.
7. PROVIDE BLOCKING FOR ALL BATH ACCESSORIES.



BUKER/STALEY
 96 COUNTRY CLUB LANE
 BELMONT, MASSACHUSETTS

revisions:

A	XX/XX/XX
B	XX/XX/XX
C	XX/XX/XX
D	XX/XX/XX

DICKINSON
 ARCHITECTS, LLC
 18 MAIN STREET
 P.O. BOX 704
 CONCORD, MA 01742
 (978) 341-8267

FIRST FLOOR
 PLAN

scale:
 date: 03/24/16
 drawn by: BD
 checked by: BD

PLAN KEY:
 NEW WALLS: [Hatched Line Symbol]
 EXISTING WALLS: [Double Line Symbol]

A2

FIRST FLOOR PLAN
 NTS

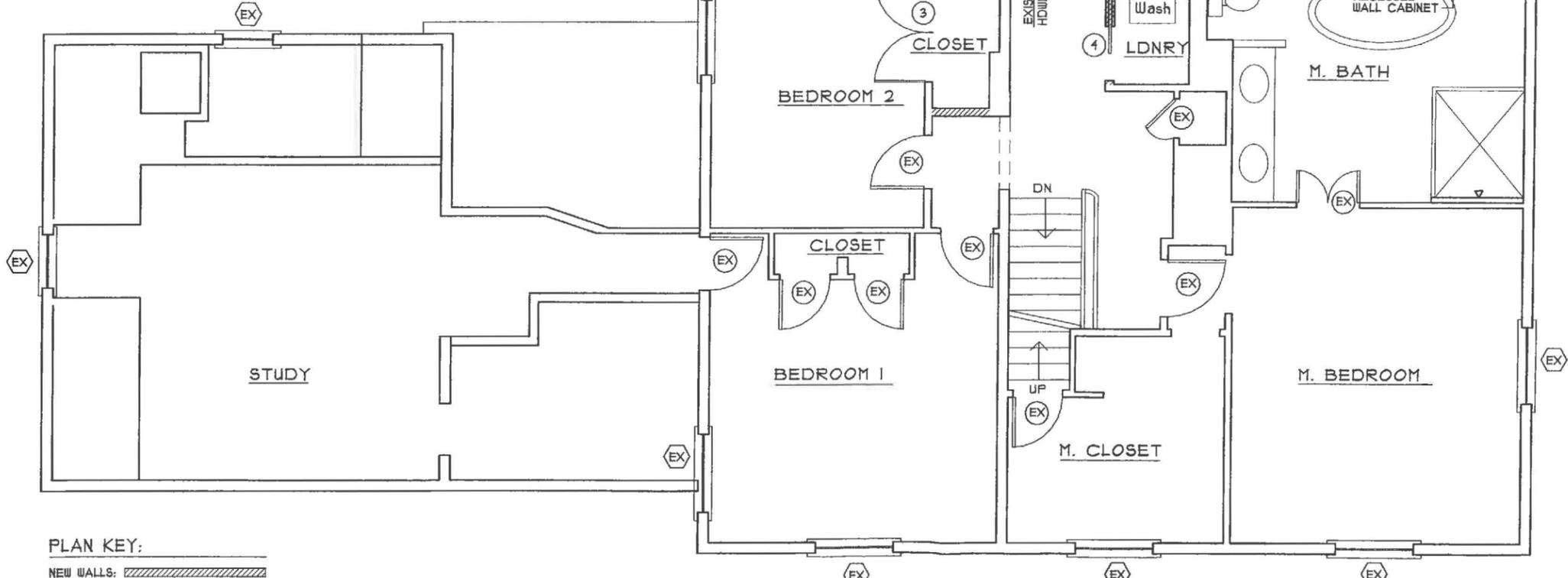
DOOR SCHEDULE

SYM	TYPE	WD.	HT.	THK.	MANUFACTURER	# MODEL	HDWE.	FINISH	THR.	WALL THICKNESS	REMARKS
1	FRENCH	4'-0"	8'-0"								
2	(2) 6 PANEL	4'-0"	4'-8"								
3	6 PANEL	4'-8"	4'-8"								
4	6 PANEL	2'-4"	4'-8"				POCKET				
5	6 PANEL	2'-0"	4'-8"								
6	6 PANEL	2'-8"	4'-8"								
7	6 PANEL	3'-0"	4'-8"								
8	(2) 6 PANEL	2'-0"	4'-8"								
9	(2) 6 PANEL	4'-4"	4'-8"								

- NOTES:
- EXTERIOR FRENCH DOORS TO BE PELLA "ARCHITECT" SERIES, WHITE CLAD EXTERIOR AND WOOD INTERIOR W/ SIMULATED DIVIDED LITES. DOOR LITE PATTERN TO BE "COLONIAL STYLE". GLASS TO BE 5/8" "LOW E" INSULATING GLASS. FRENCH/PATIO DOORS TO HAVE MULTI-POINT LOCKING HARDWARE. HARDWARE TO BE POLISHED BRASS. SCREEN DOORS TO BE WHITE W/ CHARCOAL FIBERGLASS MESH SCREENS.
 - INSTALL CONTINUOUS SILLS WHERE COMBINATION UNITS ARE INSTALLED.
 - REFER TO MANUFACTURERS SPECIFICATIONS REGARDING INSTALLATION AND PREPARATION OF ALL DOORS.
 - ALL GLASS IN DOORS AND SIDELITES SHALL BE TEMPERED.

FLOOR PLAN NOTES:

- DO NOT SCALE FROM DRAWINGS.
- ALL DIMENSIONS TO FACE OF STUD OR FACE OF CONCRETE, UNLESS NOTED OTHERWISE (U.N.O.).
- ALL DIMENSIONS SHALL BE FIELD VERIFIED. WHERE DIMENSIONS ARE UNCLEAR OR INCOMPATIBLE WITH FOUND CONDITIONS, THE ARCHITECT SHALL BE CONSULTED FOR CLARIFICATION.
- ALL EXTERIOR WALLS TO BE 2X4 CONSTRUCTION. ALL INTERIOR PARTITIONS TO BE 2X4 CONSTRUCTION U.N.O.
- ALL EXTERIOR STEPS TO BE MAXIMUM 4" RISER AND MINIMUM 12" TREAD. THRESHOLD LANDING TO BE 3" MAX. NUMBER OF STEPS TO BE FIELD VERIFIED.
- ALL INTERIOR STAIR HEADROOM CLEARANCES TO BE 6'-8" MINIMUM (FINISHED) MEASURED FROM STAIR TREAD NOSINGS.
- PROVIDE BLOCKING FOR ALL BATH ACCESSORIES.



PLAN KEY:
 NEW WALLS: [diagonal hatching]
 EXISTING WALLS: [double lines]

○ SECOND FLOOR PLAN
 NTS

BUKER/STALEY
 96 COUNTRY CLUB LANE
 BELMONT, MASSACHUSETTS

revisions:

△	XX/XX/XX

DICKINSON ARCHITECTS, LLC
 18 MAIN STREET
 P.O. BOX 704
 CONCORD, MA 01742
 (978) 341-8267

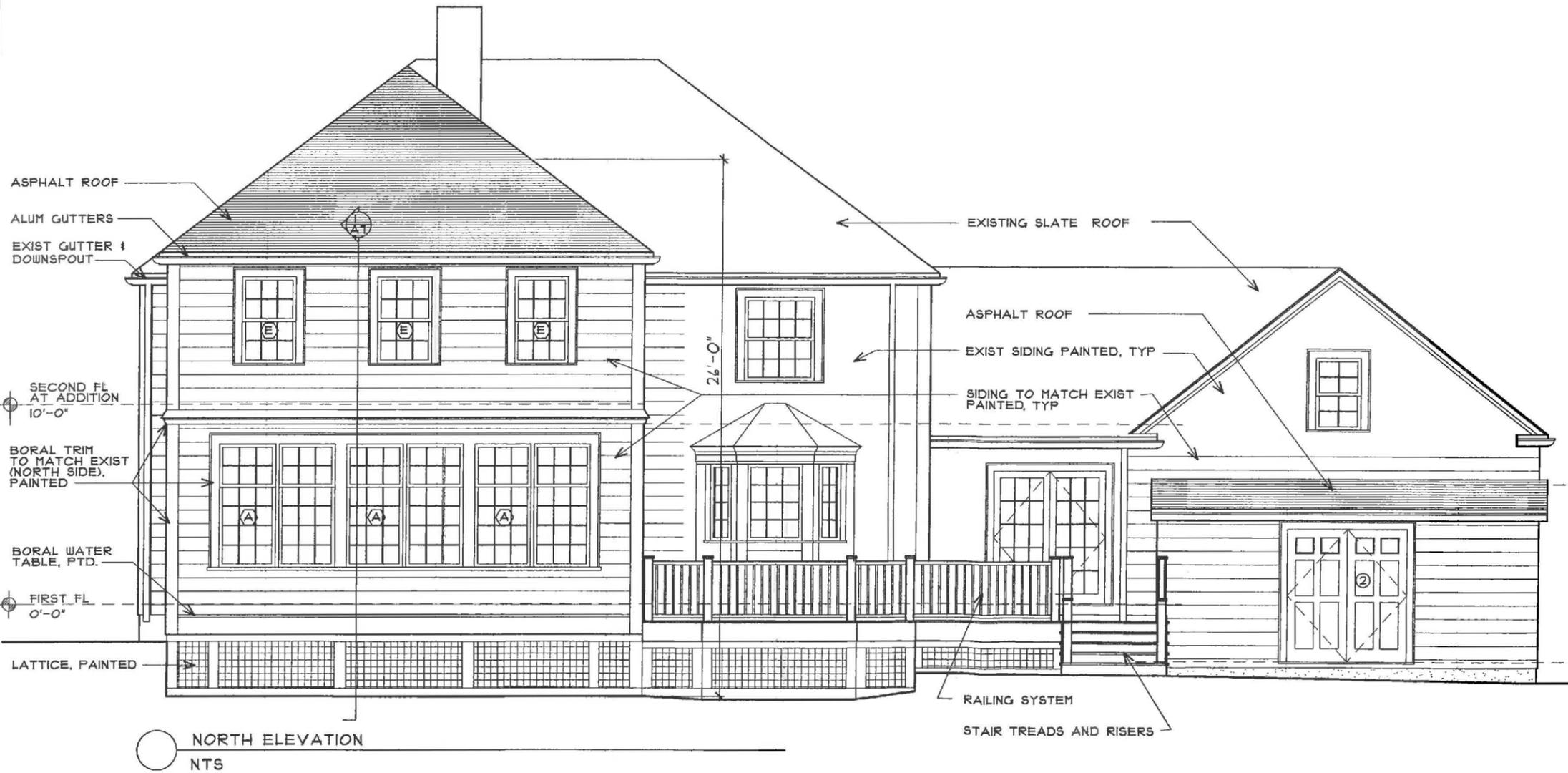
SECOND FLOOR PLAN, DOOR SCHEDULE

scale: 1/4"=1'-0"
 date: 03/24/16
 drawn by: BD
 checked by: BD

A3

WINDOW SCHEDULE										
SYM	TYPE	WD.	R.O. X HT.	MANUF.	# MODEL	QTY.	FINISHED HEAD HT.	LITE BREAK-UP	WALL THICKNESS	REMARKS
A	DOUBLE HUNG	5'-8"	4'-3/4"			4	8'-0"		2X4	2 UNITS GANGED
B	DOUBLE HUNG	2'-10"	4'-3/4"			1	8'-0"		2X4	
C	AWNING	2'-10"	2'-2 3/4"			1	8'-0"		2X4	
D	AWNING	5'-8"	2'-2 3/4"			1	8'-0"		2X4	2 UNITS GANGED
E	DOUBLE HUNG	2'-8 1/2"	4'-4"			1	6'-4"		2X4	

- NOTES: 1. WINDOWS TO BE SELECTED. WHITE CLAD EXTERIOR AND PRIME PAINTED INTERIOR WITH 3/4" SIMULATED DIVIDED LITES. LOW 'E' INSULATING GLASS.
2. HARDWARE TO BE WHITE. NO SASH LIFTS TO BE INSTALLED.
3. SCREENS FOR DOUBLE HUNG WINDOWS TO BE HALF SCREENS W/ WHITE FRAME AND CHARCOAL FIBERGLASS MESH SCREEN. SCREENS FOR CASEMENTS TO BE WHITE FRAME W/ CHARCOAL FIBERGLASS MESH SCREEN.
4. INSTALL CONTINUOUS WINDOW SILLS WHERE COMBINATION UNITS ARE INSTALLED.
5. REFER TO MANUFACTURERS SPECIFICATIONS REGARDING INSTALLATION AND PREPARATION OF ALL WINDOWS.
6. SEE ELEVATIONS FOR CASEMENT SWINGS.
7. ALL GLASS WITHIN 24" OF A DOOR IN THE CLOSED POSITION SHALL BE TEMPERED. ALL GLASS LESS THAN 18" A.F.F. AND OVER 9 S.F. IN AREA MUST BE TEMPERED.



BUKER/STALEY
 96 COUNTRY CLUB LANE
 BELMONT, MASSACHUSETTS

revisions:

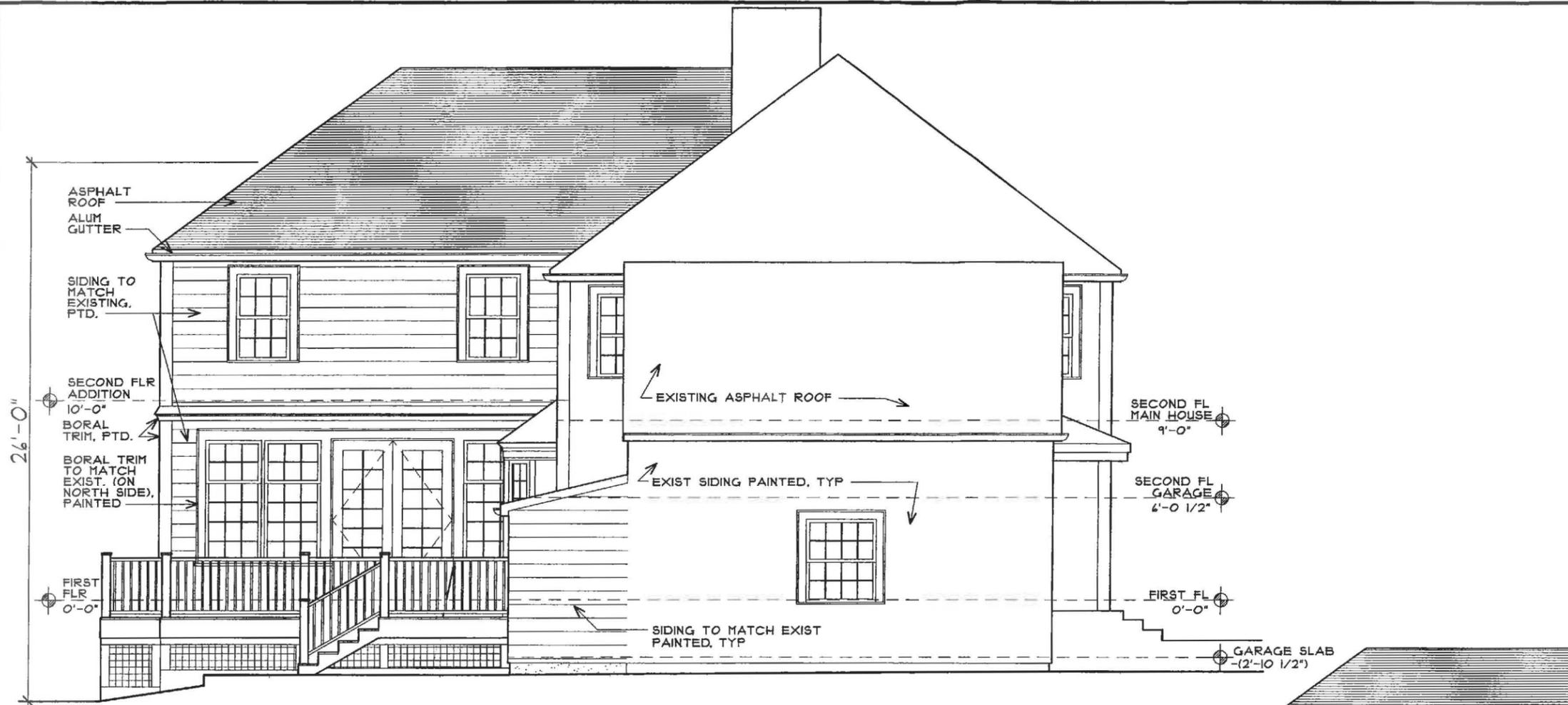
△	XX/XX/XX

DICKINSON ARCHITECTS, LLC
 18 MAIN STREET
 P.O. BOX 704
 CONCORD, MA 01742
 (978) 341-8287

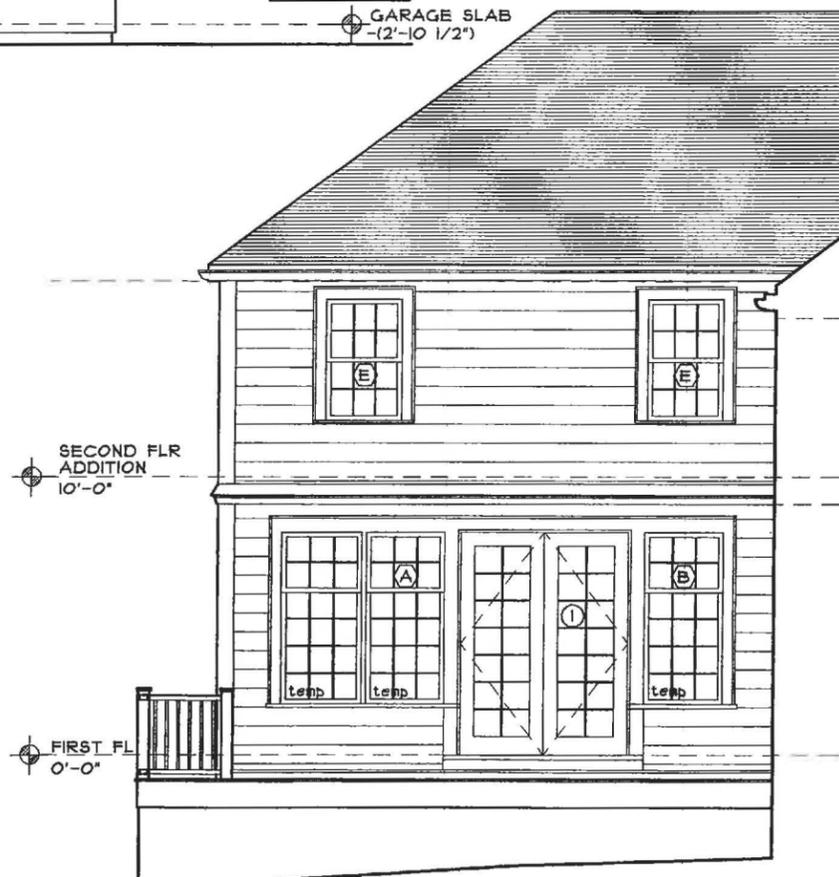
NORTH ELEVATION, WINDOW SCHEDULE

scale: 1/4"=1'-0"
 date: 03/24/16
 drawn by: BD
 checked by: BD

A 4



1 WEST ELEVATION • GARAGE
NTS



2 WEST ELEVATION • FAMILY ROOM
NTS

BUKER/STALEY
96 COUNTRY CLUB LANE
BELMONT, MASSACHUSETTS

revisions:

A	XX/XX/XX
B	XX/XX/XX
C	XX/XX/XX
D	XX/XX/XX

DICKINSON
ARCHITECTS, LLC
18 MAIN STREET
P.O. BOX 704
CONCORD, MA 01742
(978) 341-8267

WEST
ELEVATIONS

scale: 1"=1'-0"

date: 03/24/16

drawn by: BD

checked by: BD

A5



○ EAST ELEVATION
NTS

BUKER/STALEY
96 COUNTRY CLUB LANE
BELMONT, MASSACHUSETTS

revisions:

△	XX/XX/XX

DICKINSON
ARCHITECTS, LLC
18 MAIN STREET
P.O. BOX 704
CONCORD, MA 01742
(978) 341-8267

EAST
ELEVATION

scale: 1/4"=1'-0"

date: 03/24/16

drawn by: BD

checked by: BD

A6



- Town-Owned Buildings
- McClean Buildings
- Buildings
- Parcels
- Town Boundary
- MA Highways
- Interstate
- US Highway
- Numbered Routes
- Charles_poly
- Charles_arc
- Abutting Town Labels
- Abutting Towns
- Roads
 - Major Road, Collector
 - Minor Road, Arterial



The data shown on this site are provided for informational and planning purposes only. The Town and its consultants are not responsible for the misuse or misrepresentation of the data.

0 270 540 ft

Printed on 02/04/2016 at 08:37 AM

Parcel	Owner	Address	Town	State	Zip	Location
69-42	ROMNEY TRS TAGGART M & JENNIFER D	19 GREENSBROOK WAY	BELMONT	MA	02478	19 GREENSBROOK WAY
69-35	FAN TE BIN	12 GREENSBROOK WAY	BELMONT	MA	02478	10 GREENSBROOK WAY
69-37	JACOBSON TRS ALVAN B ETAL	P O BOX 437	IPSWICH	MA	01938	36 GREENSBROOK WAY
69-23	DU HONGYING	21 SHADE STREET	LEXINGTON	MA	02421	62 COUNTRY CLUB LN
69-12	MCMULLIN TE DAVID B	103 COUNTRY CLUB LN	BELMONT	MA	02478	103 COUNTRY CLUB LN
69-24	MCMACKIN ANN P	70 COUNTRY CLUB LN	BELMONT	MA	02478	70 COUNTRY CLUB LN
69-28	LAXA IVAN A	25 GREYBIRCH CIR	BELMONT	MA	02178	25 GREYBIRCH CIR
69-31	RABINOVITZ TC EDWARD	25 GREYBIRCH PARK	BELMONT	MA	02478	25 GREYBIRCH PARK
69-13	RAYMOND GLORIA K	93 COUNTRY CLUB LN	BELMONT	MA	02478	93 COUNTRY CLUB LN
69-10	HOGAN TE WILLIAM	345 MARSH ST	BELMONT	MA	02478	345 MARSH ST
69-26	KEIKIAN TE JOSEPH	30 GREYBIRCH PARK	BELMONT	MA	02478	30 GREYBIRCH PARK
69-29	JOMAA TE ABDUL NASSER	15 GREYBIRCH CIR	BELMONT	MA	02478	15 GREYBIRCH CIR
69-14	AVANIAN TR ALICE C	87 COUNTRY CLUB LN	BELMONT	MA	02478	87 COUNTRY CLUB LN
69-30	MUSSERIAN TE JOHN R	7 GREYBIRCH CIR	BELMONT	MA	02478	7 GREYBIRCH CIR
69-32	BANKS TE ROBERT B	82 COUNTRY CLUB LN	BELMONT	MA	02478	82 COUNTRY CLUB LN
69-41	MARBLE TE WILLIAM	25 GREENSBROOK WAY	BELMONT	MA	02478	25 GREENSBROOK WAY
69-9	BARBOSA TRS DOMINGOS D & ADELAIDE D	355 MARSH ST	BELMONT	MA	02178	355 MARSH ST
69-33	ANDERSON PAUL J	88 COUNTRY CLUB LANE	BELMONT	MA	02478	88 COUNTRY CLUB LN
69-36	FICI TE DOUGLAS	26 GREENSBROOK WAY	BELMONT	MA	02478	26 GREENSBROOK WAY
69-25	FOLEY CAROLYN M	PO BOX 328	BELMONT	MA	02478	20 GREYBIRCH PARK
69-11	SCHMIDT-KITTLER OLEG A	335 MARSH ST	BELMONT	MA	02478	335 MARSH ST
69-34	BUKER TRS BEVERLY A & DEAN A STALEY	96 COUNTRY CLUB LN	BELMONT	MA	02478	96 COUNTRY CLUB LN
69-40	GOLDBACH TE PETER D	31 GREENSBROOK WAY	BELMONT	MA	02478	31 GREENSBROOK WAY
69-43	COLMAN TE CHAD	323 MARSH ST	BELMONT	MA	02478	323 MARSH ST
69-45	MATSUMOTO TC FUMIAKI	315 MARSH ST	BELMONT	MA	02478	315 MARSH ST



